

GENERAL NOTES

1. THE TERM "OWNER" OR TENANT SHALL REFER TO HIS/HER AGENTS OR REPRESENTATIVES. THE TERM "GENERAL CONTRACTOR" AND "G.C." SHALL REFER TO THE PERSON AND/OR PERSONS WHO HAVE CONTRACTED OR SUBCONTRACTED FOR THE WORK.
2. THE TERM "WORK" AS USED IN THESE NOTES SHALL INCLUDE ALL REVISIONS AS DRAWN OR SPECIFIED IN THESE DOCUMENTS AS WELL AS ALL OTHER PROVISIONS SPECIFICALLY INCLUDED BY THE OWNER IN THE FORM OF DRAWINGS, SPECIFICATIONS AND WRITTEN INSTRUCTIONS.
3. G.C SHALL VISIT JOB SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS BEFORE SUBMITTING BID. ANY DISCREPANCIES WITHIN THESE DRAWINGS AND/OR BETWEEN THESE DRAWINGS AND EXISTING CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY THE G.C. PRIOR TO THE START OF ANY WORK. G.C. SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. IF THE CONTRACT DRAWINGS APPEAR TO BE UNCLEAR, AMBIGUOUS OR CONTRADICTORY, THE CONTRACTOR MUST REQUEST CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK. IN CASE OF DISCREPANCIES OR CONFLICTS NOTIFY ARCHITECT BEFORE PROCEEDING WITH ANY WORK.
4. GENERAL CONTRACTOR SHALL BECOME FAMILIAR WITH THE OWNERS REQUIREMENTS PRIOR TO BIDDING AND SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THESE REQUIREMENTS. ALL WORK SHALL BE PERFORMED AS TO COMPLY WITH ALL GOVERNING STATUTES, ORDINANCES, GOVERNMENTAL AND JURISDICTIONAL PERMITS AND APPROVALS AS OBTAINED. CONTRACTORS SHALL NOT SUBMIT A BID FOR THIS WORK UNLESS THEY ARE FULLY QUALIFIED AND LICENSED BY THE STATE IN WHICH THE WORK IS BE PERFORMED. ALL WORK SHALL BE PERFORMED IN A PROFESSIONAL MANNER AND SHALL BE IN GOOD AND USABLE CONDITION AT THE DATE OF COMPLETION THEREOF.
5. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING BUILDING PERMIT APPROVED PLANS AS APPROVED FOR ALL PERMIT REVISIONS AND OTHER CHANGES. NO WORK SHALL BE BEGIN PRIOR TO RECEIPT OF BUILDING PERMIT AND REVIEW OF PERMIT PLANS BY G.C.
6. THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY, SAFETY OF PERSONS, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION , COMPLIANCE WITH STATE AND FEDERAL REGULATION REGARDING SAFETY AND COMPLIANCE WITH REQUIREMENTS SPECIFIED IN THE OWNER/CONTRACTOR CONTRACT IS AND SHALL BE THE CONTRACTORS RESPONSIBILITY. INSURANCE, WORKMEN'S COMPENSATION, AS REQUIRED BY LAW, AND PUBLIC LIABILITY SHALL BE CARRIED BY THE CONTRACTOR.
7. SCOPE OF WORK. THE CONTRACTOR SHALL INCLUDE AND PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION AND PAY ALL EXPENSES INCURRED IN THE PROPER COMPLETION OF WORK UNLESS SPECIFICALLY NOTED TO BE THE WORK OF OTHERS. CONTRACTOR SHALL PERFORM ALL WORK NECESSARY FOR PRODUCTION OF A COMPLETE HABITABLE PROJECT, INCLUDING BUT NOT LIMITED TO SITE WORK , ARCHITECTURAL, ELECTRICAL, PLUMBING, HVAC AND SIGNAGE COORDINATION.
8. G.C SHALL COORDINATE ALL WORK TO BE PERFORMED. G.C IS TO COORDINATE WORKING HOURS, DELIVERIES, TRASH REMOVAL, STORAGE, ETC. WITH THE OWNER AND LANDLORD. CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK.
9. THE ARCHITECT SHALL BE AVAILABLE TO VISIT THE SITE WHEN REQUESTED. IF A CONDITION EXISTS THAT REQUIRES OBSERVATION OR ACTION BY THE ARCHITECT OR ENGINEERS, THE CONTRACTOR SHALL NOTIFY THE OWNER.
10. DO NOT SCALE DRAWINGS, USE WRITTEN DIMENSIONS FOR ALL MEASUREMENTS. ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS OTHERWISE NOTED.
11. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTORS INSTALL OR PERMIT TO BE INSTALLED ANY MATERIALS CONTAINING ASBESTOS WITHIN THE BUILDING OR ON THE PREMISES.
12. G.C SHALL PROVIDE AND PAY FOR TRASH DUMPSTER SERVICE AND/OR REFUSE REMOVAL FOR ALL SUB-CONTRACTORS WHICH INCLUDE MILLWORK AND FOOD SERVICE. CONTACT TENANT COORDINATOR , LANDLORD OR MUNICIPALITY FOR COORDINATION OF APPROVED LOCATION(S) PER LOCAL REGULATIONS.
13. THE ABBREVIATION OF "NIC" INDICATES WORK AND OR MATERIALS THAT IS NOT IN THE CONTRACT OF THE G.C. , HOWEVER THIS DOES NOT RELIEVE THE G.C OF THE RESPONSIBILITY OF COORDINATION.
14. ALL CONCEALED WOOD BLOCKING IN WALLS AND CEILING SHALL BE TREATED AND FLAME RETARDANT.
15. ALL WALL AND CEILING CONSTRUCTION SHALL BE SUPPORTED BY STRUCTURE AND NOT BY ROOF DECK IF APPLICABLE.
16. IN ADDITION TO THE GENERAL NOTES LISTED HEREIN , AIA DOCUMENT A201, GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, SHALL APPLY.
17. PERMIT FEES SHALL BE SECURED BY OWNER. CONTRACTOR SHALL SECURE PERMITS AND FEES INCURRED IN THE COMPLETION OF THE PROJECT , INCLUDING BUT NOT LIMITED TO SUBCONTRACTOR PERMITS, WATER, ELECTRIC & TELEPHONE SERVICE CONNECTION , CERTIFICATE OF OCCUPANCY , SURVEYS AND INSPECTIONS.
18. PRIOR TO BEGINNING WORK THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES AND PROTECTING THEM FROM DAMAGE DURING CONSTRUCTION. SHOULD DAMAGE OCCUR, THE CONTRACTOR SHALL MAKE REPAIRS AT NO COST TO THE OWNER. THE G.C. IS RESPONSIBLE FOR COORDINATION WITH THE OWNER AND WITH THE SUB CONTRACTOR FOR MECHANICAL, PLUMBING AND ELECTRICAL TRADE. DRAWINGS WILL BE SUBMITTED FOR REVIEW AS NEEDED BY MUNICIPALITY. THE SUBCONTRACTOR WILL SUBMIT REQUIRED DRAWINGS FOR APPROVAL TO THE APPROPRIATE AGENCIES MEETING ALL CODES OF THE CITY AND STATE. REPRODUCIBLE APPROVED DRAWINGS MUST BE SENT TO THE OWNERS AND ARCHITECT.
19. ITEMS NOT INDICATED IN THESE CONSTRUCTION DOCUMENTS THAT CAN BE LEGITIMATELY AND REASONABLY INFERRED TO COMPLETE THE WORK AT HAND SHALL BE FURNISHED BY THE CONTRACTOR AS THOUGH IT WERE DETAILED HEREIN .
20. THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF THE ARCHITECT OF RECORD AND SHALL NOT BE REPRODUCED OR USED FOR ANY OTHER PURPOSE EXCEPT BY WRITTEN AGREEMENT.
21. THE CONTRACTOR WARRANTS TO THE OWNER AND BUILDING MANAGEMENT THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THE CONTRACT WILL BE NEW UNLESS OTHERWISE SPECIFIED AND THAT ALL WORK WILL GOOD QUALITY , FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS. ALL WORK NOT SO CONFORMING TO THESE STANDARDS MAY BE CONSIDERED DEFECTIVE. IT IS UNDERSTOOD THAT NO INFORM OR NON- CONFORMING WORK OF THE MATERIALS WILL BE ACCEPTED WHETHER DISCOVERED AT THE TIME THEY ARE INCORPORATED IN THE WORK OR AT ANY TIME BEFORE OR AFTER THE FINAL ACCEPTANCE. IF REQUIRED BY THE OWNER, THE CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND INSTALLATION OF MATERIALS.
22. THE WARRANTIES AND GUARANTEE PROVIDED INT HE CONSTRUCTION DOCUMENTS SHALL BE IN ADDITION TO AND NOT IN LIMITATION OF ANY OTHER WARRANTY AND GUARANTEE OR REMEDY REQUIRED BY LAW OR THE CONSTRUCTION DOCUMENTS.
23. GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FURNISHED OR INSTALLED BY HIM/HER OR THEIR SUB CONTRACTORS FOR A PERIOD OF ONE(1) YEAR FROM DATE OF ACCEPTANCE AND SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT PERIOD WITHOUT EXPENSE TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING RESULTING FROM DEFECTIVE WORK OR ITS REPAIR. THE CONTRACTOR SHALL REPLACE DEFECTIVE WORK WITHIN TEN(10) DAYS AFTER IT IS BROUGHT TO HIS/HER ATTENTION.
24. PROTECTION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS/HER WORK AND THAT OF THEIR SUBCONTRACTORS FOR LOSSES AND DAMAGES TO EQUIPMENT , TOOLS AND MATERIAL USED IN CONJUNCTION WITH THE WORK AND FOR ACTS OF HIS/HER EMPLOYEES.
25. CLEANING UP: THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FROM ACCUMULATION OF WASTE MATERIALS AND COMPLETION OF THE WORK THE CONTRACTOR SHALL REMOVE ALL RUBBISH IMPLEMENTS AND SURPLUS MATERIALS AND LEAVE THE BUILDING CLEAN, WITH PAINTED AND WOOD SURFACES CLEAN, ALL FLOORS WAXED AND/OR POLISHED AS SPECIFIED,AND ALL GLASS AND MIRRORS CLEANED AND POLISHED.
26. PRIOR TO OPENING, G.C TO STEAM WASH /CLEAN SIDEWALK WITHIN 20'-0" OF BUILDING.
27. NO UNAUTHORIZED VISITS TO SITE, OCCUPIED OR UNOCCUPIED BY THE CONTRACTOR WILL BE PERMITTED PRIOR TO START OF WORK.
28. CONTRACTOR IS TO PROVIDE A LIST OF ALL SUBCONTRACTORS USED TO THE OWNER, COMPLETE WITH ADDRESSES, PHONE NUMBERS AND COPIES OF ALL WARRANTIES.
29. OWNER SHALL HAVE ACCESS TO PROJECT FOR COMPLETION OF WORK BY G.C.
30. ALL FLOOR SLAB CUTTING, TRENCHING AND REMOVAL SHALL BE REPLACED WITH THE SAME MATERIAL IN THE SAME THICKNESS OF THE ADJACENT FLOOR MATERIAL. ADDITIONAL CONCRETE PATCHING SHALL BE DOWELED INTO THE ADJACENT CONCRETE SLAB TO MINIMIZE DIFFERENTIAL SETTLEMENT OF THE FLOOR SYSTEM.
31. ALL ROOF PENETRATIONS ARE TO BE PERFORMED BY LICENSED ROOFING CONTRACTOR. CONTACT BUILDING OWNER / OWNER REP TO COORDINATE.
32. IT SHALL BE SOLELY THE SIGN VENDORS RESPONSIBILITY TO DESIGN, FABRICATE AND INSTALL THE SIGN UNDER SEPARATE PERMIT. ANY AND ALL STRUCTURAL CONSIDERATIONS SHALL BE COORDINATED BETWEEN THE SIGN VENDOR, THE G.C., THE BUILDING OWNER AND HIS DESIGN PROFESSIONALS. GENERAL CONTRACTOR SHALL COORDINATE WITH SIGNAGE VENDOR AND CONTACT LANDLORD OR MUNICIPALITY FOR FINAL APPROVED LOCATION(S) PER THE TENANT SIGNAGE PROCEDURES AND/OR MUNICIPALITY REGULATIONS. SUBMIT PROPOSED DRAWINGS TO LANDLORD OR MUNICIPALITY AS REQUIRED FOR APPROVAL(S).
33. ALL BIDDING INSTRUCTIONS PROVIDED BY OWNER DURING BIDDING PROCESS SHALL BE APPLICABLE TO THE FINAL CONTRACT AGREEMENT.



10463 MISSION GORGE ROAD
SANTEE, CA 92071

PROJECT SCOPE OF WORK

NEW COMMERCIAL UNIT, SITE DEVELOPMENT INCLUDING, TRASH ENCLOSURE, ACCESSIBLE/ STANDARD PARKING, PERIMETER BLOCK WALL, M.E.P.S, TWO LEVEL BUILDING WITH BASEMENT.

PROPOSED UNIT WILL BE AN OIL EXCHANGE FACILITY.

PROJECT DATA

GOVERNING CODE:

BUILDING CODE: 2022 CALIFORNIA BUILDING CODE

PLUMBING CODE: 2022 CALIFORNIA PLUMBING CODE

MECHANICAL CODE: 2022 CALIFORNIA MECHANICAL CODE

FIRE CODE: 2022 CALIFORNIA FIRE CODE

ELECTRICAL CODE: 2022 CALIFORNIA ELECTRICAL CODE

ENERGY CODE: 2022 CALIFORNIA ENERGY CODE/ TITLE 24

ACCESSIBILITY: CA TITLE 24 DISABLED ACCESS

GREEN BUILDING: 2022 CA GREEN BUILDING ENERGY CODE

MUNICIPAL CODE: CITY OF SANTEE

CONSTRUCTION TYPE

TYPE: V-A

OCCUPANCY

GROUP: M, S-1 & S-2

FIRE SPRINKLER

SPRINKLERED

PROJECT

GROUND UP TWO STORY W/ BASEMENT, 1,695 SQ. FT BUILDING FOOTPRINT. SEE SHEET A000 FOR LOT CALCULATIONS BREAKDOWN

DEFERRED SUBMITTALS

- AUTOMATIC FIRE SPRINKLER SYSTEM (NFPA 13)

- DEDICATED FUNCTION FIRE ALARM SYSTEM (SPRINKLER MONITORING) (NFPA 72)

- PRIVATE FIRE SERVICE MAIN (NFPA 24)

- SIGNAGE

REQUIRED SUBMITTALS / SHOP DRAWINGS

- HAZARDOUS MATERIALS MANAGEMENT LAN (HMMP) PER CFC SECTION 5001.5.1

- HAZARDOUS MATERIALS INVENTORY STATEMENT (HMIS) PER CFC SECTION 5001.5.2

LIST OF CONTACTS

OWNER:

HENLEY PACIFIC LLC

DBA VALVOLINE INSTANT OIL CHANGE

54 JACONNET STREET

NEWTON HIGHLAND, MA 02461

PH: 310-947-4863

CONTACT: WALTER JONES (PROJECT MANAGER)

EMAIL: wjones@voc.net

OWNER REPRESENTATIVE:

RSI GROUP

3199 AIRPORT LOOP DRIVE, SUITE D

COSTA MESA, CA 92627

PH: 714-966-9400

CONTACT: DAVID PAGE (PROJECT MANAGER)

EMAIL: dpage@rsi-group.com

APPLICANT:

RSI GROUP

3199 AIRPORT LOOP DRIVE, SUITE D

COSTA MESA, CA 92627

PH: 714-966-9400

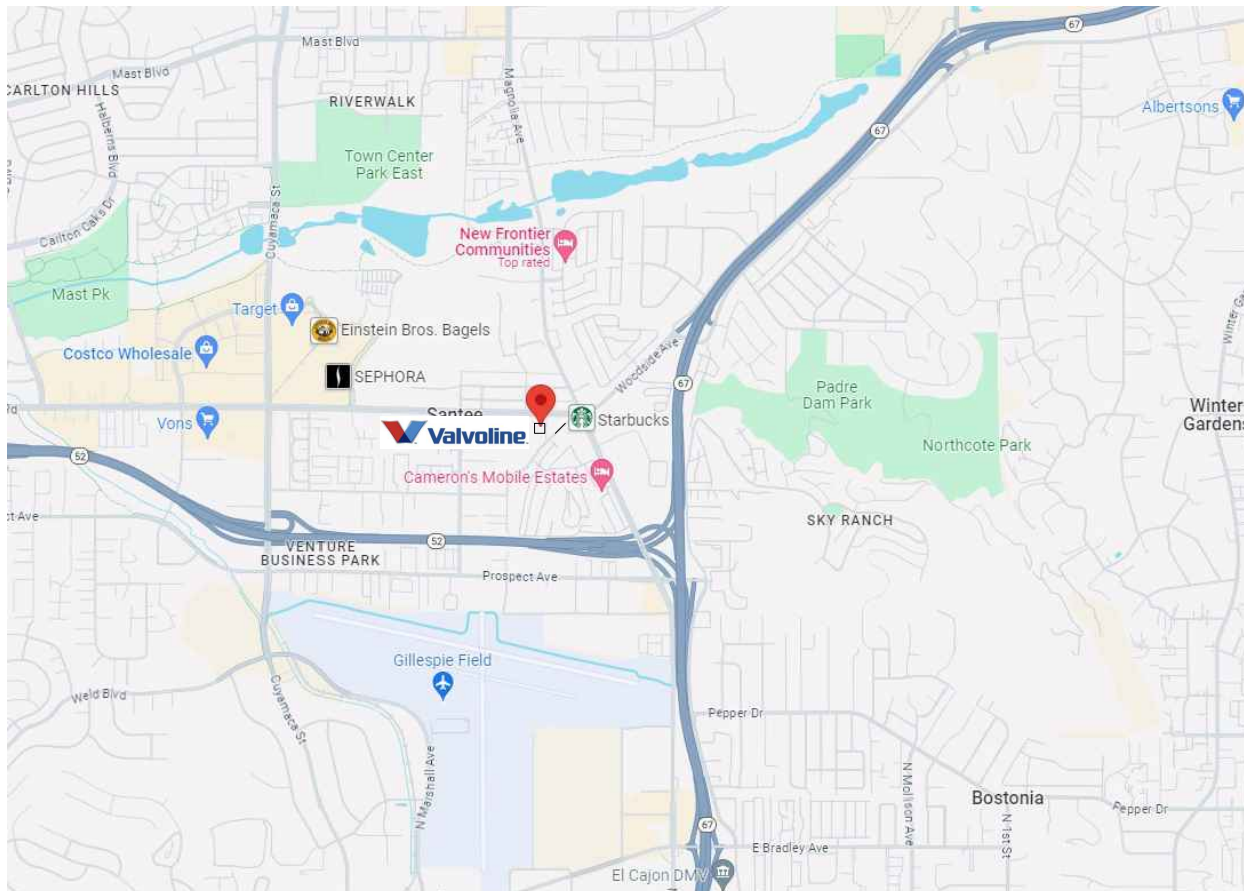
CONTACT: NINA RAEY (VICE PRESIDENT)

EMAIL: nina@rsi-group.com

SITE LOCATION MAP



AREA LOCATION MAP



SHEET INDEX

SHEET	SHEET TITLE	REVISION	REVISION DATE
GENERAL			
G001	COVER SHEET & GENERAL NOTES		
CIVIL			
L-1	LANDSCAPE CONCEPT PLAN		
L-2	IRRIGATION HYDROZONE PLAN		
CG-01	TOPOGRAPHIC SURVEY		
CG-02	CONCEPTUAL GRADING PLAN		
CG-03	SITE SECTIONS		
P-1	PHOTOMETRIC SITE PLAN		

ARCHITECTURAL			
A000	SITE PLAN		
A100	FLOOR PLANS		
A110	ROOF PLAN		
A200	EXTERIOR ELEVATIONS		
A201	ELEVATIONS		

PROJECT INFO

DISCRETIONARY CASE NUMBER: CUP-2024-0005

GENERAL PLAN AND ZONING DESIGNATION: (GC)

AIRPORT INFLUENCE AREA: (1); AND SAFETY ZONE: (3)

HEIGHT LIMITATION:

Table 13.12.040A Site Dimensions and Height Limitations			
Feature	OP	Standard NC	GC
1. Minimum lot width ¹	70 feet	300 feet	150 feet
2. Height limitations			
a. Within 50 feet of a residential district	25 feet	25 feet	25 feet
b. Other locations	40 feet ²	40 feet ²	40 feet ²

SETBACKS TABLE: SEE BELOW
PROPOSED: FRONT 15'-0"
HEIGHT OF BUILDING: 33'-0"

Table 13.12.040B Setbacks			
Yard	Building	Standard Parking	Landscaping
1. Street yard setback (measured from the ultimate right-of-way):			
a. All streets	10 feet	10 feet	Entire front setback
2. Rear property line setback:			
a. Adjacent to residential zone	20 feet	10 feet	10 feet
b. Adjacent to commercial or industrial zone	5 feet ^a	0 feet	0 feet
3. Interior side property line setback:			
a. Adjacent to residential zone	20 feet	10 feet	10 feet
b. Adjacent to commercial or industrial zones	5 feet ^a	5 feet ^a	5 feet ^a

PARKING TABLE IDENTIFYING THE REQUIRED AND PROPOSED COUNTS: 7 SPACES REQUIRED BASED ON THE CODE SECTION BELOW:

Automobile service and gas station: three spaces plus two for each service bay.



3199 AIRPORT LOOP DR, SUITE D
COSTA MESA, CA 92626
714.966.9400
WWW.rsi-group.com

PROJECT SEAL:

ENGINEER:

CLIENT:



DO NOT SCALE DRAWINGS CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING CONSTRUCTION

PROJECT NAME:

VALVOLINE
10463 MISSION GORGE ROAD
SANTEE, CA 92071
APN: 384-091-51-00

ISSUE DATE:

24.07.30 - UPDATED SET

24.08.20 - UPDATED SET

24.09.09 - UPDATED ELEV.

24.11.05 - ENTITLEMENT SET

25.02.05 - ENTITLEMENT

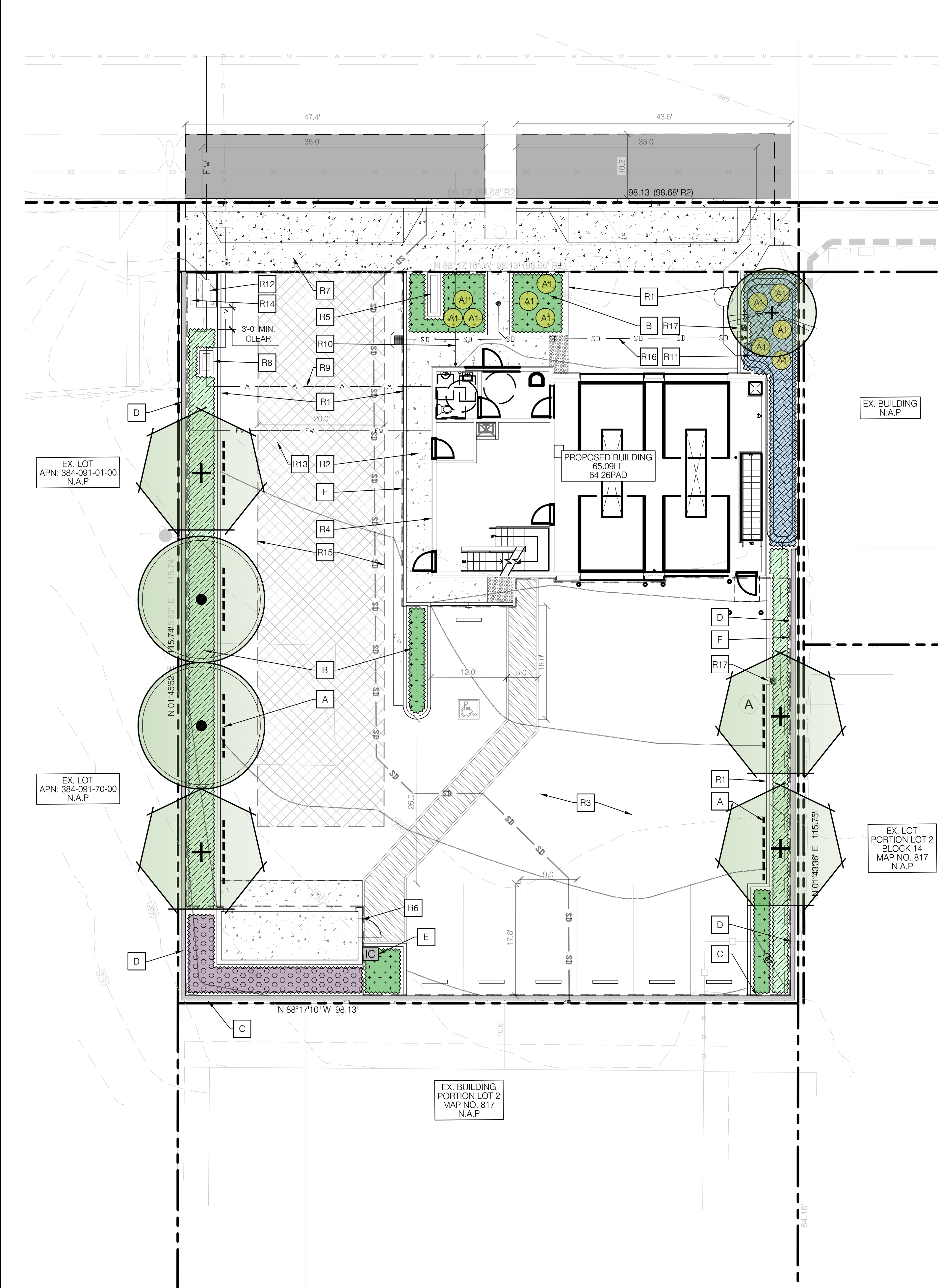
COMMENTS

SHEET TITLE:

COVER SHEET &
GENERAL NOTES

SHEET NUMBER:

G001



LANDSCAPE MATERIALS & ITEMS LEGEND

SYMBOL	KEY	COMMENTS
---	A	ROOT BARRIER
	B	NEW PLANTER AREA WITH AMENDED SOIL
	C	8' HIGH FREE STANDING PERIMETER WALL - SEE COLOR & SPECIFICATION BELOW
	D	6' HIGH FREE STANDING PERIMETER WALL - SEE COLOR & SPECIFICATION BELOW
	E	IRRIGATION CONTROLLER - REFER TO IRRIGATION PLAN SHEET L-2 FOR ADDITIONAL INFORMATION
- - -	F	PARKING AREA LIMITS - SEE PARKING AREA TO LANDSCAPE AREA SQ.FT. BELOW



ORCO PRECISION BLOCK WITH CAP
COLOR: TAN

CONSULTANT REFERENCE LEGEND

R1	NEW CONCRETE CURB / CURB & GUTTER - REFER TO CIVIL PLANS	R9	NEW WATER LINE - REFER TO CIVIL PLANS
R2	NEW PEDESTRIAN CONCRETE PAVING - REFER TO CIVIL PLANS	R10	NEW SANITARY SEWER LINE - REFER TO CIVIL PLANS
R3	NEW AC PAVEMENT - REFER TO CIVIL PLANS	R11	NEW BIOSWALE AREA - REFER TO CIVIL PLANS
R4	NEW BUILDING - REFER TO ARCHITECTURE PLANS	R12	NEW FIRE DEPT. EQUIPMENT - REFER TO CIVIL PLANS
R5	NEW SIGNAGE - REFER TO ARCHITECTURE PLANS	R13	NEW FIRE WATER LINE - REFER TO CIVIL PLANS
R6	NEW TRASH ENCLOSURE - REFER TO ARCHITECTURE PLANS	R14	EXISTING GAS METER - REFER TO CIVIL PLANS
R7	NEW DRIVE APRON - REFER TO CIVIL PLANS	R15	FIRE TRUCK LANE - REFER TO CIVIL PLANS
R8	WATER METER - REFER TO CIVIL PLANS	R16	NEW STORM DRAIN - REFER TO CIVIL PLANS
		R17	CURB CUT INLET FOR BIOSWALE - REFER TO CIVIL PLANS

PLANTING NOTES

1. A MINIMUM OF THREE INCHES OF MULCH SHALL BE INSTALLED IN ALL LANDSCAPE AREAS EXCEPT FOR THOSE WHICH CONTAIN TURF OR CREEPING OR ROOTING GROUNDCOVERS AS SPECIFIED IN THE STATE MODEL ORDINANCE.
2. ROOT BARRIERS SHALL BE INSTALLED AT ALL TREES AS SHOWN ON PLANTING PLANS WHEN INSTALLED WITHIN 5'-0" OF UTILITIES, CONCRETE PAVING, CURB OR OTHER FLATWORK. ROOT BARRIERS SHALL BE A MINIMUM OF 10'-0" IN LENGTH AND CENTERED ON THE TREE TRUNK.
3. AUTOMATIC IRRIGATION CONTROLLERS SHALL USE EVAPOTRANSPIRATION OR SOIL MOISTURE SENSOR DATA AND WILL HAVE MANUAL SHUT OFF VALVES.
4. SIGNIFICANT MASS GRADING IS PLANNED. A SOIL ANALYSIS TEST SHALL BE PERFORMED DURING CONSTRUCTION OPERATIONS AFTER ROUGH GRADING HAS BEEN ESTABLISHED AND SUBMITTED TO THE CITY AS PART OF THE CERTIFICATE OF COMPLETION.
5. ALL LANDSCAPE AND IRRIGATION SHALL COMPLY WITH THE REQUIREMENTS OF THE CURRENT CITY OF SANTEE MUNICIPAL STORMWATER PERMIT ISSUED BY THE SAN DIEGO REGIONAL WATER QUALITY CONTROL BOARD.
6. ALL PLANTED LANDSCAPE AREAS SHALL HAVE FRIABLE SOIL TO MAXIMIZE WATER RETENTION AND INFILTRATION.
7. A 3 FEET (MINIMUM) CLEAR SPACE SHALL BE PROVIDED AROUND ALL FIRE PROTECTION EQUIPMENT SUCH AS FIRE HYDRANTS, FIRE DEPARTMENT CONNECTIONS (FDC), POST-INDICATOR VALVES (PIV), AND BACK FLOW PREVENTER FOR THE FIRE SPRINKLER SYSTEM (OS&Y). (CFC §507.5.5 & §509.2)
8. TREES SHALL BE MAINTAINED TO PROVIDE AN UNOBSTRUCTED VERTICAL CLEARANCE OF 13 FEET 6 INCHES (MINIMUM) FROM ALL FIRE LANES. (CFC §503.2.1)

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN: Brandon Hanna RLA 6135

PARKING AREA TO LANDSCAPE AREA SQ.FT.

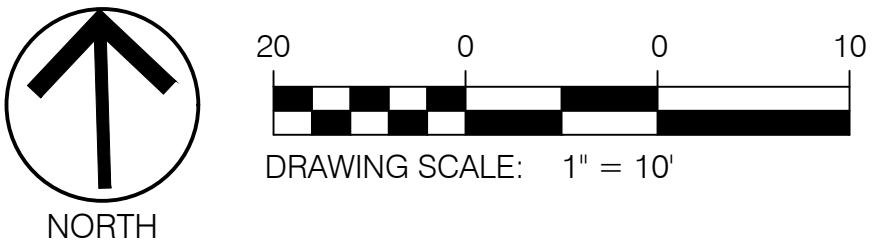
PARKING AREA INCLUDING: ACCESS DRIVES, AISLES, STALLS, MANEUVERING, AND LANDSCAPING WITHIN PORTION OF THE PREMISES THAT IS DEVOTED TO VEHICULAR PARKING AND CIRCULATION: 7,459 SF

LANDSCAPE AREAS WITHIN PARKING AREA: 836 SF

836 / 7,459 = 11% (10% MINIMUM REQUIRED PER SMC 13.36.100.B.1)

PLANT LEGEND

TREES	QTY.	BOTANICAL / COMMON NAME	SIZE	FORM / COMMENTS	WATER USE	DETAIL REF.	SIZE (HxW)
	2	ARBUTUS 'MARINA' STRAWBERRY TREE	24" BOX	STANDARD	LOW	-	H: 25' - 35' W: 25' - 25'
	1	CHILOPSIS LINEARIS DESERT WILLOW	24" BOX	STANDARD	LOW	-	H: 20' - 30' W: 10' - 20'
	4	GEJERA PARVIFLORA AUSTRALIAN WILLOW	24" BOX	STANDARD	LOW	-	H: 25' - 35' W: 15' - 20'
SHRUBS - ACCENT	QTY.	BOTANICAL / COMMON NAME	SIZE	FORM / COMMENTS	WATER USE	DETAIL REF.	SIZE (HxW)
	-	HESPERALOE PARVIF. 'DESERT FLAMENCO' YELLOW YUCCA	5 GAL.	PER PLAN	VERY LOW	-	H: ±3' W: ±3'
	-	LANTANA CAMARA 'RADIATION' ORANGE-RED BUSH LANTANA	5 GAL.	PER PLAN	LOW	-	H: 3' - 5' W: 3' - 5'
	-	LOMANDRA LONGIFOLIA 'BREEZE LM300' DWARF MAT RUSH	5 GAL.	PER PLAN	LOW	-	H: 2' - 3' W: 2' - 3'
SHRUBS - MEDIUM SIZE	QTY.	BOTANICAL / COMMON NAME	SIZE	SPACING / COMMENTS	WATER USE	DETAIL REF.	SIZE (HxW)
	-	CALLISTEMON 'LITTLE JOHN' LITTLE JOHN DWARF BOTTLEBRUSH	5 GAL.	3'-6" O.C.	LOW	-	H: 3' - 5' W: 4' - 6'
	-	WESTRINGIA FRUTICOSA 'BLUE GEM' BLUE GEM COAST ROSEMARY	5 GAL.	3'-6" O.C.	LOW	-	H: 4' - 6' W: 3' - 4'
SHRUBS - LARGE / SCREENING	QTY.	BOTANICAL / COMMON NAME	SIZE	SPACING / COMMENTS	WATER USE	DETAIL REF.	SIZE (HxW)
	-	HETEROMELES ARBUTIFOLIA TOYON	15 GAL.	5' - 0" O.C. / COLUMN FORM	VERY LOW	-	H: 8' - 12' W: 6' - 10'
	-	CALLISTEMON VIMINALIS 'CV01' SLIM BOTTLEBRUSH	15 GAL.	3' - 6" O.C. / COLUMN FORM	LOW	-	H: 8' - 10' W: 3' - 4'
	-	PODOCARPUS MACROPHYLLUS 'MAKI' SHRUBBY YEW PODOCARPUS	15 GAL.	3' - 6" O.C. / COLUMN FORM	MEDIUM	-	H: 8' - 15' W: 3' - 4'
GROUNDCOVER	QTY.	BOTANICAL / COMMON NAME	SIZE	SPACING / COMMENTS	WATER USE	DETAIL REF.	SIZE (HxW)
	-	COTONEASTER DAMMERI 'CORAL BEAUTY' CORAL BEAUTY COTONEASTER	1 GAL.	3'-6" O.C.	LOW	-	H: 1' - 2' W: 4' - 5'
	-	BACCHARIS PILULARIS 'PIGEON POINT' DWARF COYOTE BRUSH	1 GAL.	3'-6" O.C.	LOW	-	H: 2' - 3' W: 7' - 9'
	-	GREVILLEA LANIGERA 'COSTAL GEM' COSTAL GEM GREVILLEA	1 GAL.	3'-6" O.C.	LOW	-	H: ±1' W: 4' - 5'
BIOSWALE	QTY.	BOTANICAL / COMMON NAME	SIZE	SPACING / COMMENTS	WATER USE	DETAIL REF.	SIZE (HxW)
	-	CHONDROPETALUM TECTORUM CAPE REED	1 GAL.	3'-6" O.C.	LOW	-	H: 3' - 4' W: 3' - 4'
	-	LEYMUS CONDENSATUS 'CANYON PRINCE' GIANT WILD RYE	1 GAL.	3'-6" O.C.	LOW	-	H: 3' - 5' W: 3' - 5'
	-						



REVISIONS				DRAWN BY: BH	
				CHECKED BY: BH	
				DATE: 02/05/25	
NUMBER	DATE	DESCRIPTION	APPROVED	BENCHMARK:	
				SAN DIEGO COUNTY BENCHMARK: G 0281	
				DESCRIPTION: 1.0 MI S SANTEE POST OFF ALING MAGNOLIA, 100FT N INT AIRPORT DR	
				AND MAGNOLIA AVE. 27 FT E OF AVE 30 FT N PP 724151H 6.5 FT N OF THE ONE OF A	
				ROW OF PALM TREES E SIDE HWY STD DISC TOP CONC POST STMPD G 281 1955 ELEV	
				408.675	
				DATUM: NGVD 29	

PLANS PREPARED BY:



BASIS OF BEARINGS:

THE BASIS OF BEARINGS FOR THIS SURVEY IS NORTH 88°17'10" WEST ALONG THE CENTERLINE OF MISSION GORGE ROAD, AS SHOWN ON PARCEL MAP NO. 20762, FILED IN THE OFFICE OF THE SAN DIEGO COUNTY RECORDER ON APRIL 16, 2010.

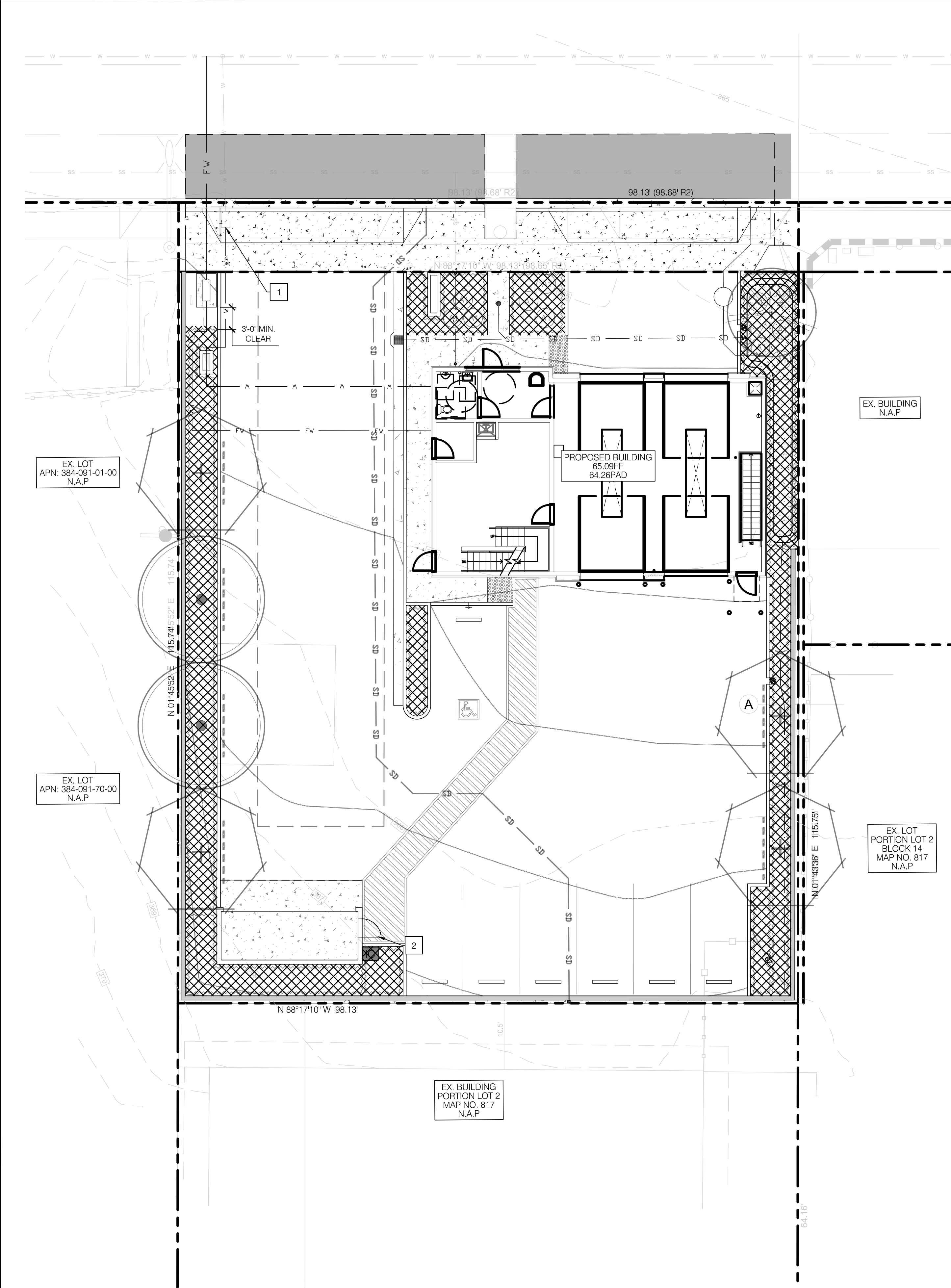
LANDSCAPE CONCEPT PLAN

VALVOLINE SANTEE
10463 MISSION GORGE ROAD
SANTEE, CA 92071
APN: 384-091-51-00

SHEET

L-1

01 OF 02



IRRIGATION LEGEND

KEY	COMMENTS
1	POTABLE WATER METER WITH PRIVATE SUBMETER FOR IRRIGATION - REFER TO CIVIL PLANS FOR ADDITIONAL INFORMATION <ul style="list-style-type: none">WATER PURVEYOR: PADRE DAM MUNICIPAL WATER DISTRICT (WESTERN SERVICE AREA)
2	NEW SMART IRRIGATION CONTROLLER IN WALL MOUNTED STAINLESS STEEL ENCLOSURE

HYDROZONE LEGEND

SYMBOL	COMMENTS
	LOW WATER USE PLANT MATERIAL

HYDROZONE INFORMATION TABLE

REFERENCE ETO: 51.2		NON-RESIDENTIAL: 0.45					
HYDROZONE # / PLANTING DESCRIPTION	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY (IE)	ETAF (PF / IE)	LANDSCAPE AREA (SQ. FT.)	ETAF x AREA	ESTIMATED TOTAL WATER USE (ETWU)
REGULAR LANDSCAPE AREAS							
LOW	0.3	DRIP	0.81	0.37	1,528	566	17,965
			TOTALS	0.37	1528	566	17,965
SPECIAL LANDSCAPE AREAS							
				1			
				1			
				1			
				SLA TOTALS	0	0	
				ESTIMATED TOTAL WATER USE (ETWU) TOTAL			17,965
				MAXIMUM ALLOWED WATER ALLOWANCE (MAWA)			21,827

ETWU (ANNUAL GALLONS REQUIRED = ETO X 0.62 X ETAF X AREA
WHERE 0.62 IS A CONVERSION FACTOR THAT CONVERTS ACRE-INCHES PER ACRE PER YEAR TO GALLONS PER ACRE PER SQUARE FOOT PER YEAR

MAXIMUM APPLIED WATER ALLOWANCE (MAWA) CALCULATIONS

MAWA (ANNUAL GALLONS ALLOWED) = (ETO) (0.62) [(ETAF X LA) + ((1 - ETAF) X SLA)]

WHERE 0.62 IS A CONVERSION FACTOR THAT CONVERTS ACRE-INCHES PER ACRE PER YEAR TO GALLONS PER ACRE PER SQUARE FOOT PER YEAR; LA IS THE TOTAL LANDSCAPE AREA IN SQUARE FEET; SLA IS THE TOTAL SPECIAL LANDSCAPE AREA IN SQUARE FEET, AND ETAF IS 0.55 FOR RESIDENTIAL AREAS AND 0.45 FOR NON-RESIDENTIAL AREAS

MAWA = (51.2)/(0.62)/[(0.45 x 1,528) + (1-0.45 x 0)]
(31.744)/(687.6 + 0)
(31.744)/(687.6)
21,827 (GALLONS PER YEAR)

ETAF CALCULATIONS

REGULAR LANDSCAPE AREAS		ALL LANDSCAPE AREAS	
TOTAL ETAF x AREA	566	TOTAL ETAF x AREA	566
TOTAL AREA	1528	TOTAL AREA	1528
AVERAGE ETAF	0.37	SITEWIDE ETAF	0.37

AVERAGE ETAF FOR REGULAR LANDSCAPE AREAS MUST BE 0.55 OR BELOW FOR RESIDENTIAL AREAS, AND 0.45 OR BELOW FOR NON-RESIDENTIAL AREAS

REVISIONS			
NUMBER	DATE		APPROVED

DRAWN BY: BH
CHECKED BY: BH
DATE: 02/05/25
BENCHMARK: SAN DIEGO COUNTY BENCHMARK: G 0281
DESCRIPTION: 1.0 MI S SANTEE POST OFF ALING MAGNOLIA, 100FT N INT AIRPORT DR AND MAGNOLIA AVE, 27 FT E OF AVE 30 FT N PP 724151H 6.5 FT N OF THE ONE OF A ROW OF PALM TREES E SIDE HWY STD DISC TOP CONC POST STMPD G 281 1955 ELEV 406.675
DATUM: NGVD 29

PLANS PREPARED BY:

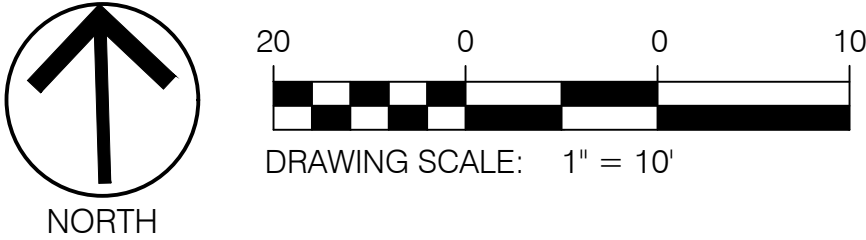


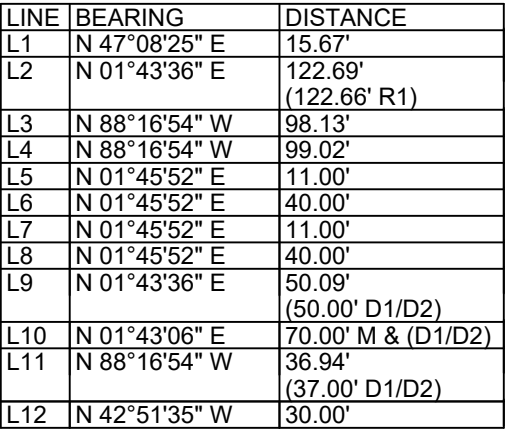
BASIS OF BEARINGS:
THE BASIS OF BEARINGS FOR THIS SURVEY IS NORTH 88°17'10" WEST ALONG THE CENTERLINE OF MISSION GORGE ROAD, AS SHOWN ON PARCEL MAP NO. 20762, FILED IN THE OFFICE OF THE SAN DIEGO COUNTY RECORDER ON APRIL 16, 2010.

IRRIGATION HYDROZONE PLAN

VALVOLINE SANTEE
10463 MISSION GORGE ROAD
SANTEE, CA 92071
APN: 384-091-51-00

SHEET
L-2
02 OF 02





NOTE: IN THE EVENT THIS LISTING CONTAINS OBSERVED IMPROVEMENTS THAT CROSS PROPERTY LINES, STATEMENT OF OWNERSHIP OR POSSESSION IS NEITHER IMPLIED NOR THE INTENT.

REAL PROPERTY IN THE CITY OF SANTEE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA
DESCRIBED AS FOLLOWS:

THAT PORTION OF LOT 2 IN BLOCK 14 OF THE SUBDIVISION OF LOTS H AND O OF THE RANCHO EL CAJON, IN THE CITY OF SANTEE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 817, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, APRIL 12, 1896, DESCRIBED AS FOLLOWS:

COMMENCING AT THE MOST SOUTHERLY CORNER OF LOT 1 IN SAID BLOCK 14; THENCE NORTHERLY ALONG THE WESTERLY LINE OF SAID LOT 1, A DISTANCE OF 50.00 FEET TO A POINT HEREIN DESIGNATED AS POINT "X"; THENCE AT RIGHT ANGLES WESTERLY, A DISTANCE OF 63.00 FEET TO A POINT HEREIN DESIGNATED AS POINT "Y"; THENCE CONTINUING WESTERLY ALONG COLONIZATION ROAD, THE LAST ABOVE DESCRIBED COURSE, A DISTANCE OF 135.00 FEET TO THE INTERSECTION WITH THE WESTERLY LINE OF SAID LOT 2, AND THE TRUE POINT OF BEGINNING; THENCE RETRACING EASTERLY ALONG LAST ABOVE DESCRIBED COURSE, A DISTANCE OF 135.00 FEET TO SAID POINT "Y"; THENCE NORTHERLY PARALLEL WITH THE WESTERLY LINE OF SAID LOT 2, A DISTANCE OF 70.00 FEET; THENCE AT RIGHT ANGLES WESTERLY, A DISTANCE OF 37.00 FEET; THENCE NORTHERLY PARALLEL WITH THE WESTERLY LINE OF SAID LOT 2 TO THE INTERSECTION WITH THE NORTHERLY LINE OF SAID LOT 2; THENCE WESTERLY AND SOUTHERLY ALONG THE NORTHERLY AND WESTERLY LINES OF SAID LOT 2 TO THE TRUE POINT OF BEGINNING.

EXCEPTING THEREFROM THE NORTHERLY 11.00 FEET.

ALSO EXCEPTING THEREFROM, THE SOUTHERLY 134.16 FEET (MEASURED ALONG THE WESTERLY LINE).

ALSO EXCEPTING ANY PORTION NOT LYING WITHIN THE WEST HALF OF SAID LOT

APN: 384-091-51-00

THE SUBJECT PROPERTY LIES WITHIN ZONE "X" OF FEDERAL EMERGENCY
MANAGEMENT AGENCY FLOOD MAP NUMBER 06073 C 1653 G, BEARING AN EFFECTIVE
DATE OF MAY 16, 2012.

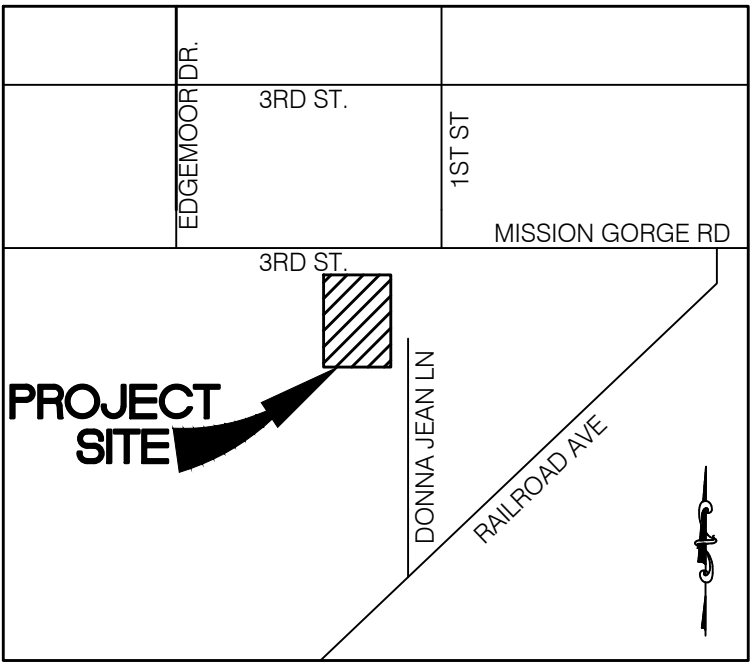
ZONE "X" INDICATES AREA OF MINIMAL FLOOD HAZARD

THE ABOVE INFORMATION WAS RETRIEVED FROM THE FEDERAL EMERGENCY
MANAGEMENT AGENCY FLOOD MAP SERVICE CENTER ON DECEMBER 30, 2023

[HTTPS://MSC.FEMA.GOV/PORTAL/HOME](https://MSC.FEMA.GOV/PORTAL/HOME)

- | | |
|-----|---|
| M1 | FOUND BRASS DISK IN WELL DOWN 1.0', ACCEPTED AS STANDARD STREET MONUMENT PER (R1). |
| M2 | FOUND BRASS DISK IN WELL DOWN 0.7', ACCEPTED AS STANDARD STREET MONUMENT PER (R1). |
| M3 | FOUND 2" IRON PIPE WITH ILLLEGIBLE TAG DOWN 0.9' ACCEPTED AS 2" IRON PIPE "RCE 28928" PER (R1). |
| M4 | FOUND LEAD, TACK AND TAGS STAMPED "RCE 28928", IN LIEU OF 2" IRON PIPE "RCE 28928" PER (R1). |
| M5 | FOUND 2" IRON PIPE AND TAG STAMPED "RCE 28928", PER (R1), FLUSH. |
| M6 | FOUND LEAD, TACK AND TAGS STAMPED "RCE 18592", NO RECORD, ACCEPTED AS A 7.18' OFFSET ON THE WEST LINE OF LOT 2 OF MAP NO. 817. |
| M7 | FOUND 3/4" IRON PIPE AND TAG STAMPED "RCE 18592", NO RECORD, ACCEPTED AS THE SOUTHWEST CORNER OF THE SOUTHERLY 134.16 OF LOT 2, BLOCK 14, MAP NO. 817. |
| M8 | FOUND SPIKE AND WASHER STAMPED "RCE 18592", NO RECORD, ACCEPTED AS THE SOUTHWEST CORNER OF THE SOUTHERLY 134.16 OF THE WESTERLY HALF OF LOT 2, BLOCK 14, MAP NO. 817. |
| M9 | FOUND LEAD, TACK AND TAGS STAMPED "RCE 18592", NO RECORD, ACCEPTED AS A 7.15' OFFSET TO THE WEST LINE OF THE WEST HALF OF LOT 2 OF MAP NO. 817. |
| M10 | FOUND LEAD AND TACK, NO RECORD, DID NOT ACCEPT, N 00°230'1" E 7.14' FROM THE NORTHWEST CORNER OF (D1), AS NOTED HEREON. |
| M11 | FOUND 2" IRON PIPE WITH ILLLEGIBLE TAG DOWN 0.3', ACCEPTED AS 2" IRON PIPE TAGGED "LS 5707" PER (R1). |

THE BASIS OF BEARINGS FOR THIS SURVEY IS NORTH 88°17'10" WEST ALONG THE CENTERLINE OF MISSION GORGE ROAD, AS SHOWN ON PARCEL MAP NO. 20762, FILED IN THE OFFICE OF THE SAN DIEGO COUNTY RECORDER ON APRIL 16, 2010.



VICINITY MAP
N.T.S.

HENLEY ENTERPRISES INC.
DBA VALVOLINE INSTANT OIL CHANGE
750 E DYER ROAD
SANTA ANA, CA 92705
CONTACT: WALTER JONES
DIRECTOR OF CONSTRUCTION, WEST COAST

HSI GROUP
3199 AIRPORT LOOP DR, SUITE D
COSTA MESA, CA 92626
CONTACT: DAVID PAGE
TEL: (714) 966-9400

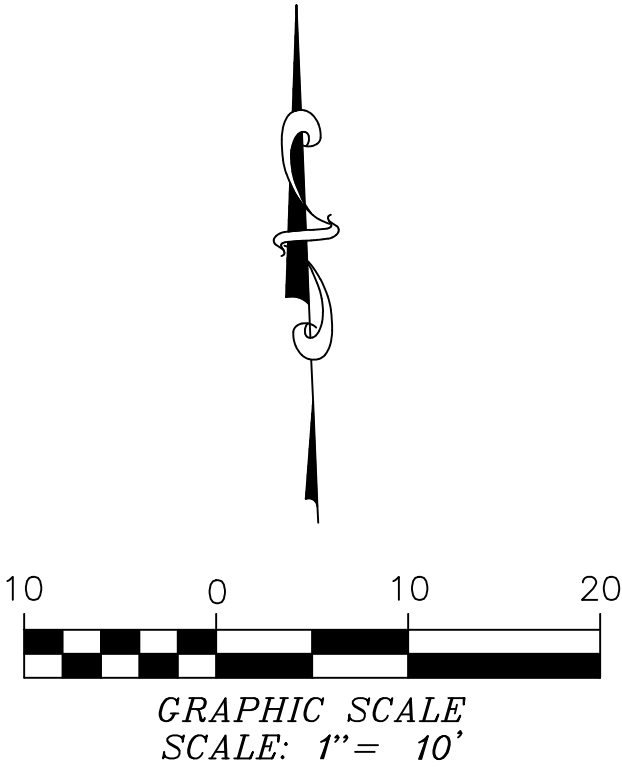
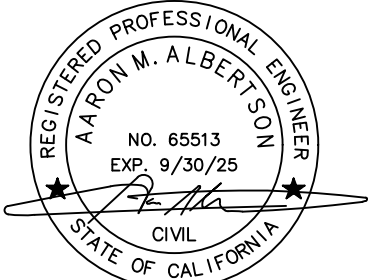
COMMERCIAL DEVELOPMENT RESOURCES
695 TOWN CENTER DRIVE #110
COSTA MESA, CA 92626
CONTACT: AARON ALBERTSON, P.E.
TEL: (949)-610-8997

COMMERCIAL DEVELOPMENT RESOURCES
695 TOWN CENTER DRIVE #110
COSTA MESA, CA 92626
CONTACT: AARON ALBERTSON, P.E.
TEL: (949)-610-8997

SALEM ENGINEERING GROUP, INC.
8711 MONROE COURT, SUITE A
RANCHO CUCAMONGA, CA 91730
CONTACT: IBRAHIM FOUD IBRAHIM, PE, GE
TEL: (909) 980-6455

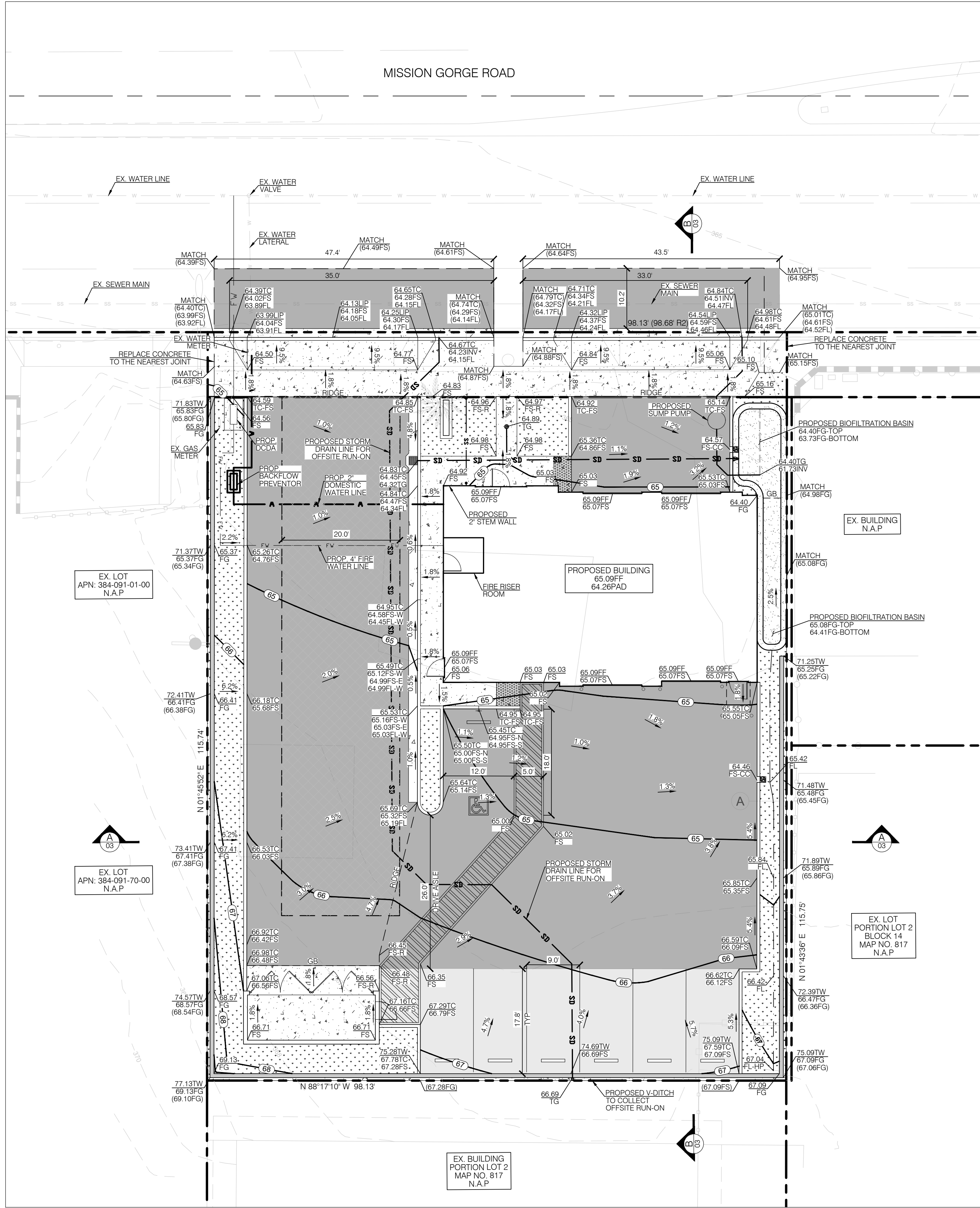
10463 MISSION GORGE ROAD
SANTEE, CA 92071

APN: 384-091-51-00



CG-01-TOPOGRAPHIC SURVEY

CONSTRUCTION RECORD		REFERENCES	DATE	BY	REVISIONS	ACPTD	BENCH MARK SAN DIEGO COUNTY BENCHMARK: G 0281	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY	REVIEWED _____ BY _____ PROJECT ENGINEER	CITY OF SANTEE	DEPARTMENT OF DEVELOPMENT SERVICES	CITY W.O. NO.	DRAWING NO.
CONTRACTOR							DESCRIPTION: 1.0 MI S SANTEE POST OFF ALNG MAGNOLIA. 100FT N INT	HORIZ:	PLANS PREPARED UNDER THE SUPERVISION OF				GRADING PLAN FOR: VALVOLINE INSTANT OIL CHANGE		GRD-2024-	2024-
INSPECTOR							AIRPORT DR AND MAGNOLIA AVE. 27 FT E-OF-AVE 30 FT W P 7241151# 5		AARON M. ALBERTSON DATE _____							
DATE COMPLETED							FT N OF THE ONE OF A ROW OF PALM TREES E SIDE HWY STD DISC TOP	VERT:	RCE NO. 65513 EXPIRES 09/30/25							
							CONC POST STMPD G 281 1955 ELEV 406.676									
							DATUM: NGVD 29									



STORM DRAIN NOTE:
ALL PROPOSED ONSITE STORM DRAIN INLETS SHALL BE
INSTALLED WITH FULL TRASH CAPTURE TREATMENT
DEVICES PER CITY OF SANTEE STANDARDS.

ABBREVIATIONS:

(XX.XX)	EXISTING ELEVATION
BOW	BACK OF WALK
CF	CURB FACE
ELEV	ELEVATION
ELEC	ELECTRICAL
EX	EXISTING
FF	FINISH FLOOR
FL	FLOW LINE
FG	FINISH GRADE
FS	FINISH SURFACE
GB	GRADE BREAK
INV	INVERT
MAX	MAXIMUM
MH	MANHOLE
MIN	MINIMUM
GM	GAS METER
SS	SANITARY SEWER
CO	CLEANOUT
SD	STORM DRAIN
OC	ON CENTER
TC	TOP OF CURB
TG	TOP OF GRATE
TYP	TYPICAL
W	WIDTH
WM	WATER METER

LEGEND

	PROPOSED AC PAVEMENT
	PROPOSED CONCRETE
	PROPOSED LANDSCAPE
	PROPERTY LINE
	CENTERLINE
	PROPOSED SAWCUT
	PROPOSED FREESTANDING WALL
	PROPOSED CONTOUR
	EXISTING CONTOUR
	PROPOSED RIDGE
	PROPOSED GRADE BREAK
	FIRE TRUCK LANE
	FIRE WATER LINE

OWNER
HENLEY ENTERPRISES INC.
DBA VALVOLINE INSTANT OIL CHANGE
750 E DYER ROAD
SANTA ANA, CA 92705
CONTACT: WALTER JONES
DIRECTOR OF CONSTRUCTION, WEST COAST

ARCHITECT
RSI GROUP
3199 AIRPORT LOOP DR, SUITE D
COSTA MESA, CA 92626
CONTACT: DAVID PAGE
TEL: (714) 965-9400

SURVEYOR
COMMERCIAL DEVELOPMENT RESOURCES
695 TOWN CENTER DRIVE #110
COSTA MESA, CA 92626
CONTACT: AARON ALBERTSON, P.E.
TEL: (949)-610-8997

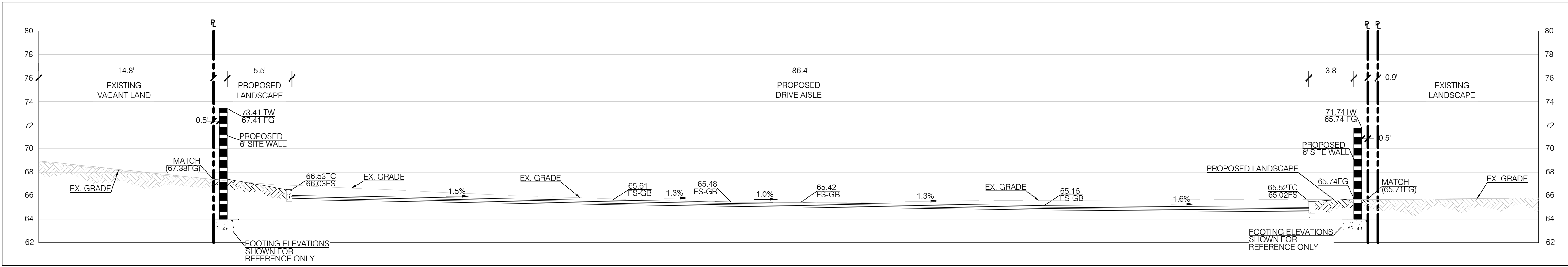
CIVIL ENGINEER
COMMERCIAL DEVELOPMENT RESOURCES
695 TOWN CENTER DRIVE #110
COSTA MESA, CA 92626
CONTACT: AARON ALBERTSON, P.E.
TEL: (949)-610-8997

GEOTECHNICAL ENGINEER
SALEM ENGINEERING GROUP, INC.
8711 MONROE COURT, SUITE A
RANCHO CUCAMONGA, CA 91730
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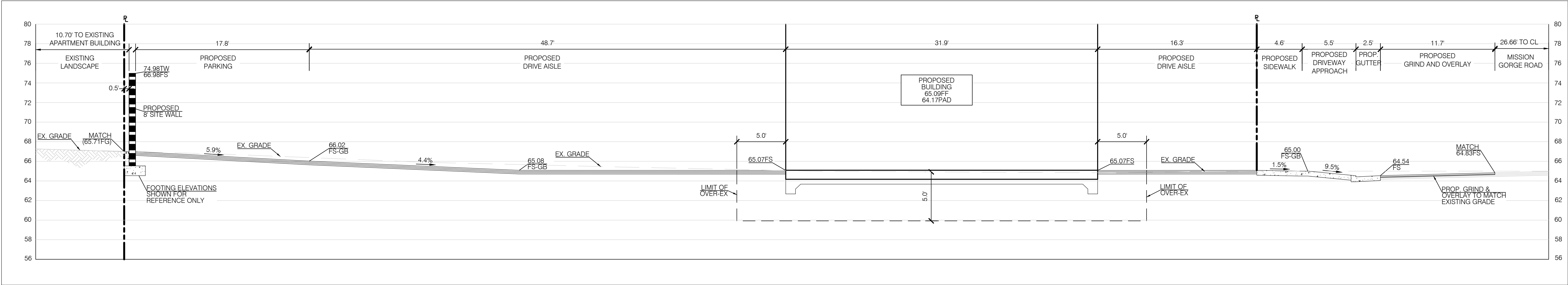
SITE ADDRESS
10463 MISSION GORGE ROAD
SANTEE, CA 92071

APN:
384-091-51-00

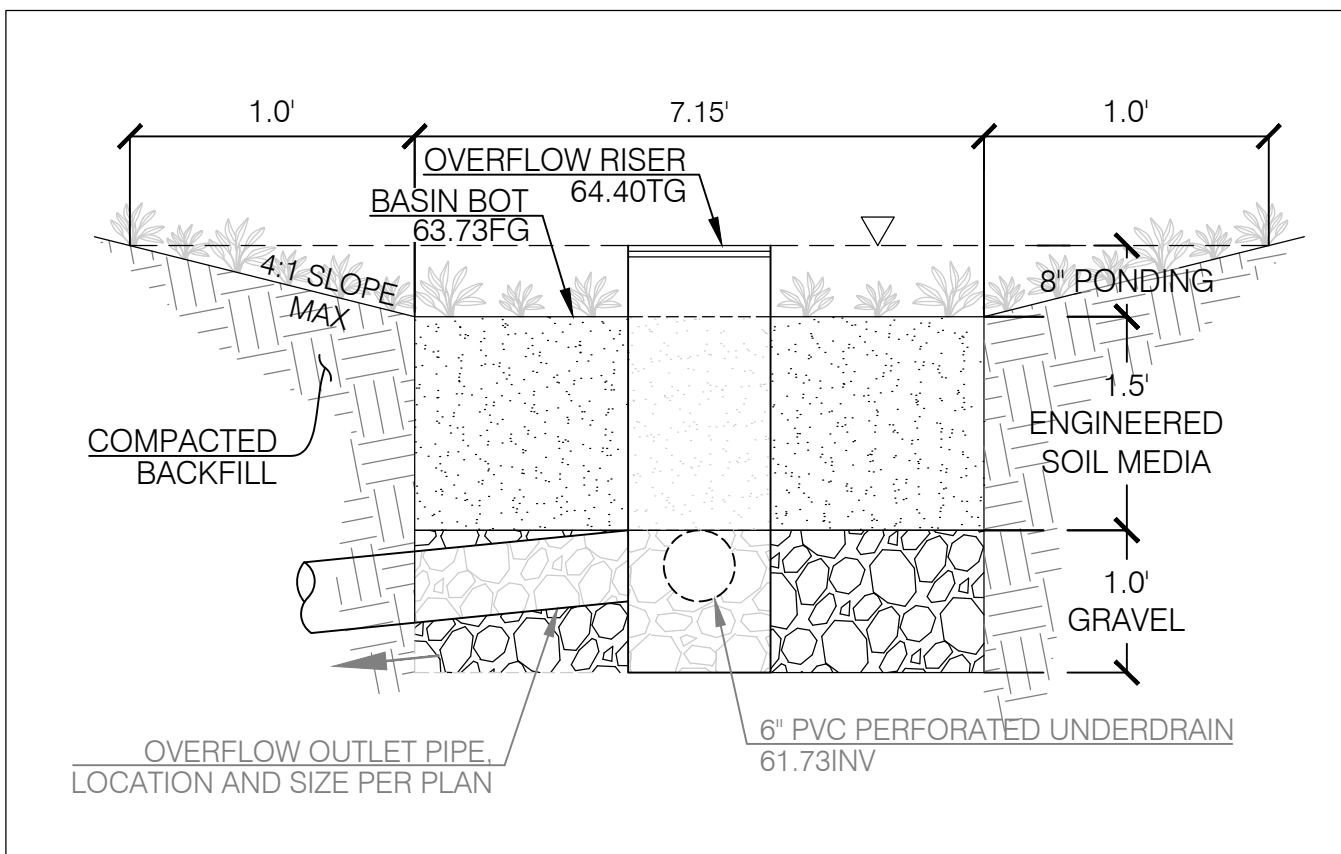
CONSTRUCTION RECORD		REFERENCES	DATE	BY	REVISIONS	ACPTD	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY	REVIEWED	CITY OF SANTEE		DEPARTMENT OF DEVELOPMENT SERVICES	CITY W.O. NO.	DRAWING NO.
CONTRACTOR							HORIZ:	PLANS PREPARED UNDER THE SUPERVISION OF				VALVOLINE INSTANT OIL CHANGE			GRD-2024-	2024-
INSPECTOR							VERT:	AARON M. ALBERTSON	DATE	EXPIRES 09/30/25	PROJECT ENGINEER					SHEET 02 OF 03
DATE COMPLETED								RCE NO. 65513								



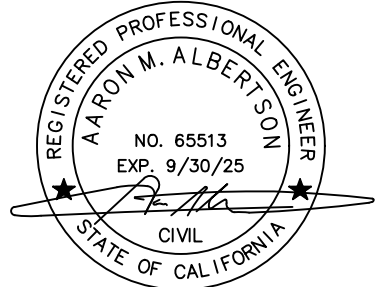
SECTION "A-A"
SCALE: 1"=5'



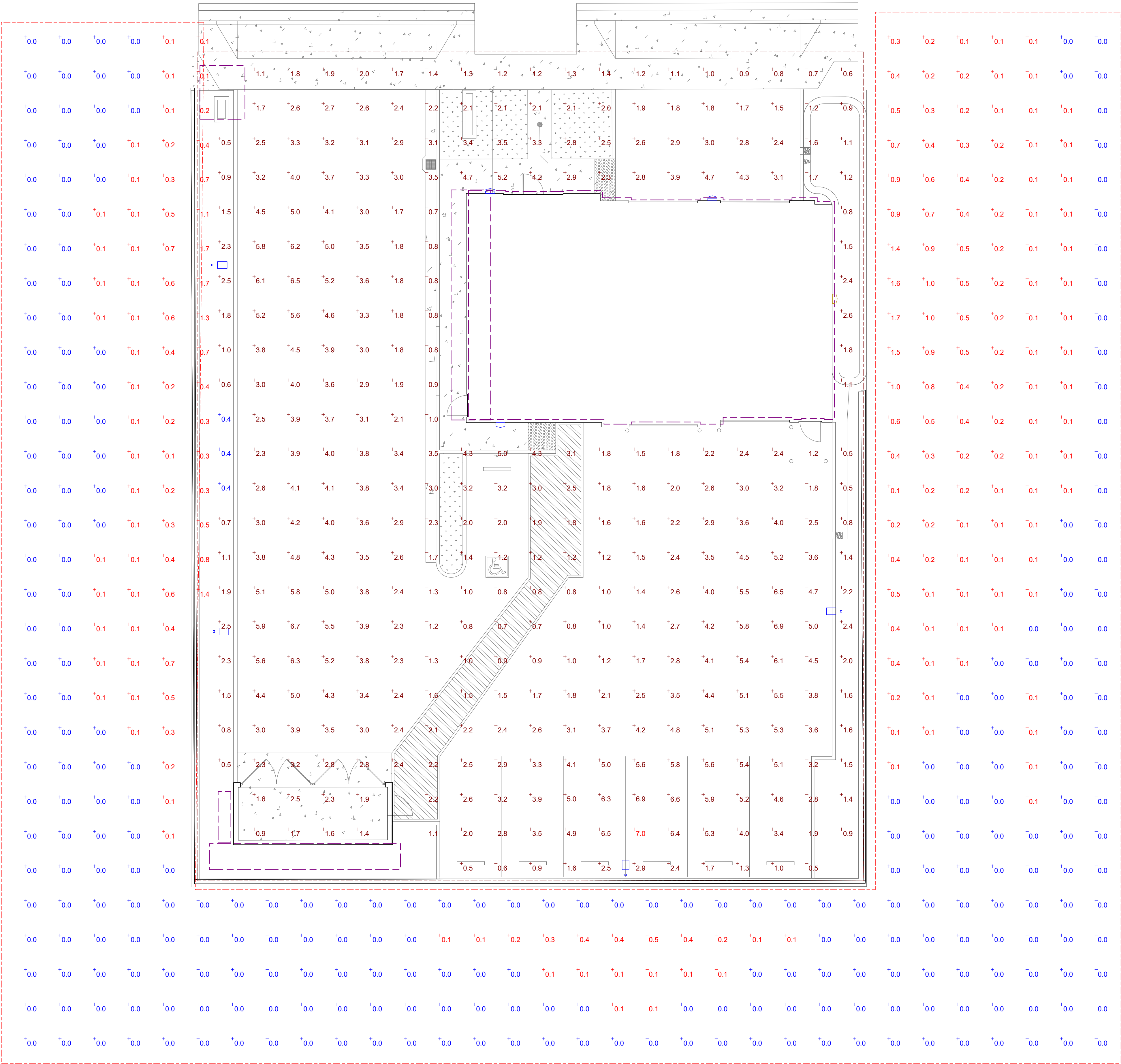
SECTION "B-B"
SCALE: 1"=5'



BIOTREATMENT BASIN CROSS-SECTION
NOT TO SCALE



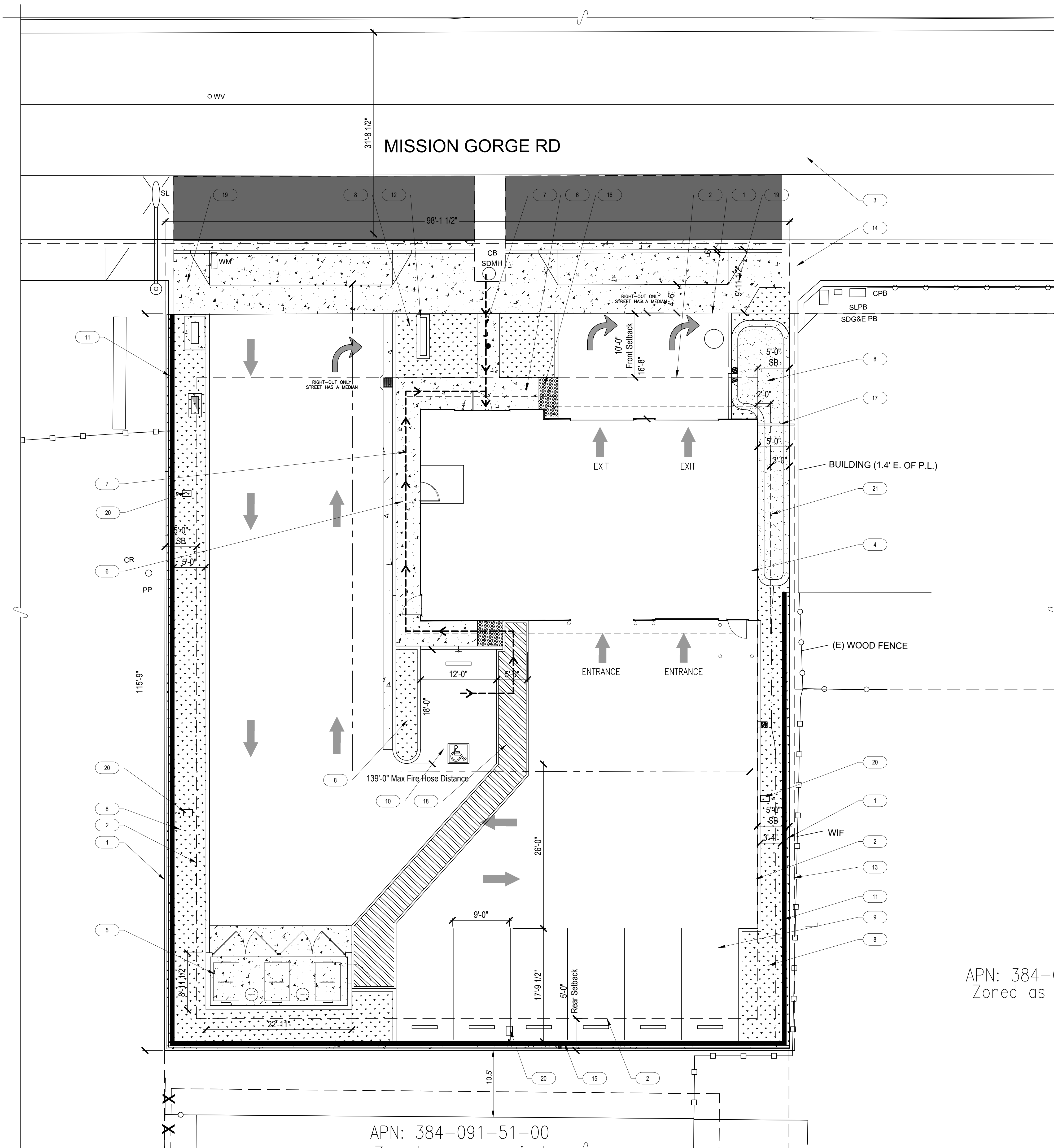
CONSTRUCTION RECORD			REFERENCES	DATE	BY	REVISIONS	ACPTD	BENCH MARK			SCALE	DESIGNED BY	DRAWN BY	CHECKED BY	REVIEWED	CITY OF SANTEE		DEPARTMENT OF DEVELOPMENT SERVICES		CITY W.O. NO.	DRAWING NO.
CONTRACTOR								SAN DIEGO COUNTY BENCHMARK: G 0281			HORIZ:	PLANS PREPARED UNDER THE SUPERVISION OF				BY _____ PROJECT ENGINEER	GRADING PLAN FOR:		GRD-2024-	2024-	
INSPECTOR								DESCRIPTION: 1.0 MI S SANTEE POST OFF ALONG MAGNOLIA, 100FT N INT AIRPORT DR AND MAGNOLIA AVE: 27 FT E OF AVE 30 FT N PP 724151H 6.5				AARON M. ALBERTSON					DATE	VALVOLINE INSTANT OIL CHANGE			
DATE COMPLETED								FT N OF THE ONE OF A ROW OF PALM TREES E SIDE HWY STD DISC TOP CONC POST STMPD G 281 1955 ELEV 406.676				RCE NO. 65513					EXPIRES 09/30/25	SHEET 03 OF 03			
								DATUM: NGVD 29			VERT:										



Plan View
Scale - 1/8" = 1ft

Schedule							
Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output
	PL-2	4	Lithonia Lighting	RSX1 LED P2 50K R4 HS POLE MTD @ 15' AFG	RSX1 LED Area Luminaire Size 1 P2 Lumen Package 5000K CCT Type R4 Distribution with HS shield	1	6554
	WM-1	3	Lithonia Lighting	WPX1 LED P2 50K MVOLT DDBXD M4 WALL WTD @ 12' AFG	WPX1 LED wallpack 3000lm 5000K color temperature 120-277 Volts	1	2954
	WM-2	1	Lithonia Lighting	WPX1 LED P1 50K MVOLT DDBXD M4 WALL WTD @ 12' AFG	WPX1 LED wallpack 1500lm 5000K color temperature 120-277 Volts	1	1602

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
TRESPASS LIGHTING	+	0.1 fc	1.7 fc	0.0 fc	N/A	N/A
SITE	+	2.8 fc	7.0 fc	0.4 fc	17.5:1	7.0:1



KEY NOTES

- 1 PROPERTY LINE
- 2 SETBACK LINE
- 3 ADJACENT STREET/ HWY.
- 4 PROPOSED NEW BUILDING
- 5 PROPOSED NEW TRASH ENCLOSURE PER CITY STANDARDS
- 6 PROPOSED NEW CONCRETE WALKWAY
- 7 PATH OF TRAVEL
- 8 PROPOSED NEW LANDSCAPING, REF. CIVIL PLANS FOR MORE INFO
- 9 NEW PARKING STALLS
- 10 NEW UNIVERSAL PARKING SPACE, SIGNAGE ETC.
- 11 NEW 8'-0" BLOCK WALL. STEPPED DOWN TO 3'-0" TOWARDS STREET
- 12 NEW MONUMENT SIGNAGE, SEE ELEVATIONS FOR MORE INFO
- 13 EXISTING CABLE FENCE
- 14 EXISTING SIDEWALK
- 15 NEW 8'-0" BLOCK WALL
- 16 NEW TRUNCATED DOME
- 17 METAL RAILING FENCE
- 18 PARKING STRIPING
- 19 ADJUSTED/ NEW SIDEWALK & DRIVEWAY APPROACH/ TURN. REF. CIVIL PLANS FOR MORE INFO
- 20 LIGHT POLES
- 21 ROOF EAVES

LOT CALCULATIONS:

PROPOSED BUILDING SIZE:

BUILDING FOOT PRINT: 1,695 S.F.
BASEMENT: +/- 1,695 S.F.
FIRST FLOOR: +/- 1,695 S.F.
SECOND FLOOR +/- 644 S.F.

REQUIRED PARKING SPACES: 7

LOT SIZE: +/- 11,358 S.F.

BUILDING RATIO TO LOT: 0.149

REFERENCE SHEET L-1 FOR PLANTING PLAN ELABORATING ON PLANTING CALCS.

PARKING AREA INCLUDING: ACCESS DRIVES, AISLES, STALLS, MANEUVERING, AND LANDSCAPING WITHIN PORTION OF THE PREMISES THAT IS DEVOTED TO VEHICULAR PARKING AND CIRCULATION: 7,459 SF

LANDSCAPE AREAS WITHIN PARKING AREA: 836 SF

$836 / 7,459 = 11\%$ (10% MINIMUM REQUIRED PER SMC 13.36.100.B.1)



3199 AIRPORT LOOP DR, SUITE D
COSTA MESA, CA 92626
714.966.9400
WWW.rsi-group.com

PROJECT SEAL:

ENGINEER:

CLIENT:



DO NOT SCALE DRAWINGS CONTRACTOR TO VERIFY
ALL EXISTING CONDITIONS AND DIMENSIONS-NOTIFY
ARCHITECT OF ANY DISCREPANCIES PRIOR TO
BEGINNING CONSTRUCTION

PROJECT NAME:

VALVOLINE
10463 MISSION GORGE ROAD
SANTEE, CA 92071
APN: 384-091-51-00

ISSUE DATE:

24.07.30 - UPDATED SET
24.08.20 - UPDATED SET
24.09.09 - UPDATED ELEV.
24.11.05 - ENTITLEMENT SET
25.02.05 - ENTITLEMENT
COMMENTS

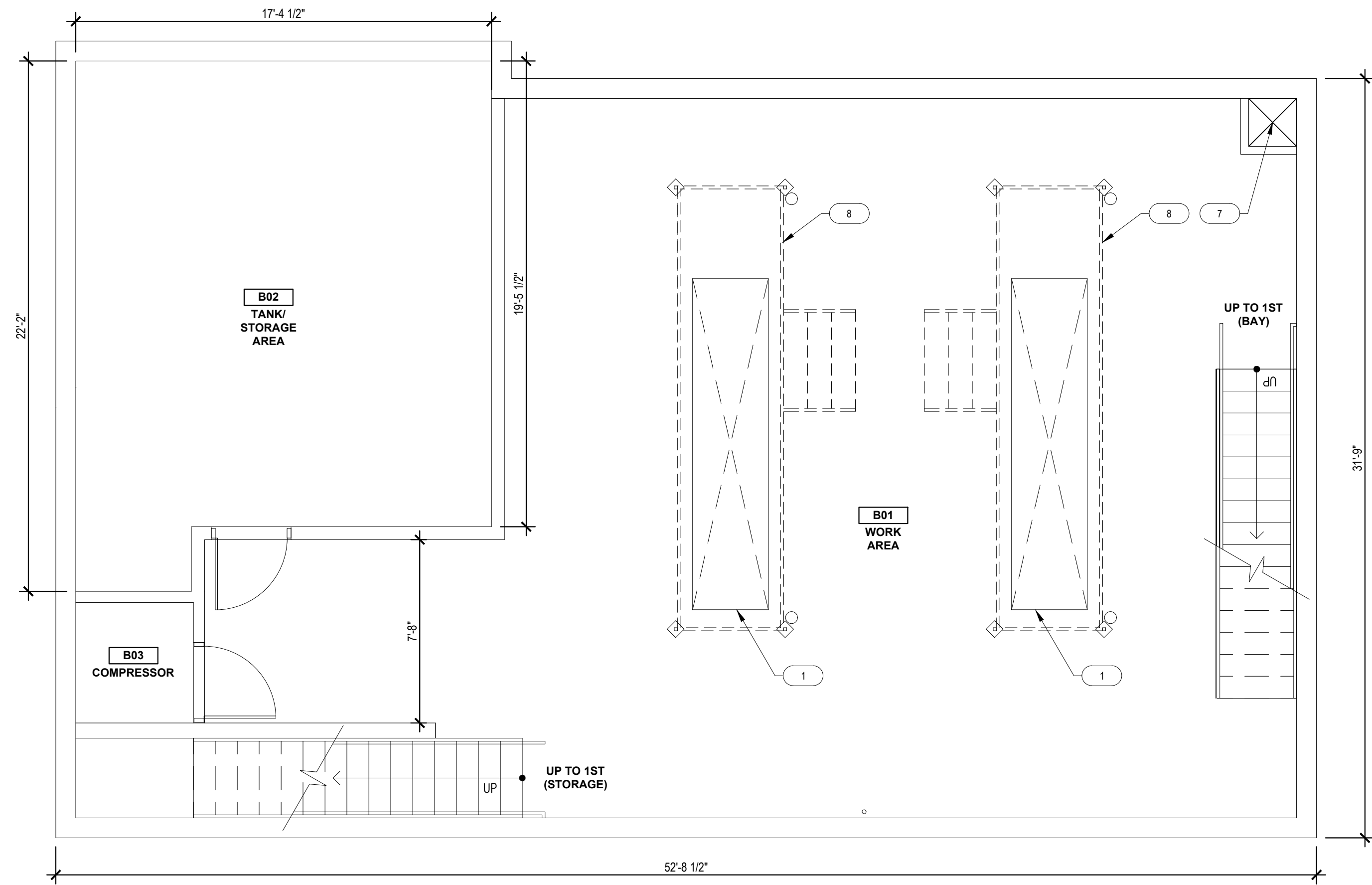
SHEET TITLE:

**ARCHITECTURAL
SITE PLAN**

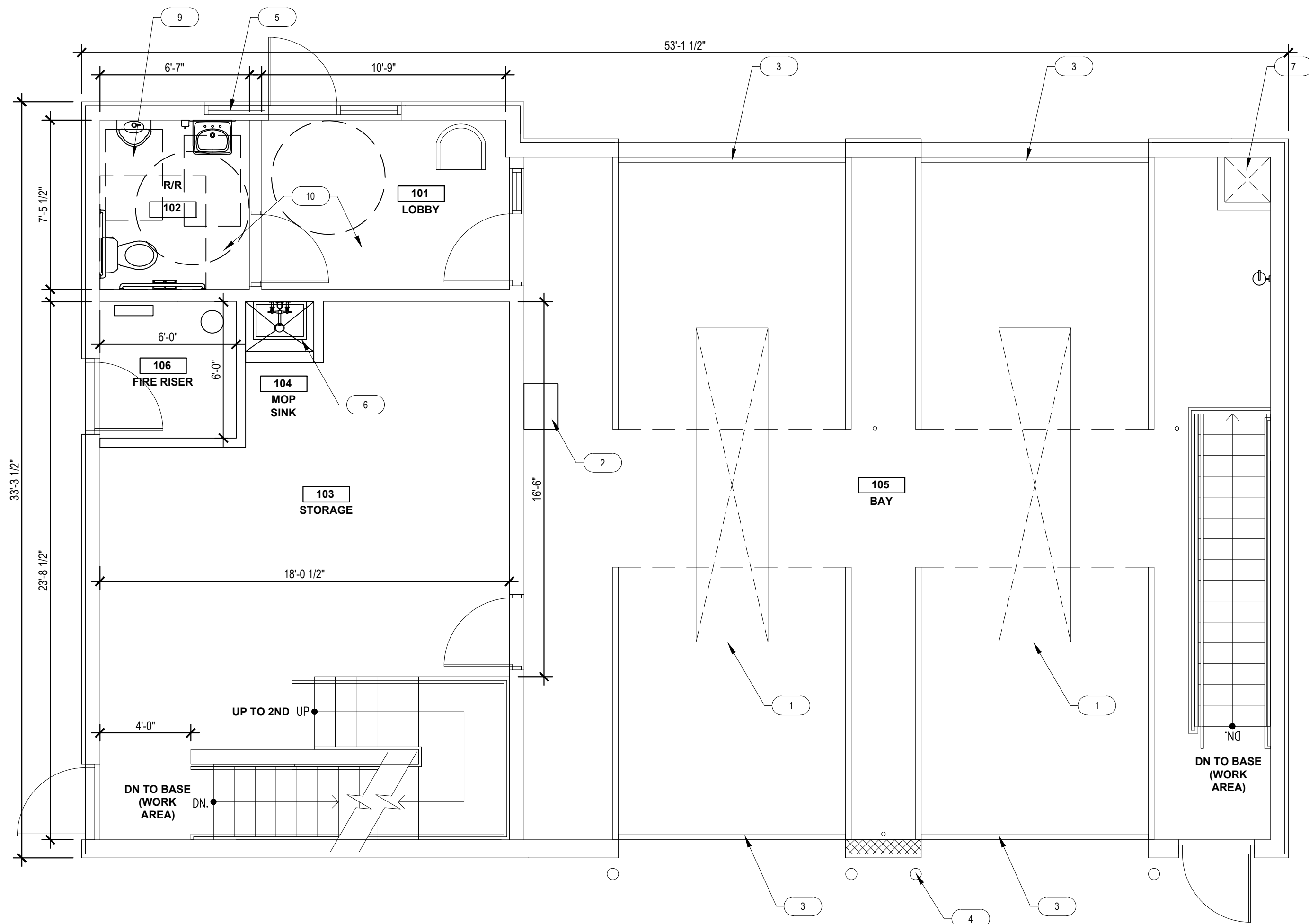
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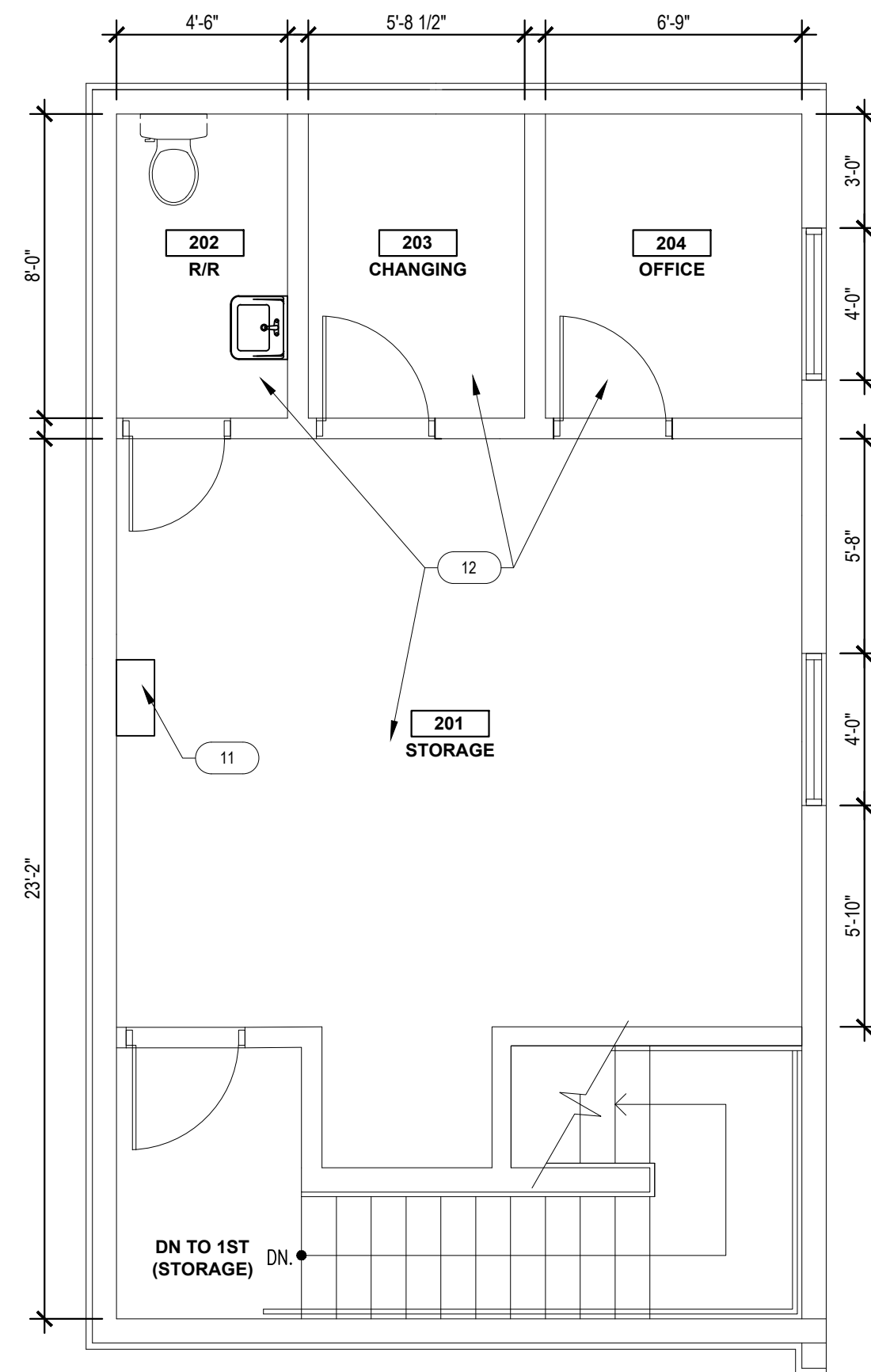
01 ARCHITECTURAL SITE PLAN
SCALE: 1/8" = 1'-0"



01 BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"



02 1ST LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"



03 2ND LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

KEY NOTES

- 1 BAY OPENING ABOVE/ BELOW
- 2 CONDENSER UNIT, HIGH AND TIGHT TO CEILING
- 3 ROLLER DOORS
- 4 BOLLARDS
- 5 SPANDREL GLASS OR SIM.
- 6 MOP SINK
- 7 VENT OPENING
- 8 RAISED PLATFORM
- 9 ACCESSIBLE RESTROOM
- 10 A.C. REQUIRED IN THIS ROOM
- 11 CONDENSER ABOVE CEILING
- 12 4 WAY/ ZONE SPLIT



3199 AIRPORT LOOP DR. SUITE D
COSTA MESA, CA 92626
714.966.9400
WWW.rsi-group.com

PROJECT SEAL:

ENGINEER:

CLIENT:



DO NOT SCALE DRAWINGS CONTRACTOR TO VERIFY
ALL EXISTING CONDITIONS AND DIMENSIONS-NOTIFY
ARCHITECT OF ANY DISCREPANCIES PRIOR TO
BEGINNING CONSTRUCTION

PROJECT NAME:

VALVOLINE
10463 MISSION GORGE ROAD
SANTEE, CA 92071
APN: 384-091-51-00

ISSUE DATE:

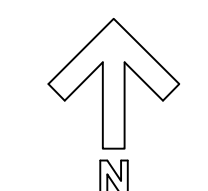
24.07.30 - UPDATED SET
24.08.20 - UPDATED SET
24.09.09 - UPDATED ELEV.
24.11.05 - ENTITLEMENT SET
25.02.05 - ENTITLEMENT
COMMENTS

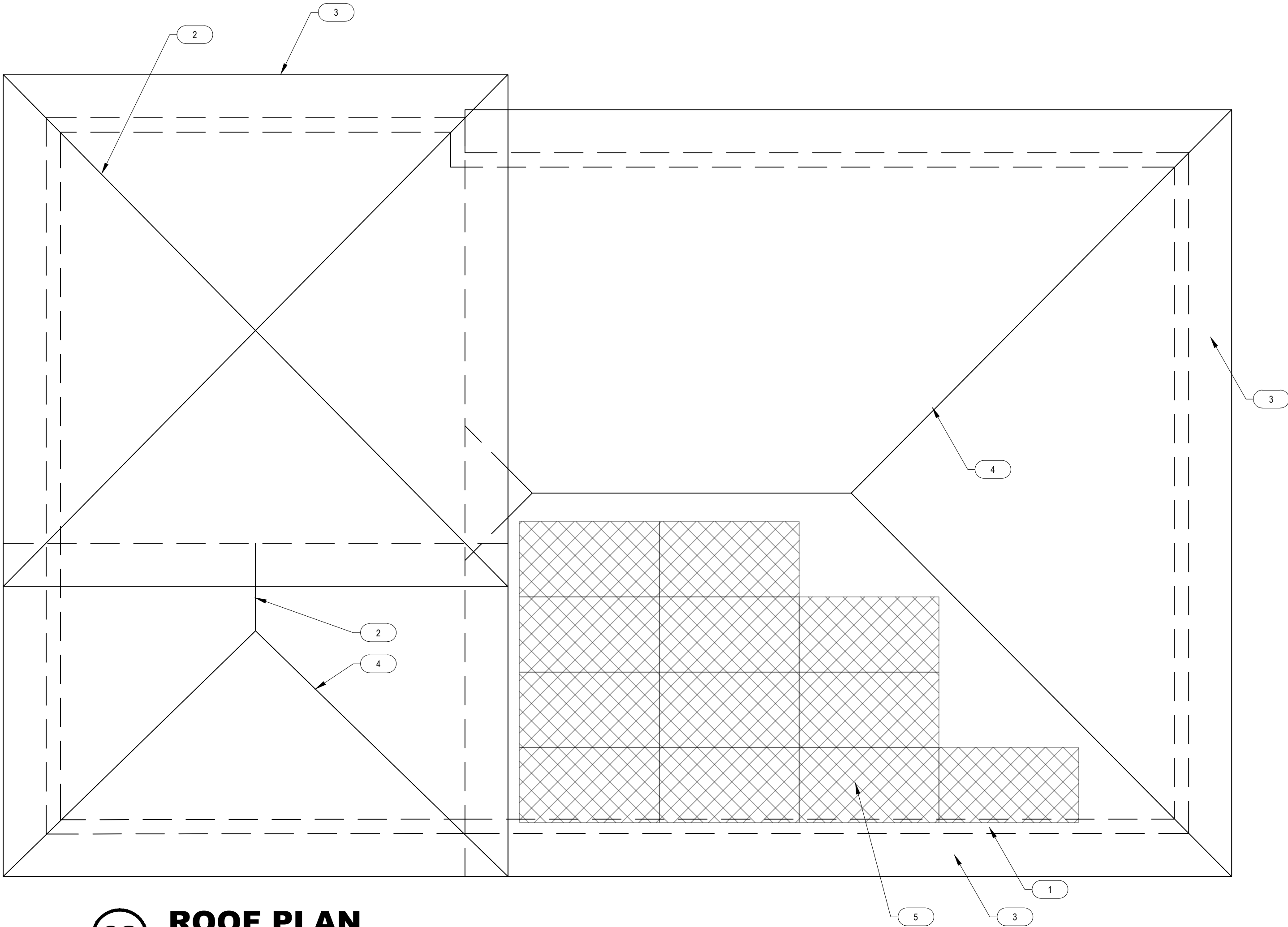
SHEET TITLE:

FLOOR PLANS

SHEET NUMBER:

A100





02 ROOF PLAN
SCALE: 1/4" = 1'-0"

KEY NOTES

- 1 BUILDING FOOTPRINT
 - 2 ROOF RIDGE
 - 3 ROOF OVERHANG
 - 4 ROOF HIP
 - 5 PROPOSED SOLAR PANEL LOCATION, APPROX S.F.300.
- BUILDING FOOTPRINT 1,695 S.F.
1695 X1.5W = 2542.5
2542.5 / 15W PER S.F. OF SOLAR = 170 S.F. REQ.



PRODUCT INFORMATION



Product Name:	Villa 900 - Goldenrod
SKU Number:	1VIC56116
Product Type:	Standard Weight
Color:	Orange

Cool Rated Product


Reflectivity:	0.32
Aged Ref. (3 yr):	0.33
Emmissivity:	0.90
Aged Em. (3 yr):	0.90
SRI:	34
Aged SRI (3 yr):	36
CRRC ID#:	0043
Seller ID#:	0942

Tile Specifications:

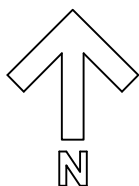
Size:	17 x 13 in
Coverage:	87
Approx. Installed Weight:	900 lbs
Pieces per Pallet:	308
Squares per Pallet:	3.54
Approx. Weight per Pallet:	3327 lbs

*Calculated Aged Value
The printed color shown here may vary from the actual available tile color and should not be used to color match. Please contact your local Sales Representative for actual tile samples.

1.800.669.TILE (8453)
www.WestlakeRoyalRoofing.com

 COOL ROOF RATING COUNCIL	Solar Reflectance	Initial	Weathered
		0.32	0.33
	Thermal Emittance	0.90	0.90
	Rated Product ID Number	0043	
	Licensed Seller ID Number	0942	
	Classification	Production Line	
<small>Cool Roof Rating Council ratings are determined for a fixed set of conditions, and may not be appropriate for determining seasonal energy performance. The actual effect of solar reflectance and thermal emittance on building performance may vary. Manufacturer of the product stipulates that these ratings were determined in accordance with the applicable Cool Roof Rating Council procedures.</small>			

PROPOSED ROOF MATERIAL WITH 'COOL ROOF' RATING



3199 AIRPORT LOOP DR, SUITE D
COSTA MESA, CA 92626
714.966.9400
WWW.rsi-group.com

PROJECT SEAL:

ENGINEER:

CLIENT:



DO NOT SCALE DRAWINGS CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS-NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING CONSTRUCTION

PROJECT NAME:

VALVOLINE
10463 MISSION GORGE ROAD
SANTEE, CA 92071
APN: 384-091-51-00

ISSUE DATE:

24.07.30 - UPDATED SET
24.08.20 - UPDATED SET
24.09.09 - UPDATED ELEV.
24.11.05 - ENTITLEMENT SET
25.02.05 - ENTITLEMENT
COMMENTS

SHEET TITLE:

ROOF PLAN

SHEET NUMBER:

A110



3199 AIRPORT LOOP DR. SUITE D
COSTA MESA, CA 92626
714.966.9400
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PROJECT SEAL:

ENGINEER:

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COMMENTS

SHEET TITLE:

EXTERIOR
ELEVATIONS

SHEET NUMBER:

A200



01 NORTH ELEVATION

SCALE: 1/4" = 1'-0"



02 WEST ELEVATION

SCALE: 1/4" = 1'-0"



03 SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



04 EAST ELEVATION

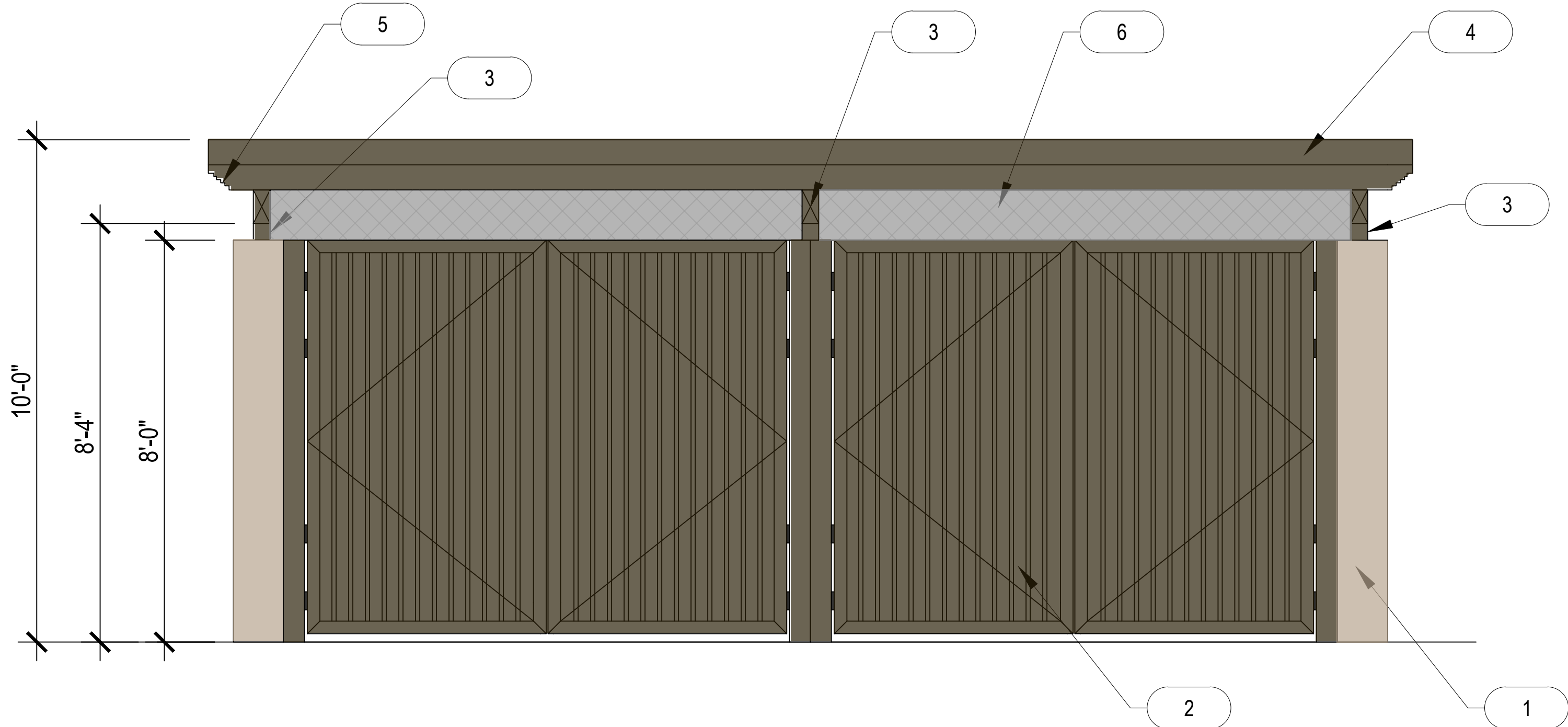
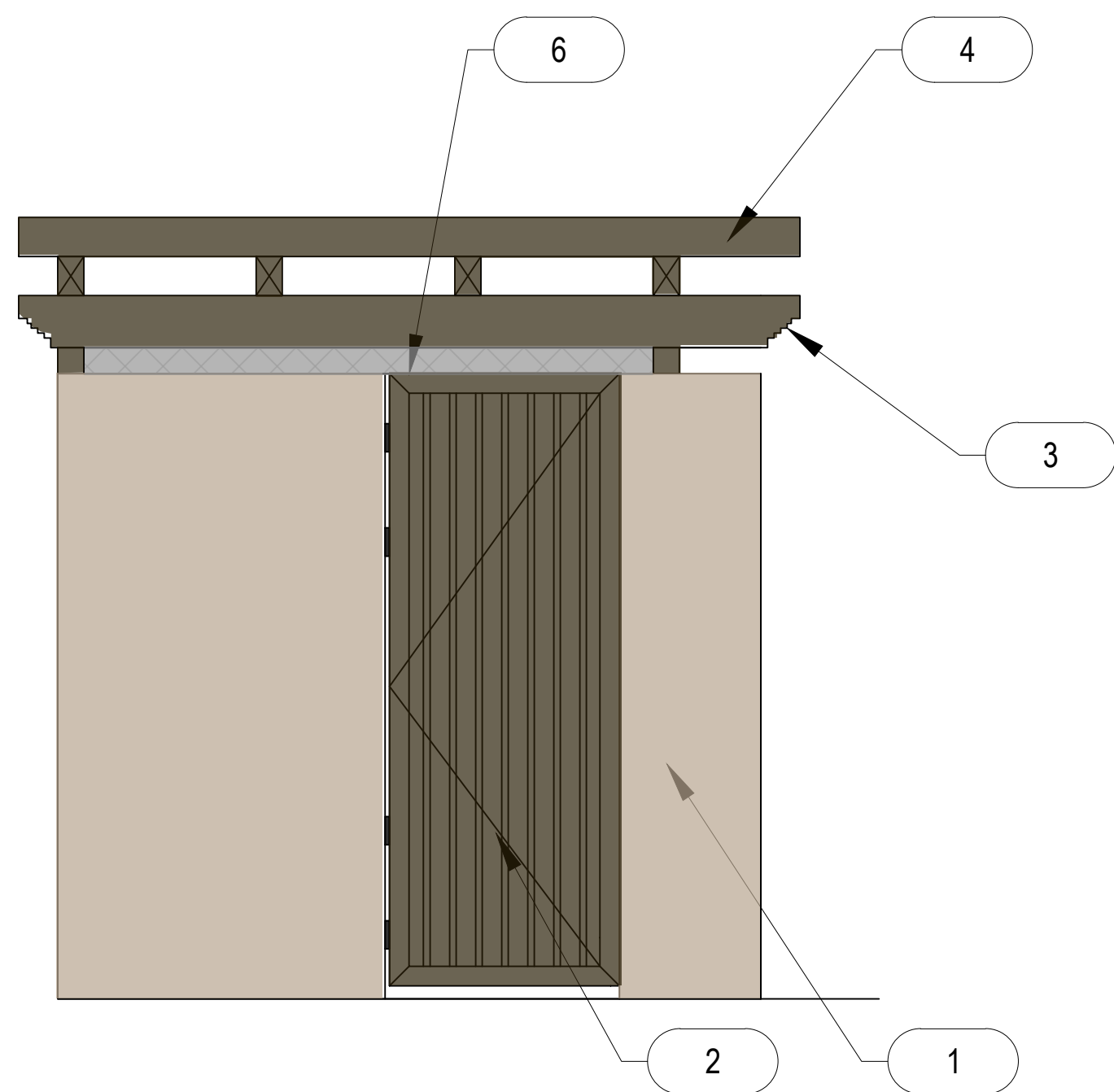
SCALE: 1/4" = 1'-0"



KEY NOTES	
1	NEW TRASH ENCLOSURE WITH STUCCO FINISH & COLOR TO MATCH ADJACENT, TO MEET CITY STANDARDS
2	NEW STEEL GATES & CAISSON
3	NEW 4X4 POSTS
4	NEW ROOF STRUCTURE & CORRUGATED METAL ROOF TO MATCH CITY STANDARDS. ROOF TO SLOPE TO PLANTER
5	EDGE DETAIL AT END OF RAFTER/ JOIST PER CITY STANDARD
6	OPEN MESH SCREENING PER CITY STANDARDS

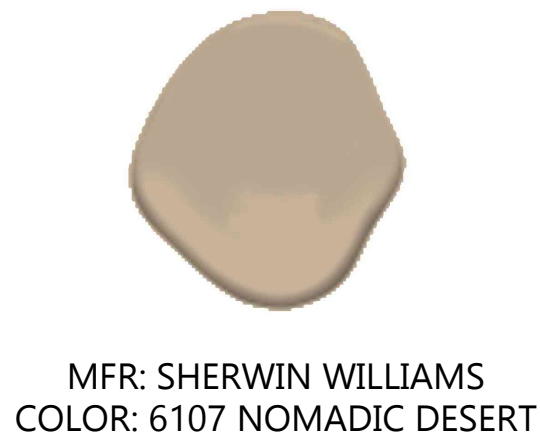
1 MONUMENT SIGNAGE

SCALE: NTS

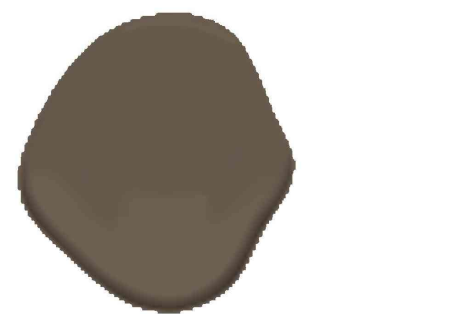


2 TRASH ENCLOSURE ELEVATIONS

SCALE: 1/2" = 1'-0"



MFR: SHERWIN WILLIAMS
COLOR: 6107 NOMADIC DESERT



MFR: SHERWIN WILLIAMS
COLOR: 7515 HOMESTEAD BROWN



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SHEET TITLE:

ELEVATIONS

SHEET NUMBER:

A201