

Mayor
John W. Minto
City Council
Ronn Hall
Laura Koval
Rob McNelis
Dustin Trotter

August 4, 2025

To Prospective Bidders:

**FIRE STATION NO. 4 2ND STORY ROOF REPLACEMENT
CIP 2026-32**

ADDENDUM NO. 2

This Addendum No. 2 (11 pages in total) forms an essential part of the contract documents by revising the following:

2A CONTRACT DOCUMENTS

The following changes to the contract documents are being implemented:

- 2A-1 The Engineer's estimate is revised from \$19,000 to \$28,000.
- 2A-2 The bid opening date is extended to August 14, 2025 at 10:00 am.
- 2A-3 Replace page 99 of the contract documents with the attached revised bid schedule, titled "Bid Schedule (Addendum 2), page 4 of this addendum.

2B SPECIFICATIONS

The following changes to the specifications are being implemented:

- 2B-1 Replace paragraph (1) under 900-4 Payment, with the following:

Payment for "**Remove Existing Multi-Ply Roof System**" shall be measured and paid for on a lump sum basis. Unit price bid shall include full compensation for furnishing all labor, materials, tools, equipment, including but not limited to; removal and disposal of existing multi-ply roofing system, removal and disposal of roof antennas, flashing, metal edgings, pipe boots, roof drain grates, cleaning adhesives contaminants and debris, and all related and appurtenant work required to complete the work in place.

- 2B-2 Add the following to 900-4 Payment:

Payment for "**Raise Curb for HVAC Unit, Plumbing Extensions, and Electrical Work**" shall be measured and paid for on a lump sum basis. Unit price bid shall include full compensation for furnishing all labor, materials, tools, equipment, including but not limited to; craning operations for lifting the HVAC unit, curb extension, metal hardware, sealants, plumbing extensions, electrical repairs, testing of HVAC unit after reinstall, and all related and appurtenant work required to complete the work in place.

Payment for **“Replace Stucco Reglet Flashing Along Clerestory Vault”** shall be measured and paid for on a lump sum basis. Unit price bid shall include full compensation for furnishing all labor, materials, tools, equipment, including but not limited to; removal and disposal of existing reglet flashing, stucco, and materials, saw cutting operations, plywood backing, new building paper, metal lath, new stucco, new reglet flashing, and all related and appurtenant work required to complete the work in place.

2C DRAWINGS

No changes.

2D RFI RESPONSES

2D-1 Question: Do the antennas mounted to the roof need to be protected in place, or can they be removed?

Response: The two antennas positioned on the North side of the roof can be removed. The single antenna that is mounted to the clerestory vault at the center of the roof is still in service and will need to be protected in place during construction. The Contractor shall be responsible for removing the antennas and disposing of its parts and materials. The electrical wires shall be properly terminated and tucked underneath the roof deck to be removed by City staff. The roof penetrations where the antennas were mounted shall be patched and sealed watertight prior to installing the new TPO roof system. Costs associated with the removal of the antennas shall be included in the lump sum bid price for **“Remove Existing Multi-Ply Roof System”**. See Figure 1 below for a photo showing the two antennas to be removed.



Figure 1: Roof Mounted Antennas to be Removed

2D-2 Question: The existing roof curb base flashing for the HVAC unit will not comply with the minimum 8 inches above the roof surface for the new TPO roof. What are the requirements for raising the curb?

Response: The Contractor shall provide a detail stamped by a licensed architect or engineer on how the roof curb will be raised to achieve a minimum 8 inch curb base flashing above the new TPO roof. This roof curb detail will need to be submitted with the building permit for approval. The Contractor shall verify with the roof manufacturer that the proposed method for raising the roof

curb will be compatible with the TPO roof system. The Contractor shall be responsible for protecting the HVAC unit and all its plumbing and electrical components during removal and reinstall. The Contractor shall notify the Project Engineer two working days in advanced of the HVAC removal Any repairs required to the HVAC's plumbing or electrical work shall be performed by an appropriately licensed contractor. The HVAC unit shall be tested to verify everything is in working order after it is reinstalled. Costs associated with raising the curb for the HVAC units shall be measured and paid in the lump sum bid price for **"Raise Curb for HVAC Unit, Plumbing Extensions, and Electrical Work."**

2D-3 Question: The existing reglet flashing along the stucco wall will interfere with the TPO roof. What are the requirements for replacing the reglet flashing?

Response: The Contractor shall remove the existing stucco reglet flashing and install a new stucco reglet flashing to provide the minimum required clearance as required by the roofing manufacturer. The stucco shall be sawcut to allow for the installation of new reglet flashing behind the stucco layer. The Contractor shall install new 3/4" plywood backing, 60-minute two-ply building paper and metal lath over the patch area. The Contractor shall match the color of the existing stucco. Approximately 40 LF of existing reglet flashing shall be replaced. Costs associated with replacing the stucco reglet flashing shall be included in the lump sum bid price for **"Replace Stucco Reglet Flashing along Clerestory Vault"**.

2D-4 Question: At the job walk, it was mentioned that the as-builts showed the existing roof to be a 4-ply built up roof system. Can you provide the as-builts for the roof?

Response: See page 5-11 of this addendum for the as-builts for the roof.

Receipt of this addendum shall be acknowledged by attaching and/or indicating as such on the Information Required of Bidder to the submitted Bid Documents.

Thank you,



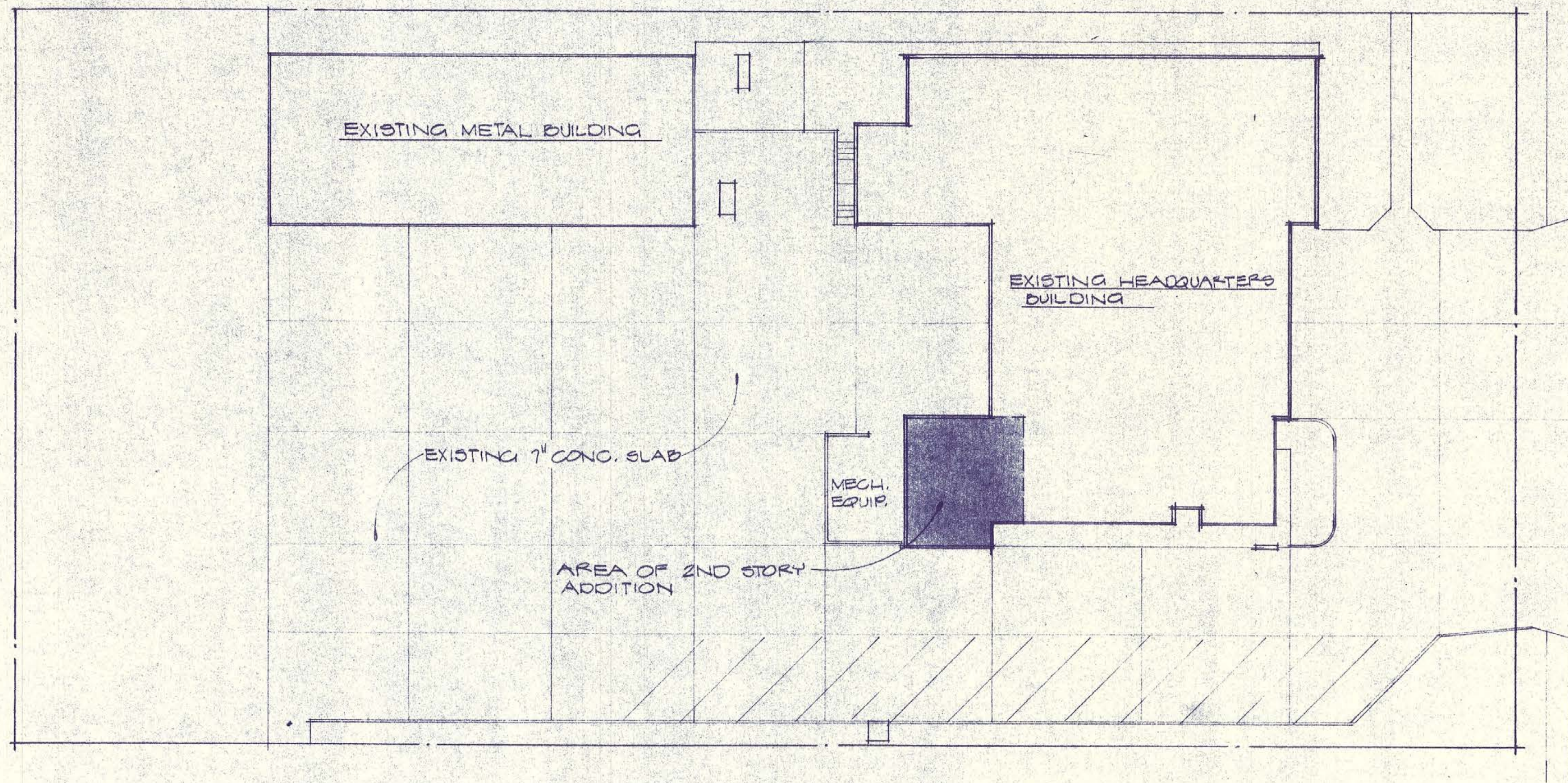
Antonio Sandoval
Assistant Engineer

BID SCHEDULE
(ADDENDUM 2)

FIRE STATION NO. 4
2ND STORY ROOF REPLACEMENT
CIP 2026-32

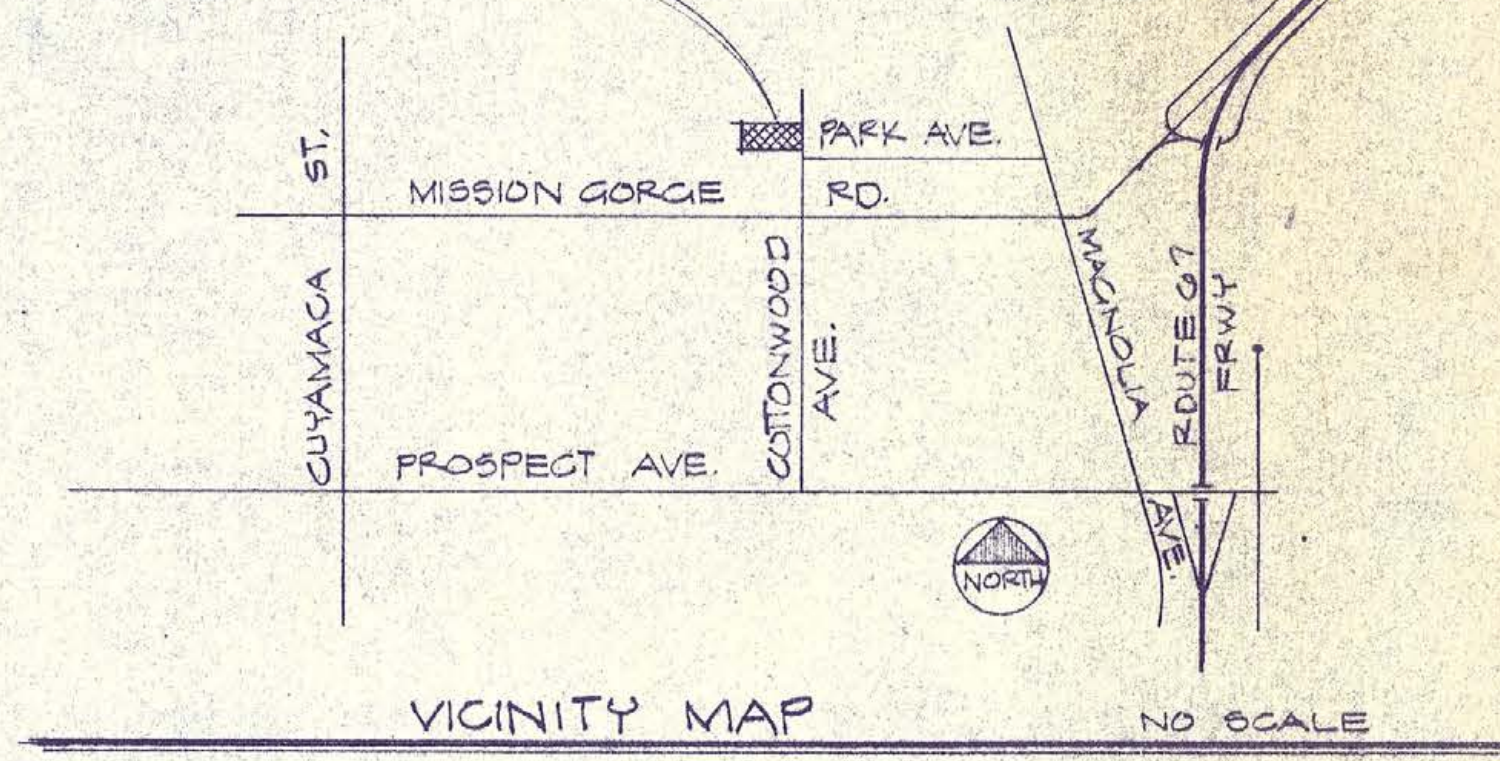
The estimated quantities and total cost herein set forth are for the purpose of comparison of bids only, and final payment will be made upon the basis of actual quantities and unit prices bid. The City reserves the right to vary these quantities by up to 25-percent without renegotiating the item unit prices.

BASE BID					
No.	Description	Quantity	Unit	Unit Price	Total
1	Mobilization	1	LS	\$	\$
2	Remove Existing Multi-Ply Roof	1	LS	\$	\$
3	Replace Deteriorated Plywood Sheathing	192	SF	\$	\$
4	Replace Metal Coping	110	LF	\$	\$
5	60 Mil TPO Single-Ply Roof System	1	LS	\$	\$
6	20 Year Roofing Warranty Bond	1	LS	\$	\$
7	Raise Curb for HVAC Unit, Plumbing Extensions, and Electrical Work	1	LS	\$	\$
8	Replace Stucco Reglet Flashing along Clerestory Vault	1	LS	\$	\$
Total Base Bid				\$	



SITE PLAN

PROJECT LOCATIONS



SHEET INDEX

- T-1 SITE PLAN; SHEET INDEX; VICINITY MAP; PROJECT DATA; DOOR, FINISH, & WINDOW SCHEDULES
- A-1 FLOOR PLANS; ROOF DEMOLITION PLAN; ROOF PLAN
- A-2 EXTERIOR ELEVATIONS; REFLECTED CEILING PLAN
- A-3 INTERIOR ELEVATIONS
- A-4 BUILDING SECTIONS; STAIR SECTION; CLERESTORY VAULT DETAIL
- A-5 DETAILS
- A-6 SPECIFICATIONS
- S-1 STRUCTURAL DETAILS; SPECIFICATIONS
- S-2 FRAMING PLANS
- S-3 STRUCTURAL DETAILS
- MP-1 MECHANICAL PLANS; PLUMBING PLANS
- MP-2 SPECIFICATIONS; SCHEDULES
- E-1 SINGLE LINE DIAGRAM; ELECTRICAL FLOOR PLAN
- E-2 SPECIFICATIONS; SCHEDULES

CITY OF SANTEE
DEPARTMENT OF BUILDING INSPECTION
SITE ADDRESS

ASSESSOR'S PARCEL NO.

USE

USE REGULATIONS	NEIGHBORHOOD REGS	DEVELOPMENT REGULATIONS	SPECIAL AREA REGS	MUP/VAR/SECT NO.
1. Density	1	1. Density	1	1
2. Lot Size	2	2. Lot Size	2	2
3. Plat. Type	3	3. Plat. Type	3	3
4. Max. Plat. Area	4	4. Max. Plat. Area	4	4
5. Max. Plat. Area	5	5. Max. Plat. Area	5	5
6. Max. Plat. Area	6	6. Max. Plat. Area	6	6
7. Max. Plat. Area	7	7. Max. Plat. Area	7	7
8. Max. Plat. Area	8	8. Max. Plat. Area	8	8
9. Max. Plat. Area	9	9. Max. Plat. Area	9	9
10. Max. Plat. Area	10	10. Max. Plat. Area	10	10
11. Max. Plat. Area	11	11. Max. Plat. Area	11	11
12. Max. Plat. Area	12	12. Max. Plat. Area	12	12

COUNTER PERSON DATE

PLANNER DATE 5/23/84

WINDOW SCHEDULE

WINDOW NO.	SIZE		FIRE RATING	FRAME	FINISH	OPERABLE	GLAZING	DETAILS			NOTES
	WIDTH	HEIGHT						HEAD	JAMB	SILL	
1	4'-0"	3'-0"	-	ALUM.	BRONZE ANOD.	SLIDE	SEE SPEC.	1 1/4" A-5	1 1/4" A-5	12" A-5	
2	6'-0"	4'-0"	-	ALUM.	BRONZE ANOD.	SLIDE		1 1/4" A-5	1 1/4" A-5	12" A-5	
3	5'-0"	4'-0"	-	ALUM.	BRONZE ANOD.	SLIDE		1 1/4" A-5	1 1/4" A-5	12" A-5	
4	4'-0"	4'-0"	-	ALUM.	BRONZE ANOD.	SLIDE		1 1/4" A-5	1 1/4" A-5	12" A-5	
5	4'-0"	2'-0"	-	ALUM.	BRONZE ANOD.	FIX		1 1/4" A-5	1 1/4" A-5	12" A-5	
6	4'-0"	2'-0"	-	ALUM.	BRONZE ANOD.	FIX	OPSCURE GLASS	1 1/4" A-5	1 1/4" A-5	12" A-5	
7	4'-0"	2'-0"	-	ALUM.	BRONZE ANOD.	FIX	SEE SPEC.	1 1/4" A-5	1 1/4" A-5	12" A-5	
8	5'-0"	3'-0"	-	ALUM.	BRONZE ANOD.	FIX	SEE SPEC.	1 1/4" A-5	1 1/4" A-5	12" A-5	1/4" ROUND

DOOR SCHEDULE

DOOR NO.	PAIR	SIZE			MATERIAL	TYPE	FINISH	GLAZING	LOUVER	FRAME		FIRE RATING	HARDWARE GROUP	KEYSIDE ROOM NUMBER	DETAILS			NOTES
		WIDTH	HEIGHT	THICK						MATERIAL	FINISH				HEAD	JAMB	SILL	
1		2'-0"	7'-0"	1 3/8"	H.C. WOOD	-	STAIN	-	-	WOOD	STAIN	-	HW. 4	-	3/4" A-5	3/4" A-5	-	
2		2'-0"	7'-0"	1 3/4"	H.C. WOOD	-	STAIN	-	-	WOOD	STAIN	-	HW. 1	-	7/8" A-5	7/8" A-5	10" A-5	
3		2'-0"	7'-0"	1 3/8"	H.C. WOOD	-	STAIN	-	-	WOOD	STAIN	-	HW. 5	-	3/4" A-5	3/4" A-5	-	
4		2'-4"	7'-0"	1 3/8"	H.C. WOOD	-	STAIN	-	-	WOOD	STAIN	-	HW. 3	-	3/4" A-5	3/4" A-5	-	2,3
5		2'-4"	7'-0"	1 3/8"	H.C. WOOD	-	STAIN	-	-	WOOD	STAIN	-	HW. 3	-	3/4" A-5	3/4" A-5	-	2,3
6		2'-0"	7'-0"	1 3/8"	H.C. WOOD	-	STAIN	-	-	WOOD	STAIN	-	HW. 2	-	3/4" A-5	3/4" A-5	-	
7		2'-0"	7'-0"	1 3/8"	H.C. WOOD	-	STAIN	-	-	WOOD	STAIN	-	HW. 2	-	3/4" A-5	3/4" A-5	-	
8		3'-0"	7'-0"	1 3/8"	WOOD	-	STAIN	-	-	-	-	-	HW. 6	-	-	-	-	BI FOLD
9		2'-6"	7'-0"	1 3/8"	WOOD	-	STAIN	-	-	-	-	-	HW. 6	-	-	-	-	BI FOLD

NOTES

- PAINT EXTERIOR, STAIN INTERIOR
- PAINT TOILET SIDE, STAIN OFFICE SIDE
- UNDERCUT DOOR 1"

FINISH SCHEDULE

ROOM NUMBER	ROOM NAME	MATERIAL										FINISH							NOTES
		FLOOR	BASE	WALLS				WAINSCOT		CEILING		WALLS				CEILING			
				N	S	E	W	MTL.	HT.	MTL.	HT.	N	S	E	W				
	CHIEF	F-1	D-3	W-3	W-3	W-3	W-3	-	-	C-2	9'-0"	X-4	X-4	X-4	X-4	X-3			
	ASSIST. CHIEF	F-1	D-3	W-3	W-3	W-3	W-3	-	-	C-2	9'-0"	X-4	X-4	X-4	X-4	X-3			
	SECRETARY	F-1	D-1	W-1	W-1	W-1	W-1	-	-	C-2	9'-0"	X-1	X-1	X-1	X-1	X-3			
	TOILET RM. #1	F-2	D-2	W-2	W-1	W-2	W-2	-	-	C-1	8'-0"	X-2	X-2	X-2	X-2	X-2			
	TOILET RM. #2	F-2	D-2	W-1	W-2	W-2	W-2	-	-	C-1	8'-0"	X-2	X-2	X-2	X-2	X-2			
	INTERIOR STAIR	X	X	W-1	W-2	-	-	-	-	-	-	X-1	-	-	-	-	*SEE SECTION C/A-4		
	WEST WALL BD. RM.	-	D-1	-	-	-	W-1	-	-	-	-	-	-	-	X-1	-			

FINISH SCHEDULE LEGEND

- F-1 CARPET
- F-2 SHEET VINYL
- B-1 4" VINYL TOPSET
- B-2 6" COVERED SHEET VINYL
- B-3 HOWD BASE
- W-1 5/8" GYP. BD.
- W-2 5/8" W.R. GYP. BD.
- W-3 HOWD PANELING OVER 5/8" GYP. BD.
- C-1 5/8" GYP. BD.
- C-2 2"x4" ACCOUST. LAY-IN PANELS
- X-1 FLAT PAINT LATEX
- X-2 SEMI-GLOSS PAINT
- X-3 FACTORY FINISH
- X-4 STAIN & SEAL

Job No.: 8408
Date: MAY 15, 1984
Drawn: CLB
Revisions: Date: _____

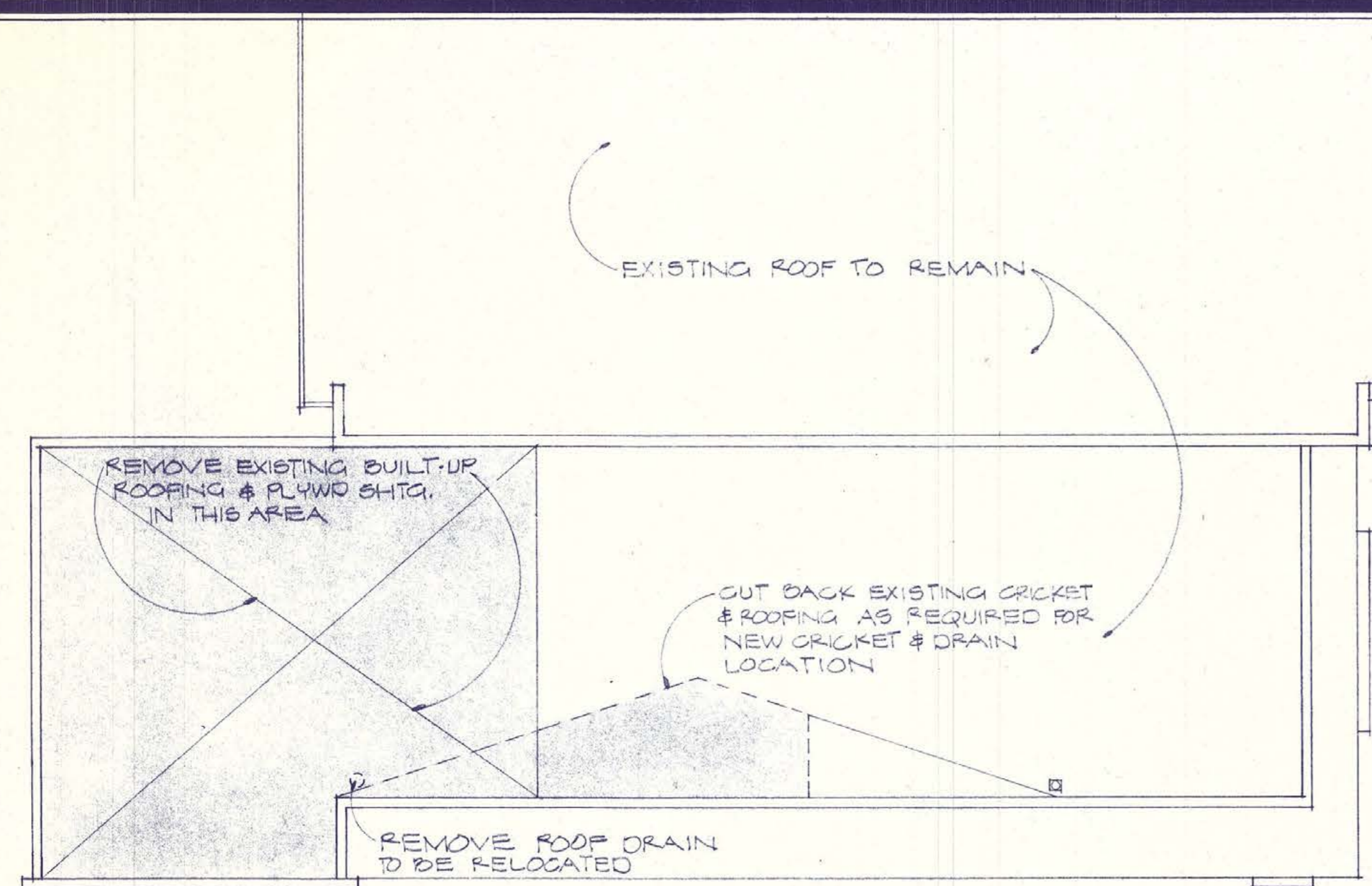
BERMUDES ARCHITECTS
9535 MISSION GORGE ROAD, SUITE G
SANTEE, CA 92071 (619) 448-1800

PROJECT TITLE: **SANTEE FIRE STATION ADDITION**

OWNER: **SANTEE FIRE DISTRICT**
8950 COTTONWOOD AVENUE
SANTEE CALIFORNIA

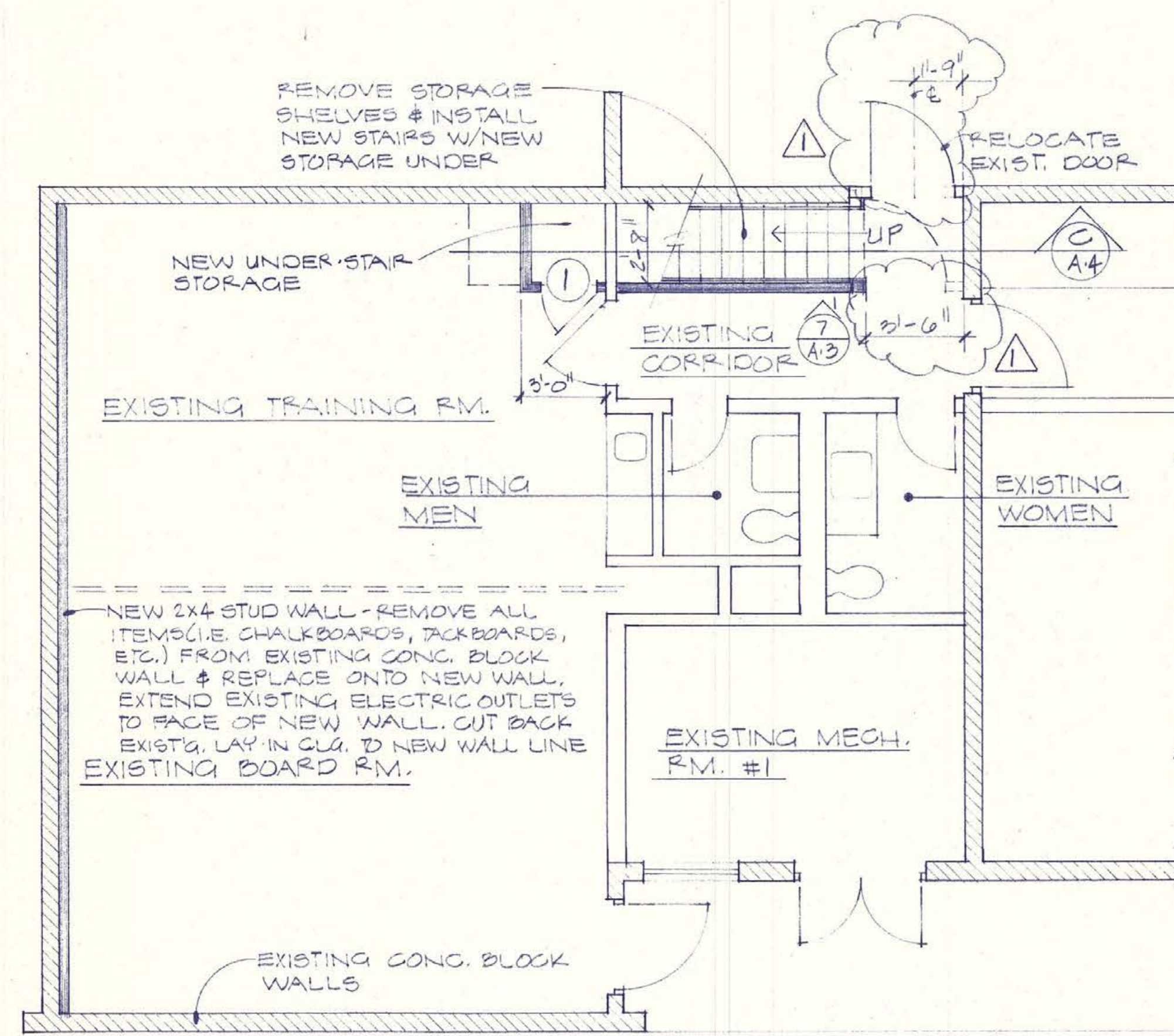
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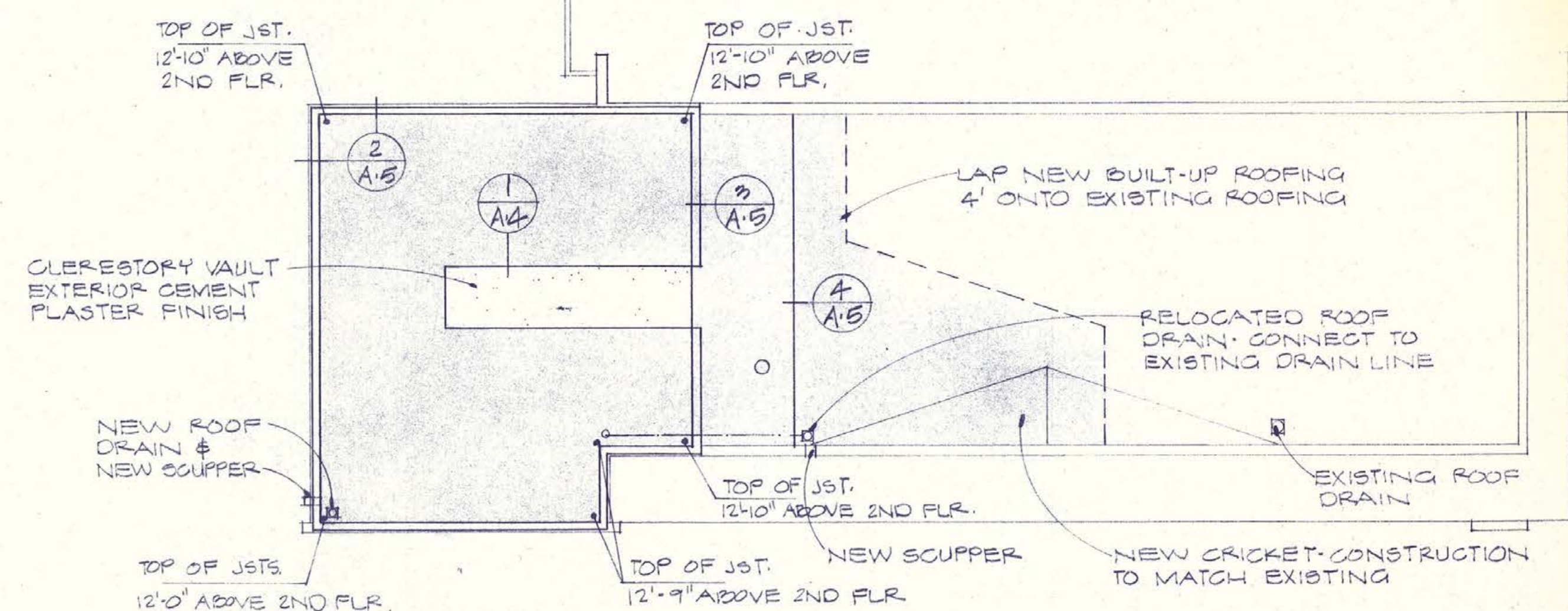


ROOF DEMOLITION PLAN

1/8" = 1'-0"

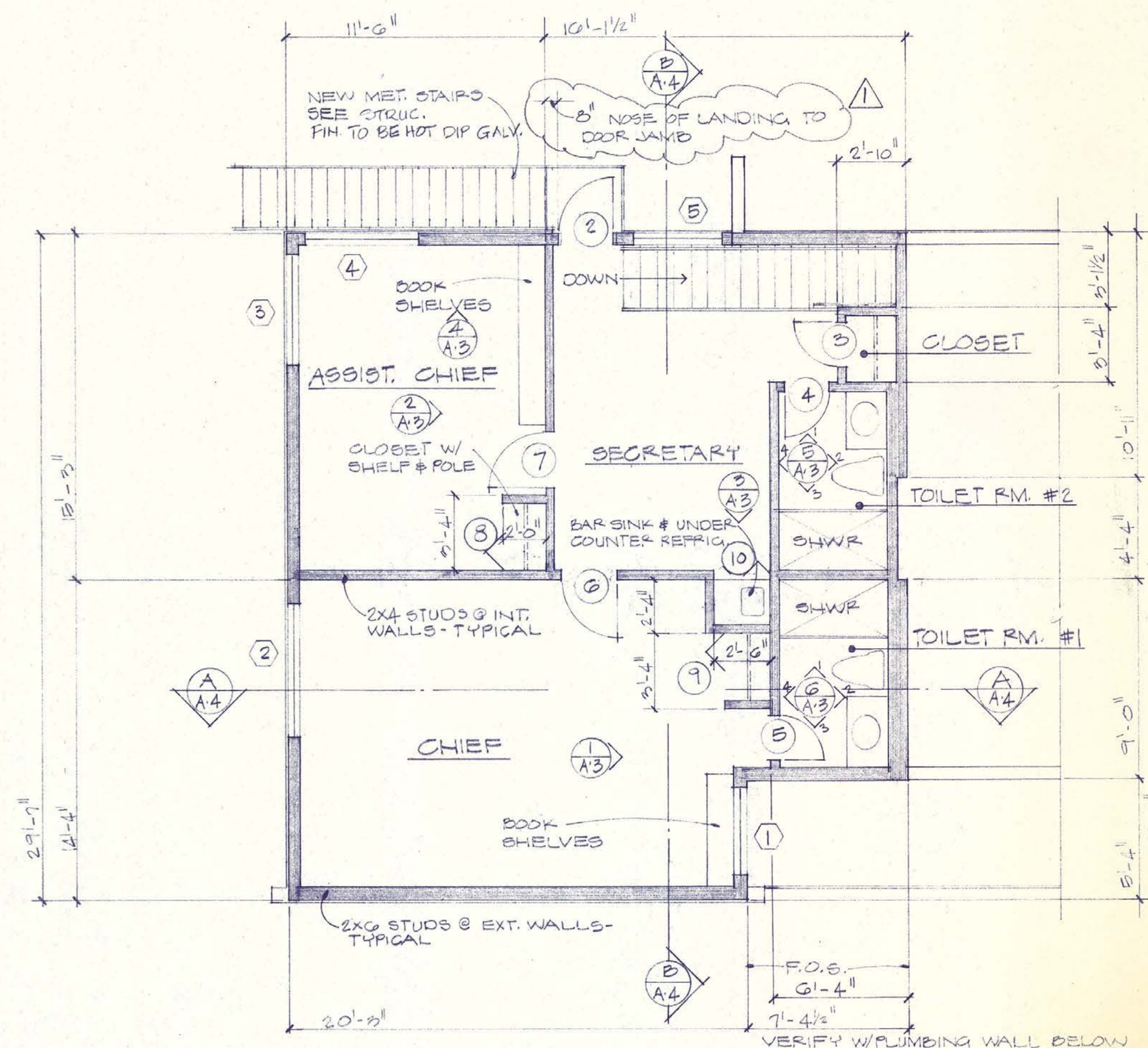


1ST FLOOR PLAN



NEW ROOF PLAN

1/8" = 1'-0"



2ND FLOOR PLAN

Job No.: 8408
Date: MAY 13, 1984
Drawn: CLE
Revisions: 07/84

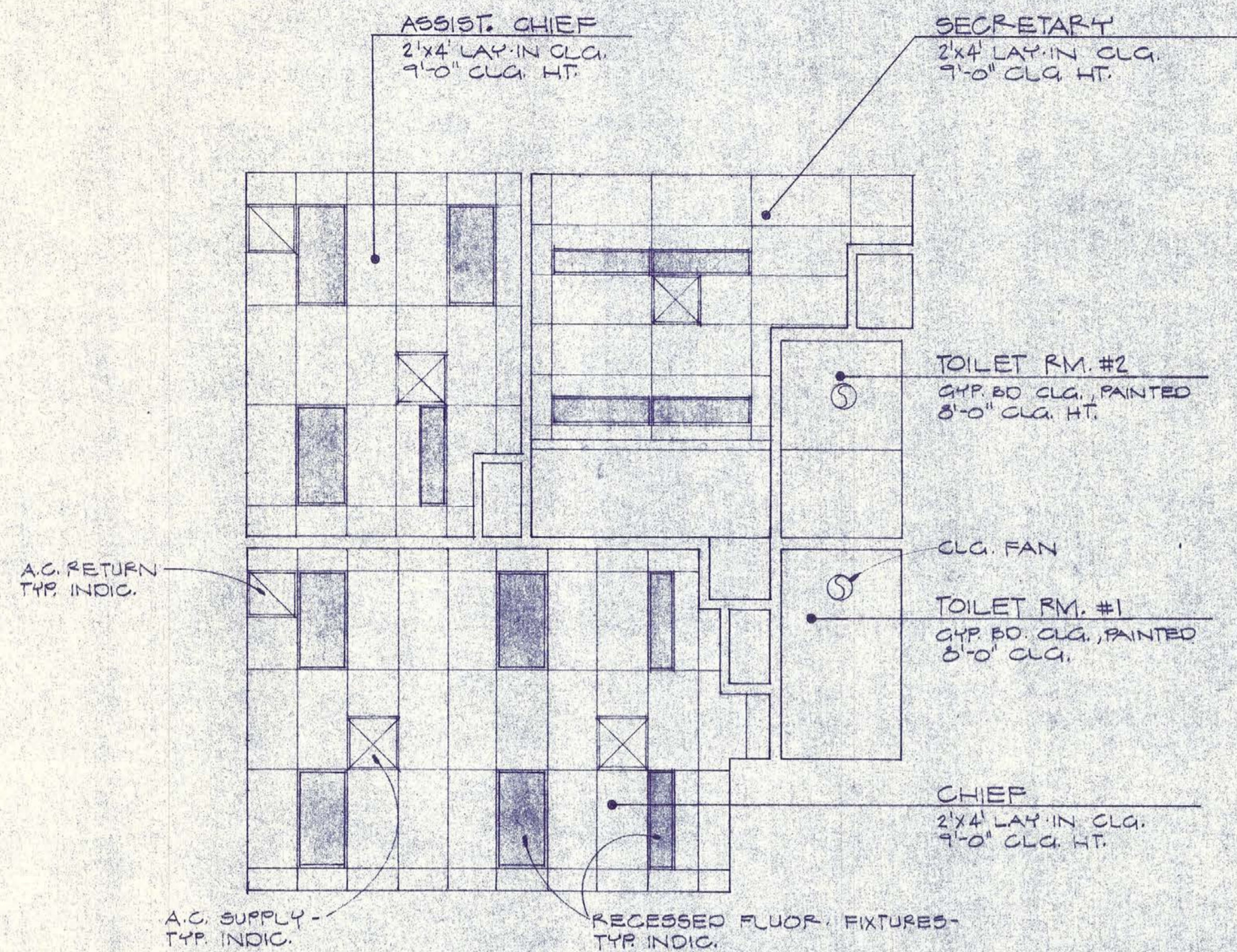


BERMUDES ARCHITECTS
9535 MISSION GORGE ROAD, SUITE G
SANTEE, CA 92071 (619) 448-1800

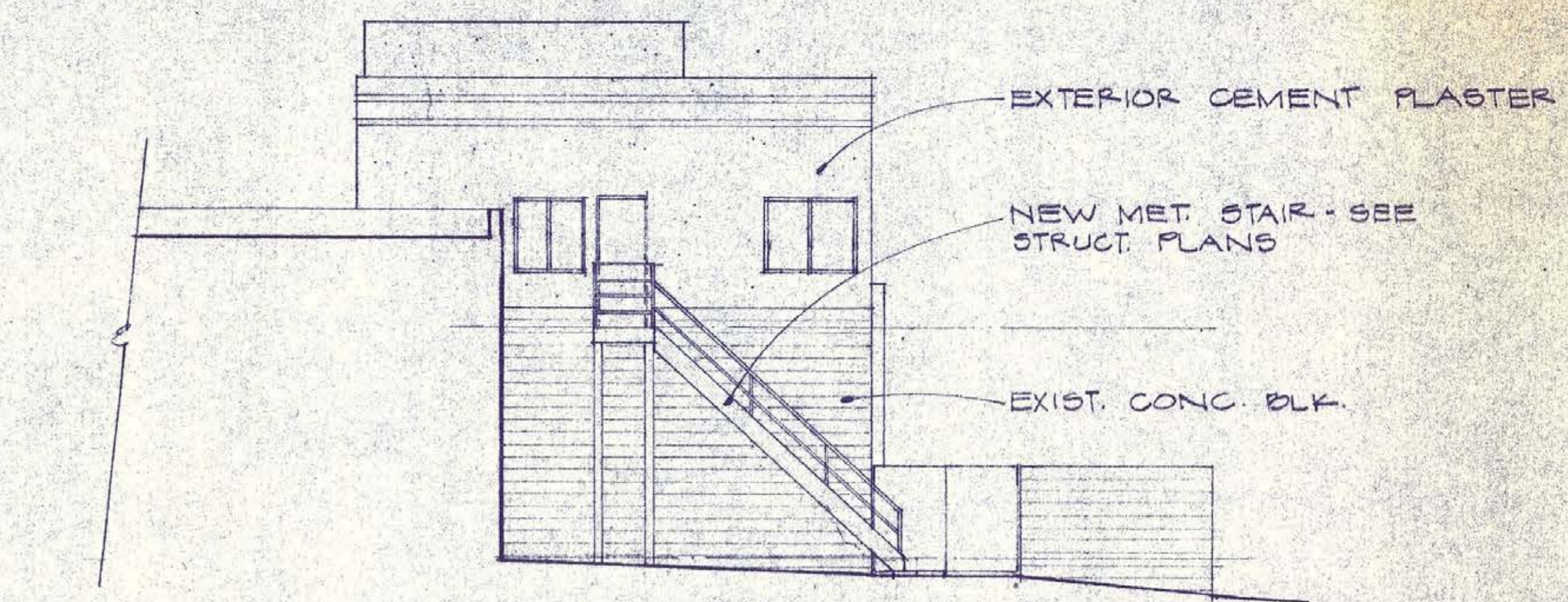
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OWNER: **SANTEE FIRE DISTRICT**
8950 COTTONWOOD AVENUE
SANTEE, CALIFORNIA

SHEET TITLE: **ROOF DEMOLITION PLAN**
NEW ROOF PLAN
1ST FLOOR PLAN
2ND FLOOR PLAN

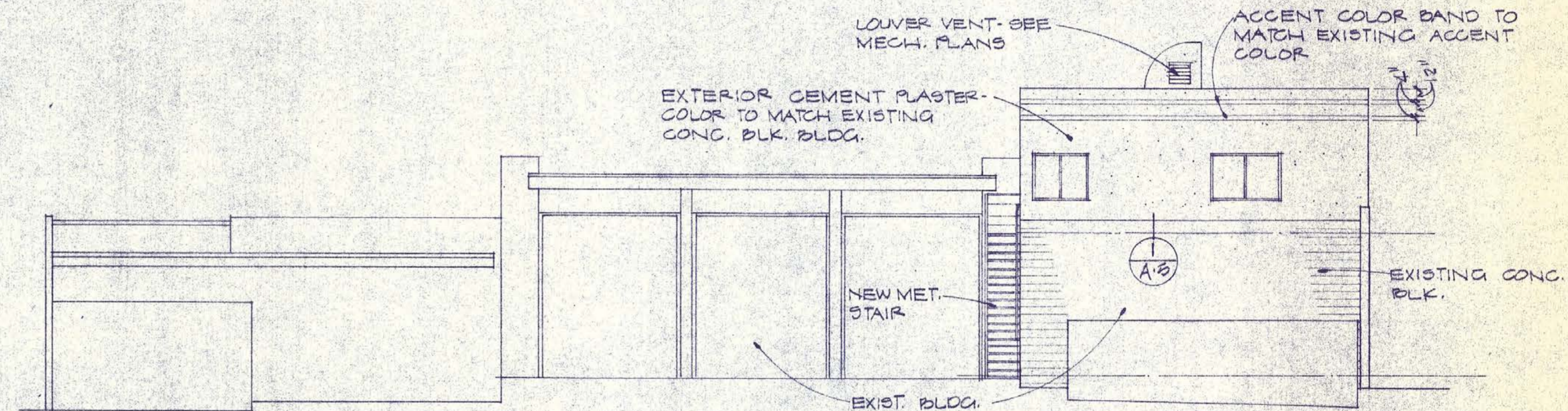
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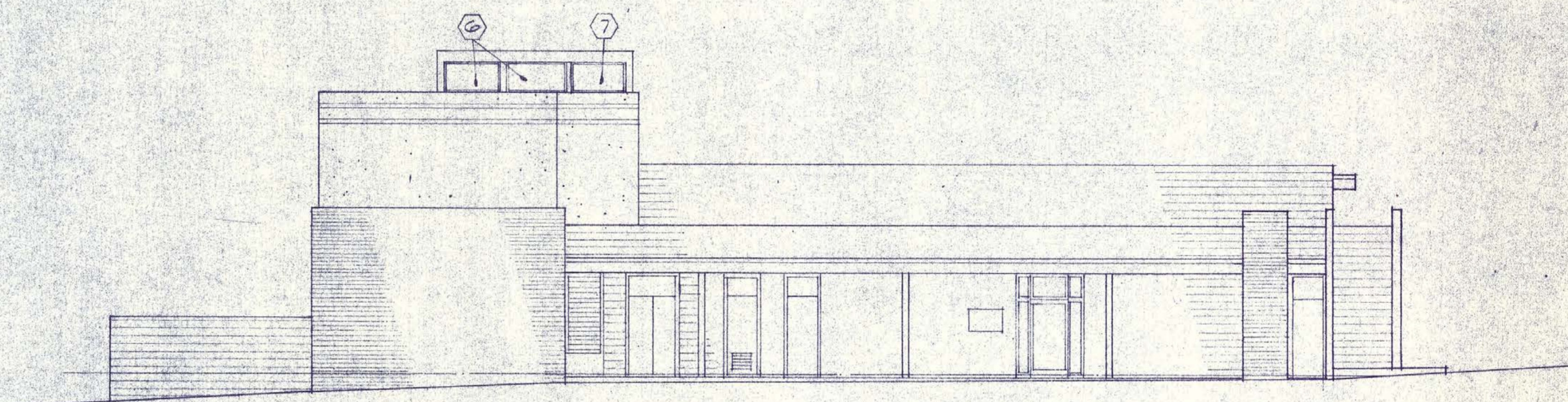
REFLECTED CEILING PLAN 1/4"=1'-0"



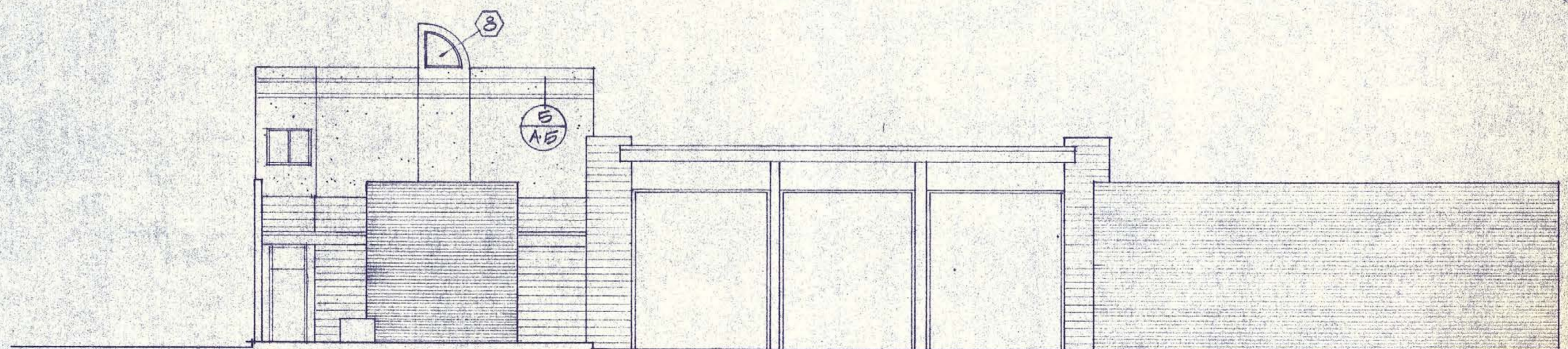
NORTH EXTERIOR ELEVATION



WEST EXTERIOR ELEVATION 1/8"=1'-0"

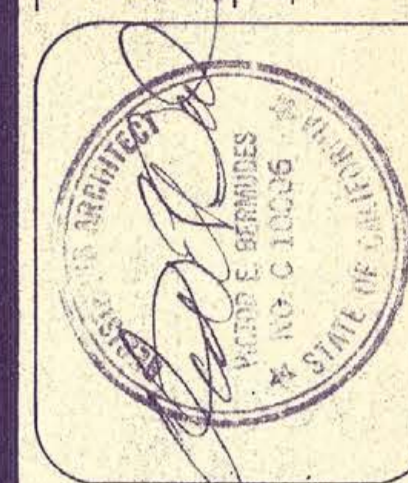


SOUTH EXTERIOR ELEVATION 1/8"=1'-0"



EAST EXTERIOR ELEVATION 1/8"=1'-0"

Job No.: 8408
Date: MAY 15, 1964
Drawn: CLB
Revisions:
Date:

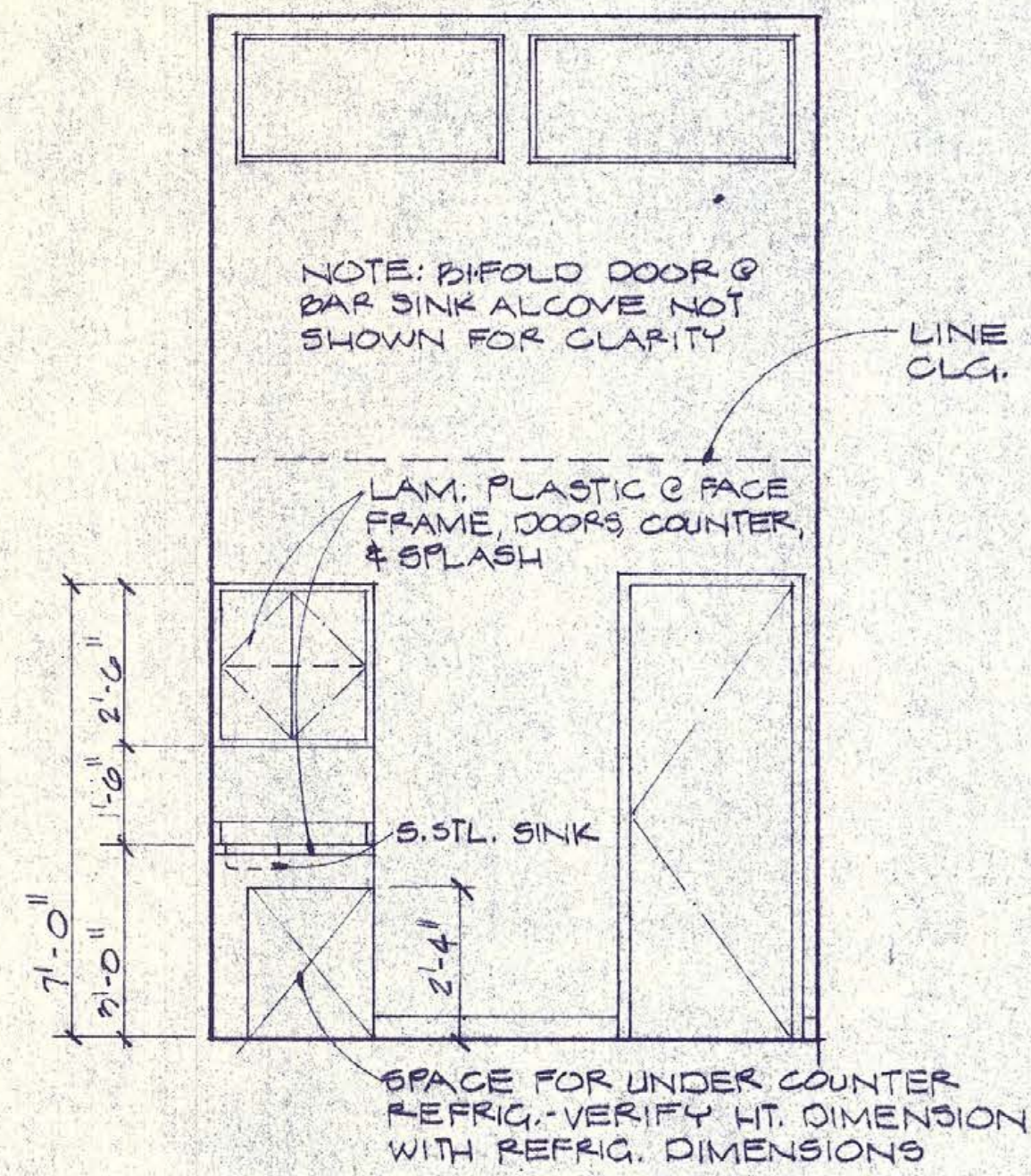


PROJECT TITLE: **SANTEE FIRE STATION ADDITION**
OWNER: **SANTEE FIRE DISTRICT**
8950 COTTONWOOD AVENUE
SANTEE, CALIFORNIA

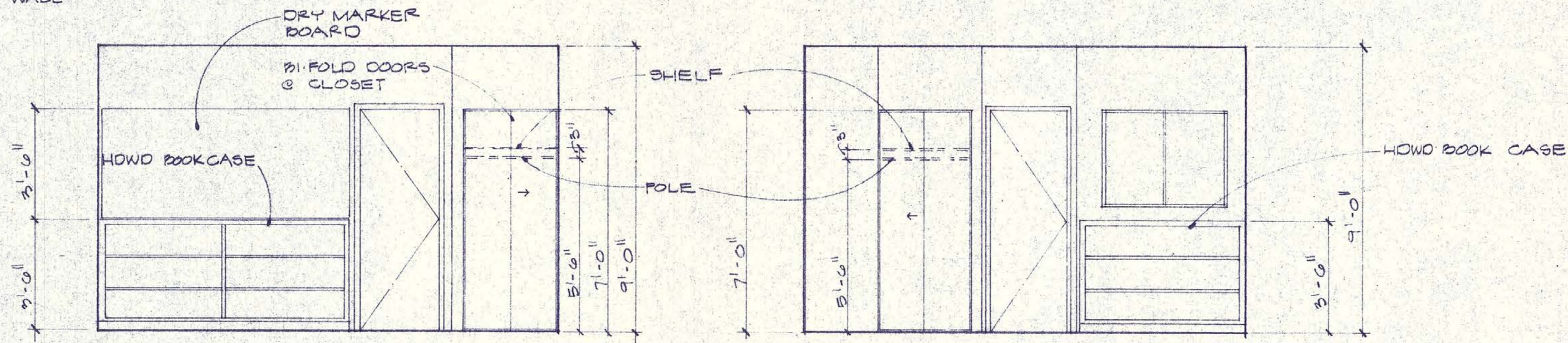
BERMUDES ARCHITECTS
9535 MISSION GORGE ROAD, SUITE G
SANTEE, CA 92071 (619) 448-1800

SHEET TITLE:
REFLECTED
CEILING PLAN
EXTERIOR
ELEVATIONS

Sheet of
A-2

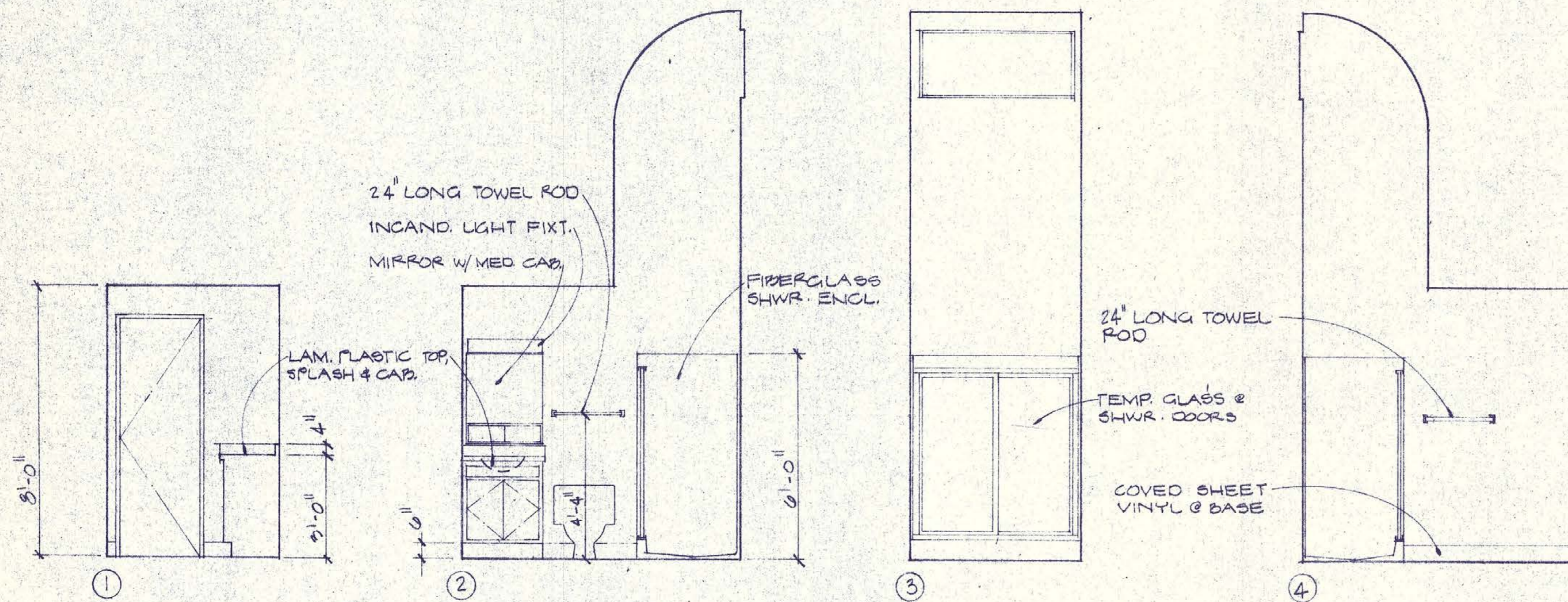


SOUTH WALL - SECRETARY $\frac{3}{8}''=1'-0''$ 5
A-3

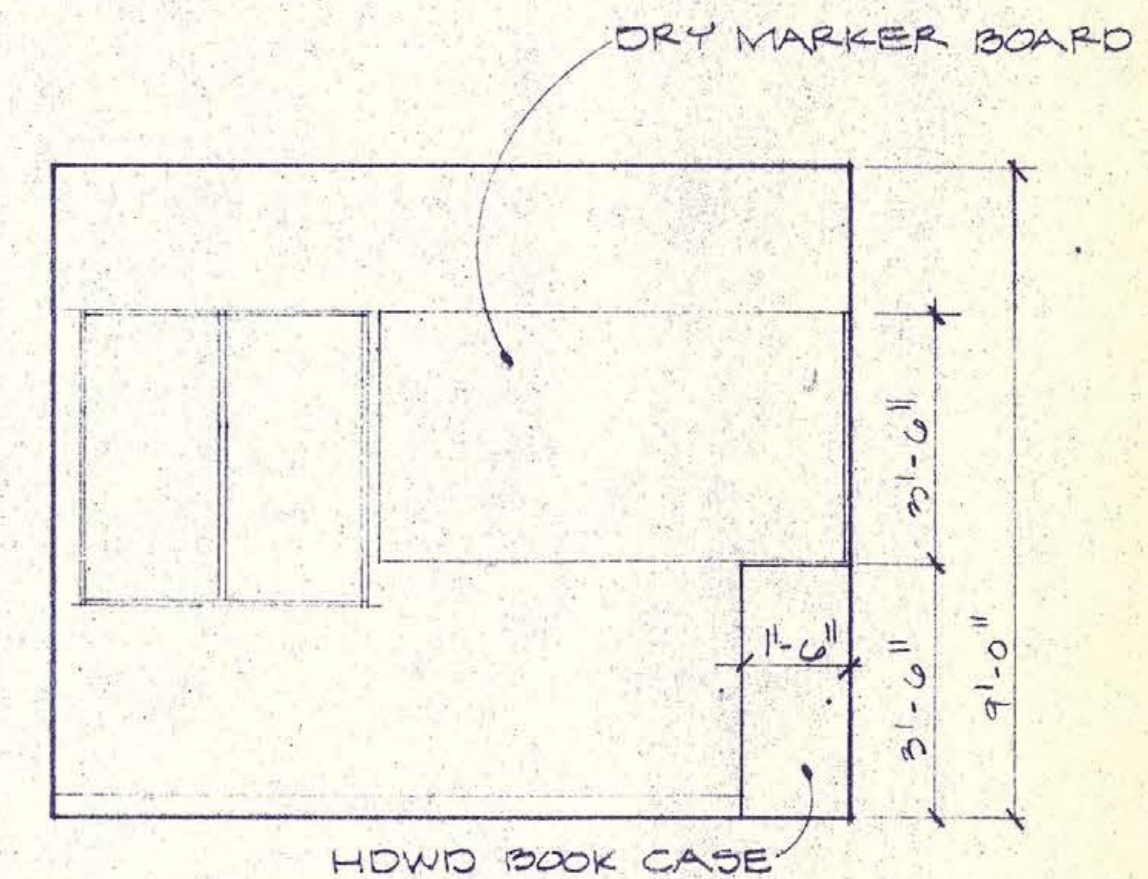


EAST WALL - ASSIST. CHIEF OFFICE $\frac{3}{8}''=1'-0''$ 2
A-3

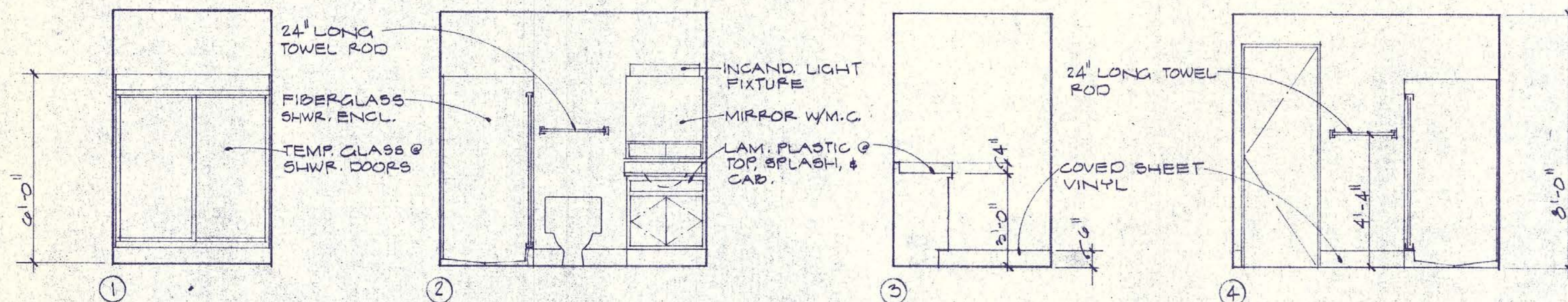
EAST WALL - CHIEF'S OFFICE $\frac{3}{8}''=1'-0''$ 1
A-3



TOILET ROOM #2 INTERIOR ELEVATIONS $\frac{3}{8}''=1'-0''$ 5
A-3



NORTH WALL - ASSIST. CHIEF $\frac{3}{8}''=1'-0''$ 4
A-3



TOILET ROOM #1 INTERIOR ELEVATIONS $\frac{3}{8}''=1'-0''$ 6
A-3

Job No.: 8408
Date: MAY 18, 1984
Drawn: CLB
Revisions: Date:

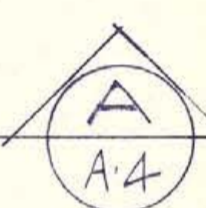


BERMUDES ARCHITECTS
9535 MISSION GORGE ROAD, SUITE C
SANTEE, CA. 92071 (619) 448-1800

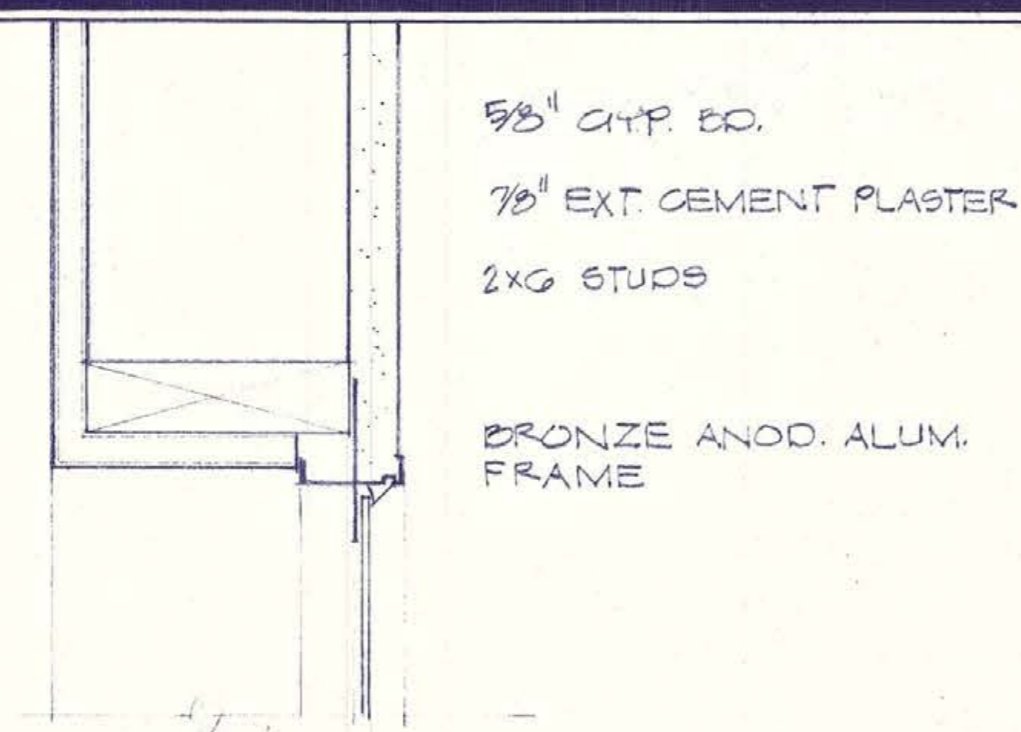
PROJECT TITLE: **SANTEE FIRE STATION ADDITION**
OWNER: **SANTEE FIRE DISTRICT**
8950 COTTONWOOD AVENUE
SANTEE, CALIFORNIA

SHEET TITLE:
INTERIOR
ELEVATIONS

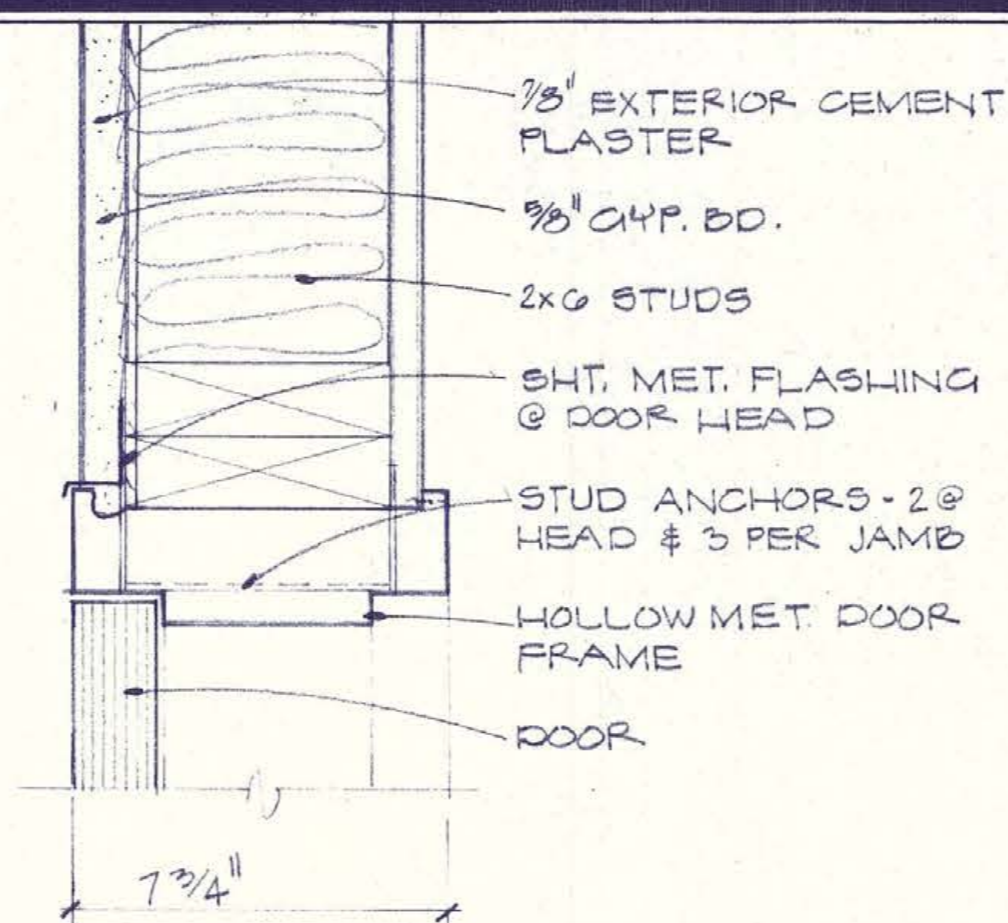
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A-3



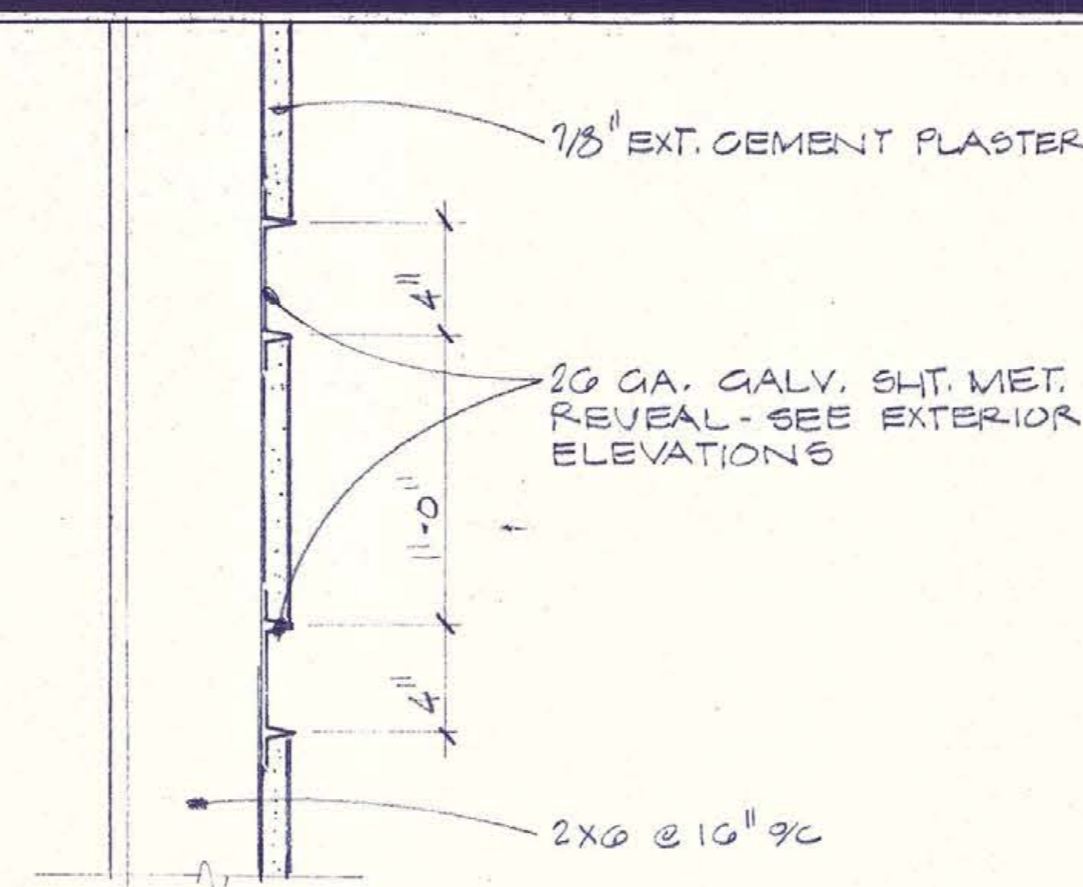
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A-4



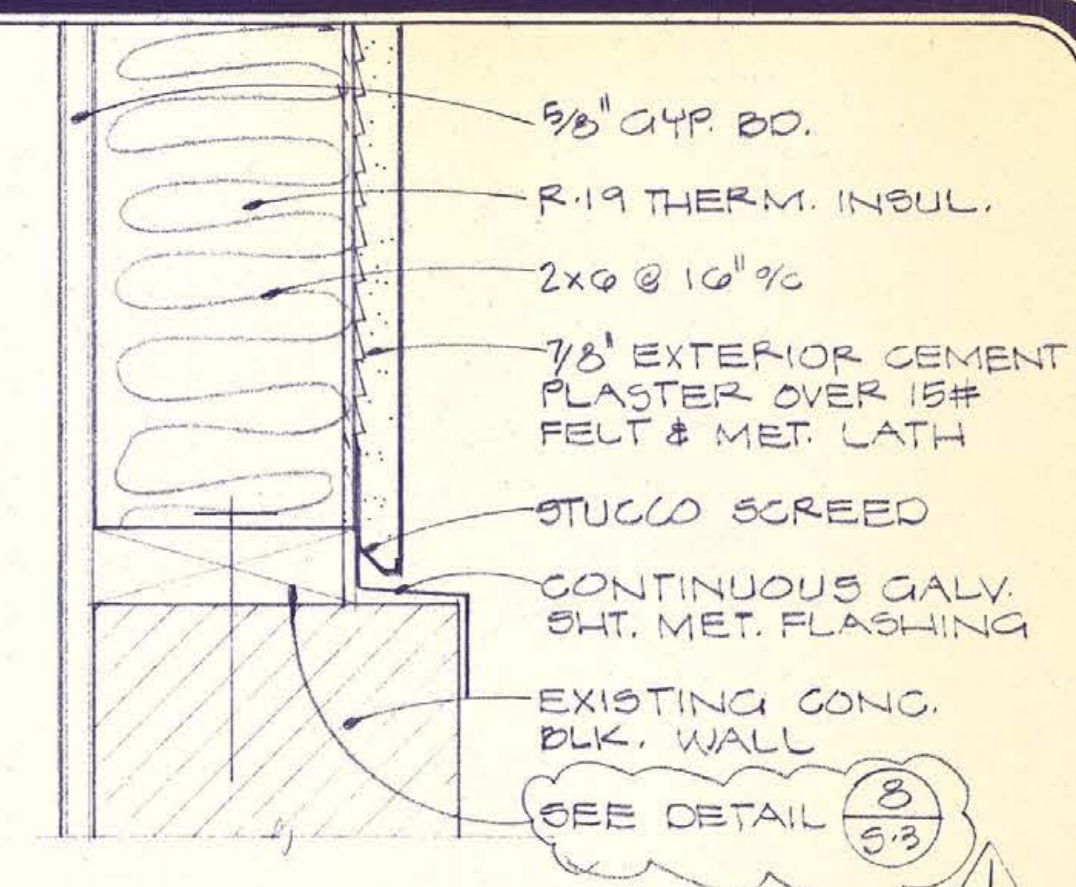
FIXED QUARTER ROUND WINDOW FRAME 3"=1'-0" 13 A.5



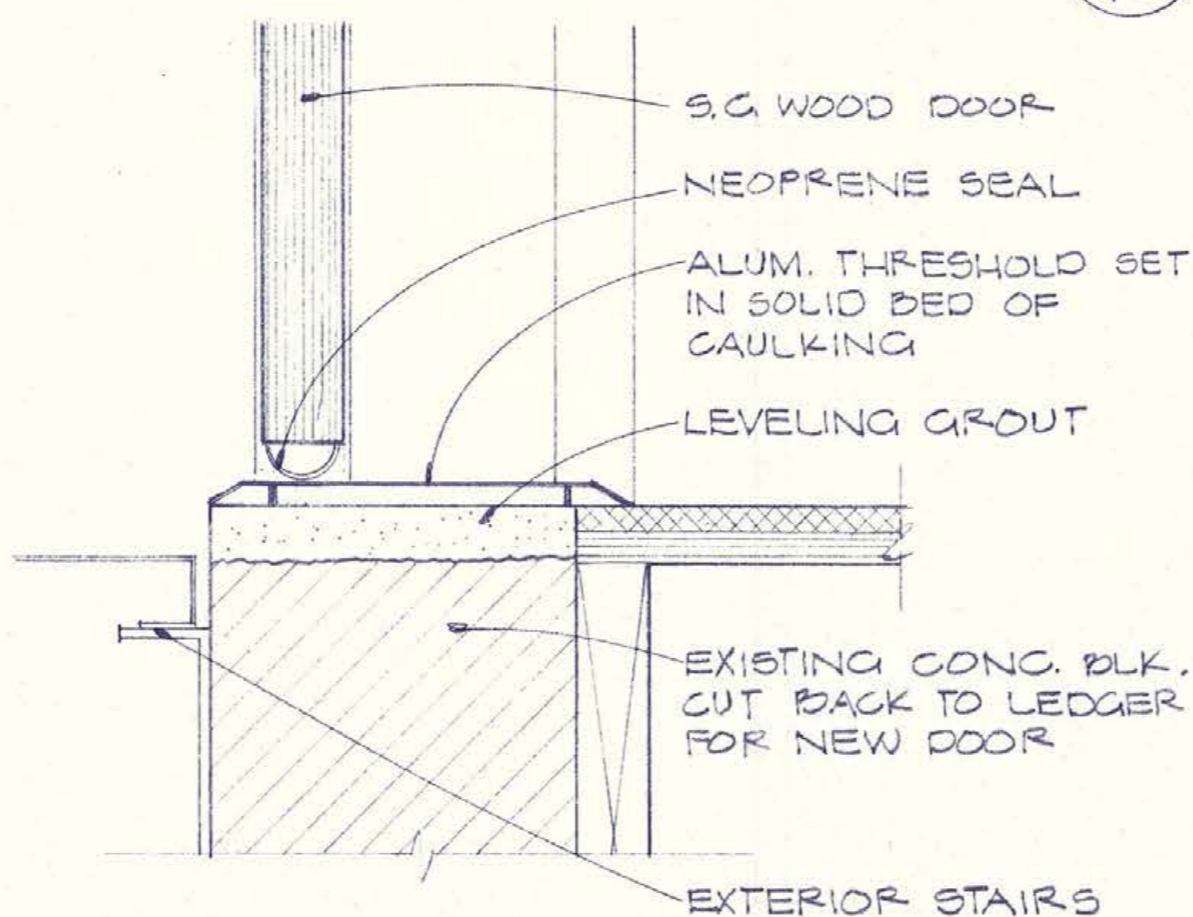
EXTERIOR DOOR HEAD/JAMB 3"=1'-0" 9 A.5



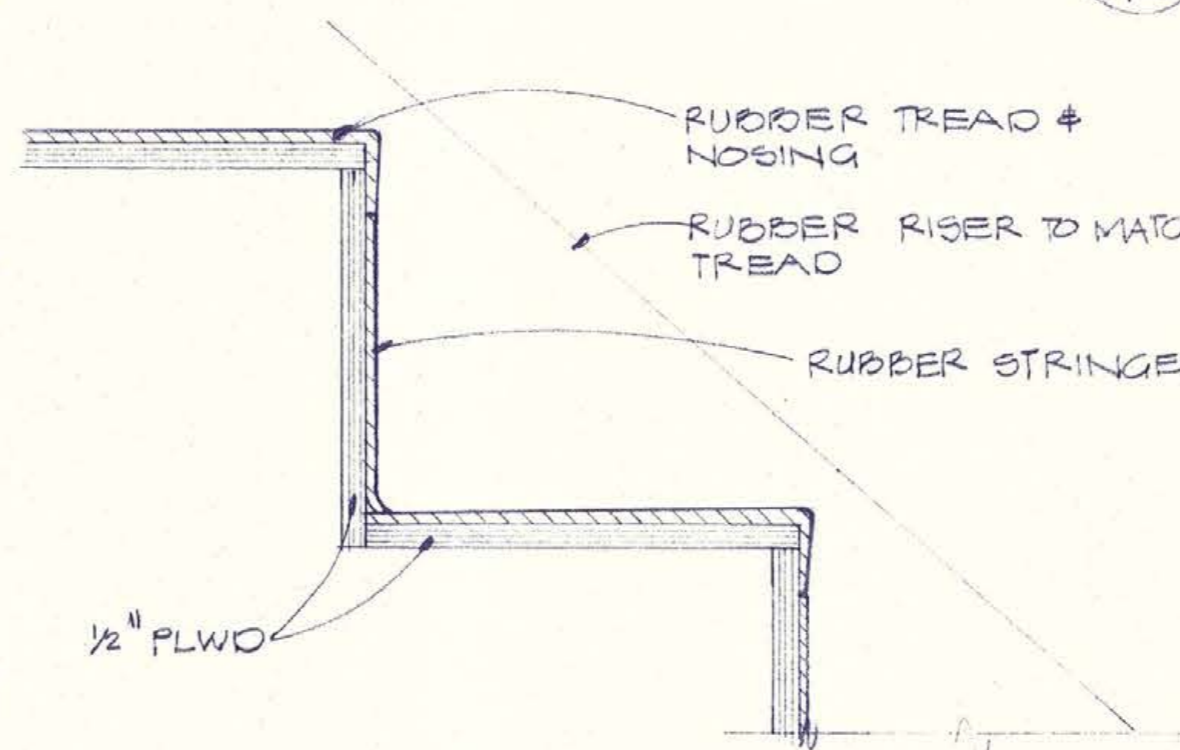
ACCENT COLOR REVEAL 1/2"=1'-0" 5 A.5



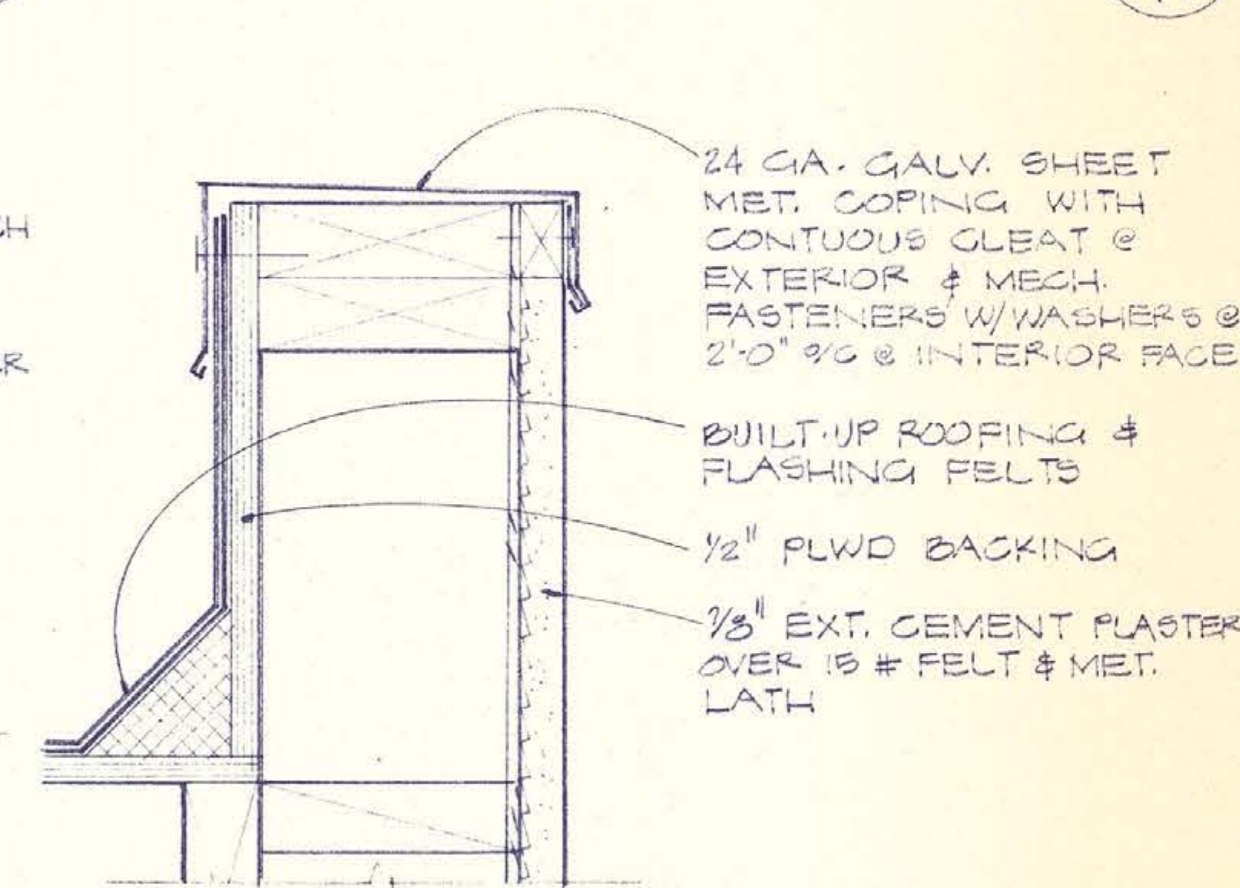
EXT. WALL @ CONC. BLK. 3"=1'-0" 1 A.5



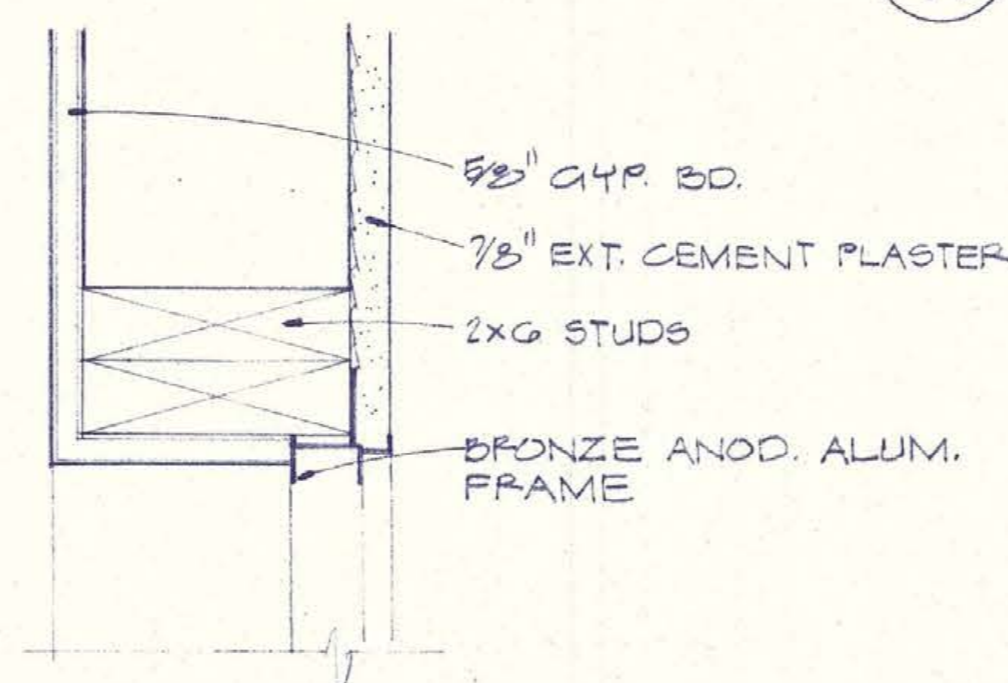
THRESHOLD 3"=1'-0" 10 A.5



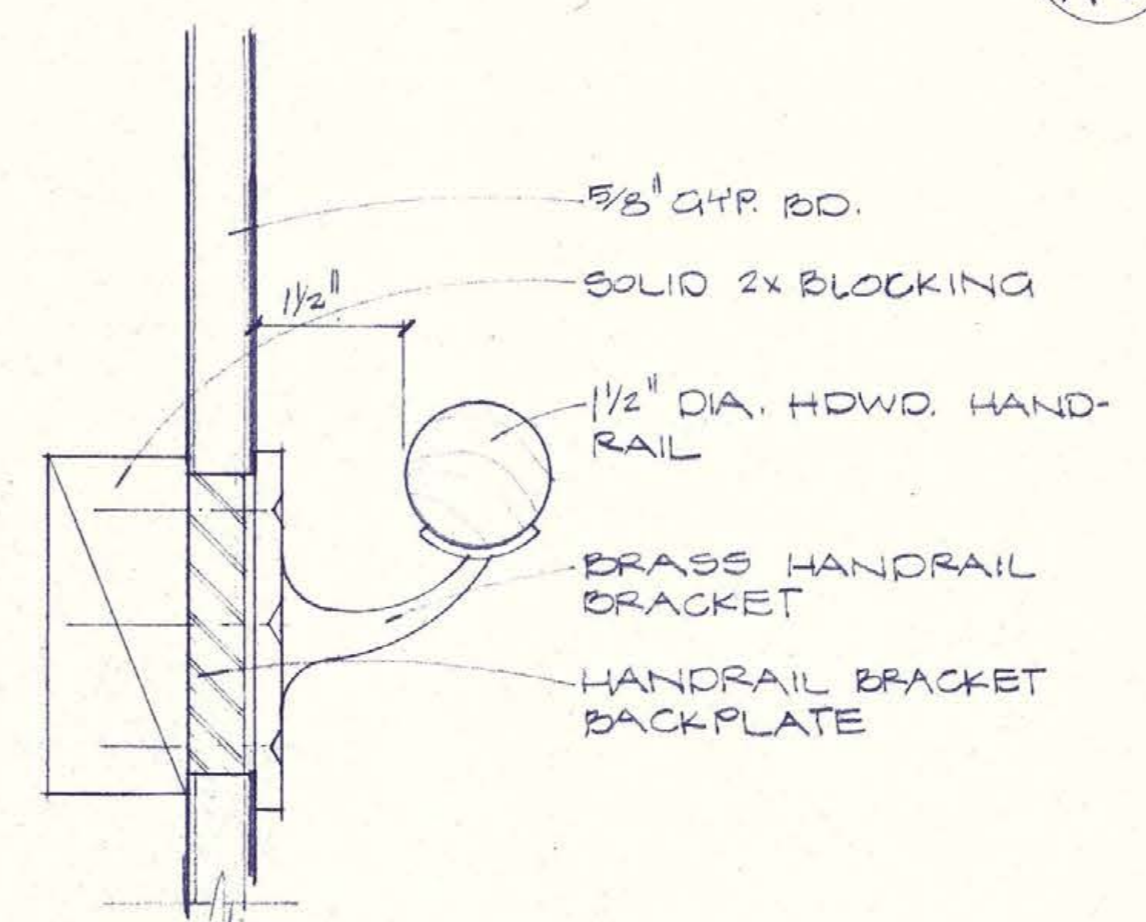
STAIR COVERING 3"=1'-0" 6 A.5



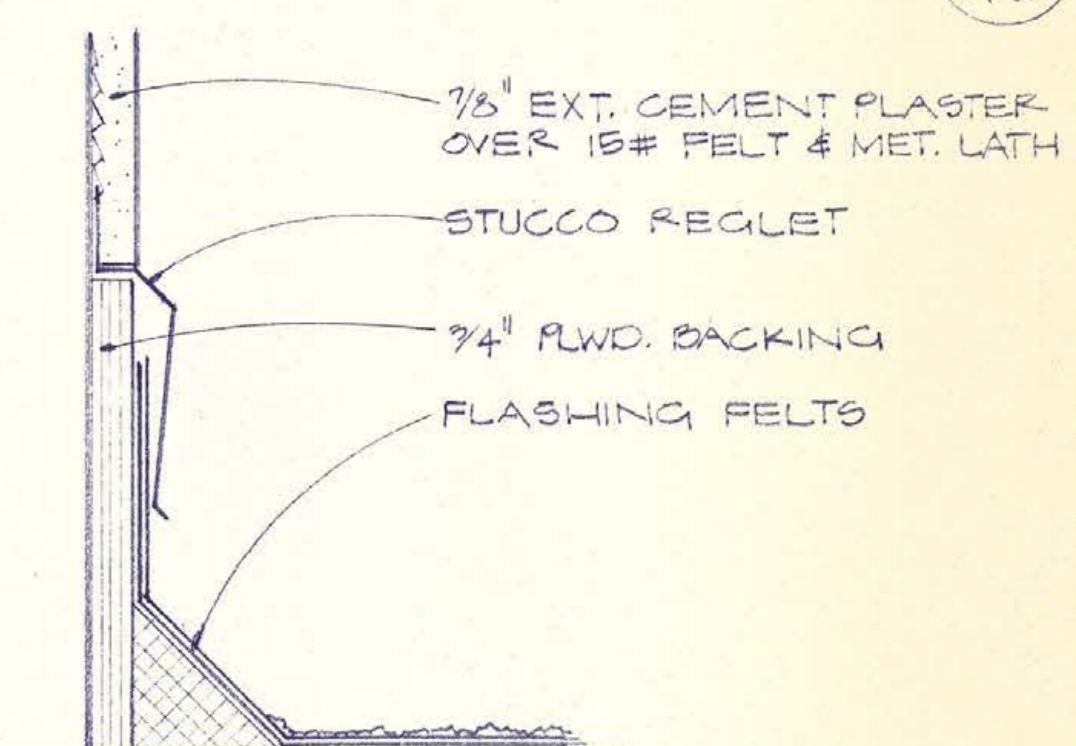
EXTERIOR WALL PARAPET 3"=1'-0" 2 A.5



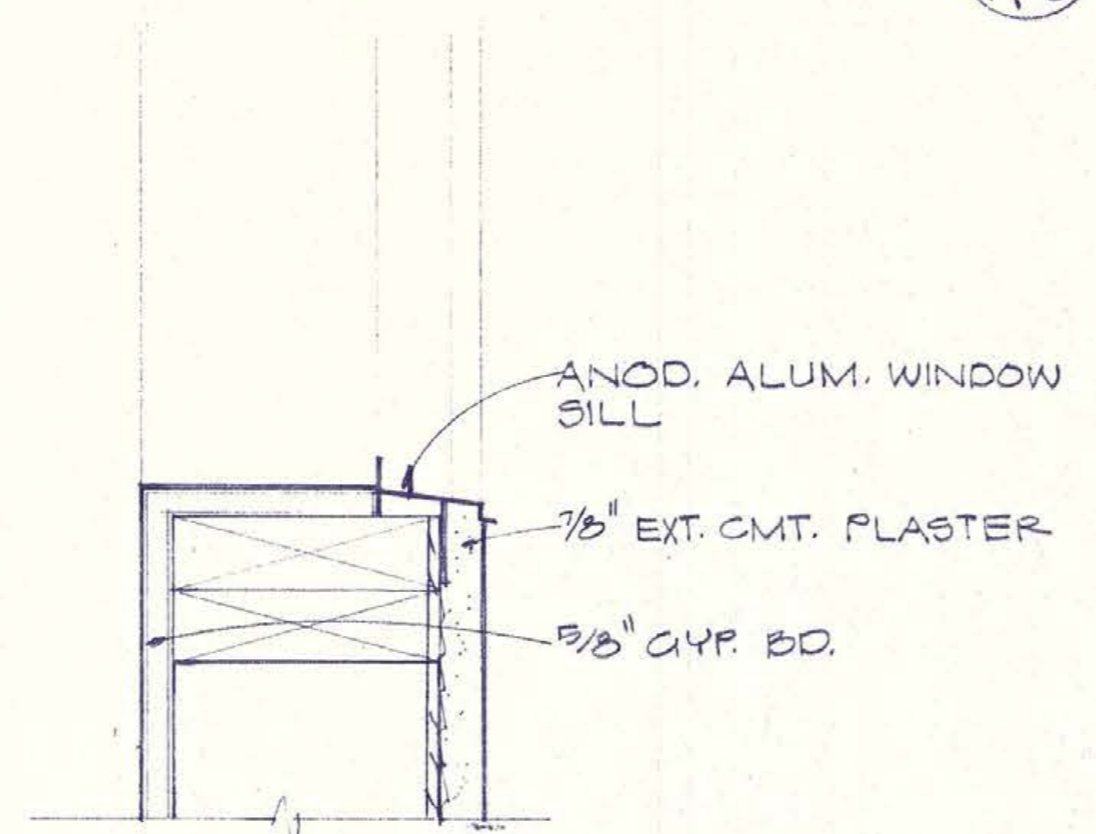
WINDOW HEAD/JAMB 3"=1'-0" 11 A.5



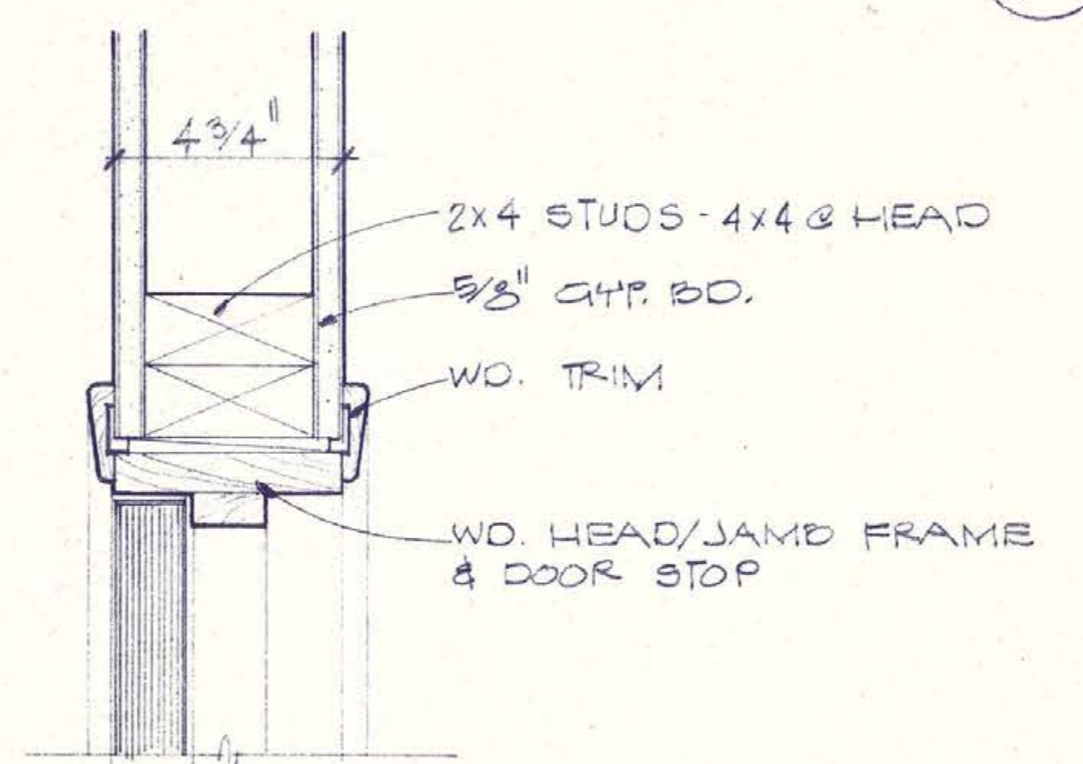
HANDRAIL & BRACKET 1/2"=1'-0" 7 A.5



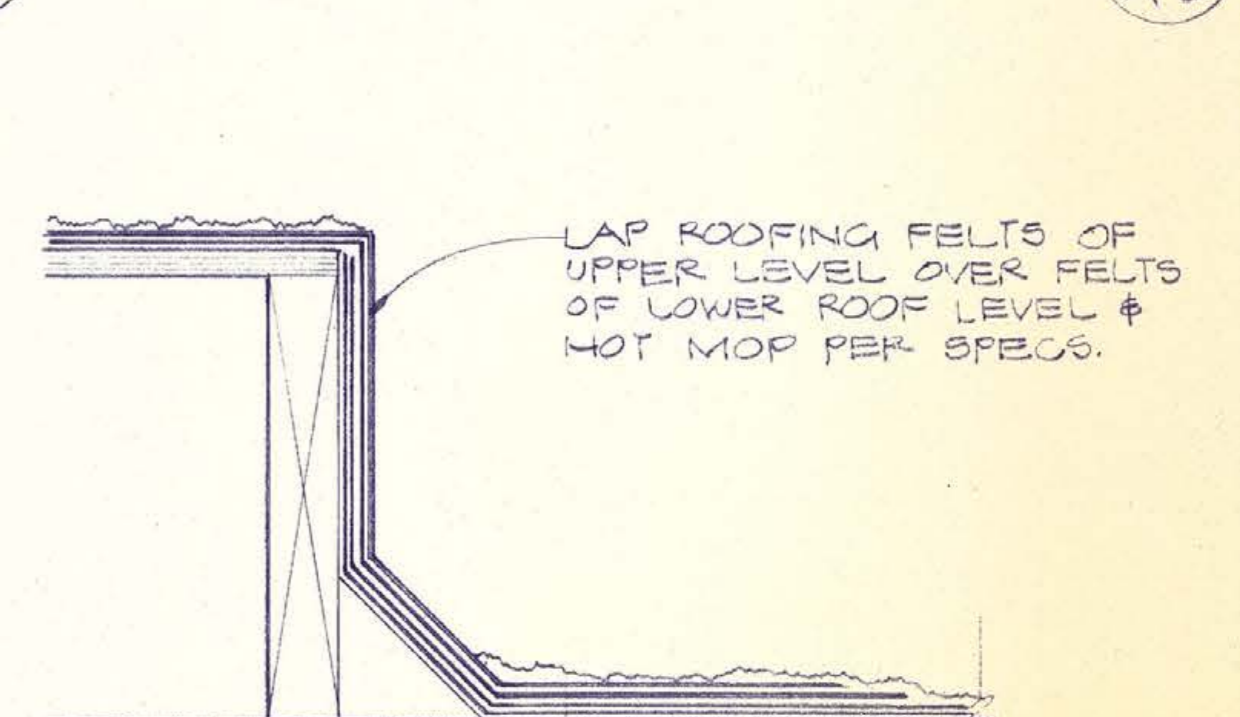
EXT. WALL & ROOF FLASHING 3"=1'-0" 3 A.5



WINDOW SILL 3"=1'-0" 12 A.5



INTERIOR DOOR HEAD/JAMB 3"=1'-0" 8 A.5



ROOF 3"=1'-0" 4 A.5

Job No.: 8408
Date: MAY 18, 1984
Drawn: CLB
Revisions: 6/7/84
Date: 6/7/84



BERMDES ARCHITECTS
9535 MISSION GORGE ROAD, SUITE G
SANTEE, CA 92071 (619) 448-1800

PROJECT TITLE: **SANTEE FIRE STATION ADDITION**
OWNER: **SANTEE FIRE DISTRICT**
8950 COTTONWOOD AVENUE
SANTEE CALIFORNIA

SHEET TITLE: DETAILS
Sheet 4 of 5
A.5

FINISH CARPENTRY & MILLWORK

GENERAL

- A. Shop drawings shall be submitted for Architects review in accordance with General Conditions.
- B. Grade reference is per Woodwork Institute of Calif. (W.I.C.) Manual of Millwork.
- C. Shop drawings and cabinets shall bear the W.I.C. certified compliance grade stamp.

MATERIALS

- A. All hardwood finish lumber shall be W.I.C. "custom" grade ash. Selected for receiving walnut oil base stain.
- B. Hardwood paneling shall be 1/4" thick plywood with ash veneer, random groove. Paneling shall be W.I.C. "custom" grade selected to receive walnut oil base stain. Paneling to be adhesive installed without exposed face nailing.
- C. Wood cabinets shall be W.I.C. "custom" grade with ash veneer selected to receive walnut oil base stain. All doors and drawers to be square lipped overlay.
- D. Laminate plastic cabinets shall be W.I.C. "delux" grade. Doors and drawers shall be square lipped overlay type with 1/4" radiused corners and self "T" edged with splice at bottom center.
- E. Laminate plastic counter tops shall conform to Section 17 requirements for "custom" grade. All exposed edges shall be self-edged. Splashes shall be square butt. Colors and finish shall be selected by Architect from designer quality.
- F. Shelving shall be W.I.C. "custom" grade. All exposed edges shall be self-edged. Adjustable shelf standards shall be Knap & Vogt No. 255 AL WPL flush mounted with No. 256 AL WPL supports.
- G. All high pressure plastic laminate shall be Formica, Wilson Art or approved equal, installed per manufacturers recommendations.

INSULATION

- A. Insulation shall be as manufactured by Owens-Corning Fiberglas or approved equal. Install per manufacturers recommendations.
- B. Thermal insulation shall be kraft faced and with an "R" value as indicated on plans.
- C. Acoustic insulation shall be 3 1/2" thick unfaced fiber glass batte.

GYPSUM BOARD

- A. Gypsum drywall shall be as manufactured by United States Gypsum or approved equal.
- B. Drywall shall be installed per manufacturers recommendations.
- C. Water-resistant board shall be used in toilet rooms and bar sink area.

ROOFING

- A. Built-up roofing specification shall be Manville's specification No. GNG. (Fiber glass, 4 ply system)
- B. Use 400 pounds of gravel for each 100 square feet of roof area.
- C. Use 190 deg. Type III Bitumen.

SHEET METAL

- A. All sheet metal not otherwise shown or specified shall be copper bearing galvanized steel, prime quality; minimum gauge shall be 24.
- B. Fastenings shall be same material as they secure.
- C. Flanges of flashings for items piercing roof shall be set on roofing completely embedded in black plastic cement and nailed in place.
- D. Miscellaneous flashings shall lap at minimum of 4" and flashings shall be nailed to structure 6" o.c.
- E. Copings, flashings etc. shall be set on roof as detailed in a true, straight workmanlike manner in minimum lengths of 10' - 0", except at end piece.

DOORS AND FRAMES

- A. Wood doors shall be W.I.C. "custom" grade, flush construction with ash face veneer selected for receiving walnut oil base stain.
- B. Door jams to be ash per "finish carpentry and millwork".
- C. Wood bi-fold doors same as wood doors above.

WINDOWS, GLASS AND GLAZING

- A. Windows shall be series 216 as manufactured by Windowmaster Products of El Cajon, CA or approved equal. Aluminum frames to have baked bronze acrylic enamel finish.
- B. Glazing for windows shall be 1/4" thick "solarcool" bronze, light reflective glass as manufactured by PPG Industries, Inc. or approved equal.
- C. Skylight glazing shall be obscure glass.

FINISH HARDWARE

- A. Hardware specified herein is intended to match existing. Before ordering material, submit for approval six copies of the proposed hardware schedule. All hardware requirements shall be completely detailed, indicating door types and sizes, locations, quantities, manufacturer's names, catalog numbers, keying, fastenings, finish, and hand of each item.
- B. Keying shall be subject to existing Falcon Masterkey. Key locks as directed by Architect.
- C. Finishes: USP Butts
US32D Locksets
US26D Balance of hardware
- D. Manufacturers: StanleyButts
FalconLocksets
LCNClosers
PemkoWeatherstripping
B.B.W.Miscellaneous items
- E. Hardware Sets: HW-1
1 1/2 pr. butts FBBK179 4 1/2" X 4 1/2" NRP
1 lockset X52IDL EJ
1 closer 4040 (PA) AL
1 kick plate 37 10" X 28"
1 threshold 153AV
1 set head/jamb seal 316AV
1 floor stop 9079X
HW-2
1 1/2 butts F179 4 1/2" X 4 1/2"
1 lockset X52IDL EJ
1 floor stop 8061X
HW-3
1 pr. butts 241 3 1/2" X 3 1/2"
1 privacy S301 EJ
1 wall bumper WPT
HW-4
1 pr. butts 241 3 1/2" X 3 1/2" NRP
1 lockset S58IDL EJ
1 stop 812
HW-5
1 pr. butts 241 3 1/2" X 3 1/2"
1 latchset S101 EJ
1 stop 812
HW-6 (Bi-fold doors)
1 set bi-fold hardware Acme 2600
1 pull 9054 4"

ACOUSTICAL TREATMENTS

- A. Contractor shall submit samples and catalog data per General Conditions.
- B. Acoustical lay-in units shall be 24" by 48" by 5/8" thick, Class A, incombustible mineral tile. Pattern shall be fissured light reflection minimum of 0.75, N.R.C. 0.60 to 0.70, STC minimum of 40.
- C. Suspension system to be exposed grid steel with white baked enamel finish in 24" by 48" module. Steel shall be 0.025 inches thick with one inch exposed face and minimum of 1 1/2 inches depth of tee. System shall consist of rigidly interlocking inverted tee sections. System shall support ceiling loads with a maximum deflection of 1/360 of the span.
- D. Exposed grid suspension shall be hung from wood joists by #12 galvanized hanger wires. Hanger wires will be installed by means of 3" galvanized screw eyes, firmly secured to wood joists. Hanger wires shall be installed at all four corners of recessed 2' X 4' light fixtures. A minimum of three wraps of wire shall secure the hanger to the screw eye and main runner. Main runner shall be installed 4' o.c. with cross tees securely locked to main runner. Acoustical units shall be installed in accord with reflected ceiling plan. Units shall be removable without damage to the unit.

RESILIENT FLOORING

A. Carpeting

1. Contractor shall submit samples and manufacturers data per requirements of the General Conditions. Carpeting manufacturer shall furnish the Owner with printed manufacturer's recommendations for care, cleaning and maintenance of the carpet. Color shall be as selected by Architect from manufacturers standard colors.
2. Carpet shall be constructed of second generation nylon with metallic static control, tufted, 25-29 ounce, 0.16 to 0.20 pile height, level loop, 80 minimum tufts per square inch, with vinyl backing for direct glue down application.
3. Carpet shall be installed by qualified carpet mechanics following manufacturers printed instructions.
4. Carpet shall be cemented to the floor with an adhesive as recommended by the carpet manufacturer. Carpet shall be lined up so that all lines of carpet match at woven, width and length. Fill strips shall be not less than 12" wide by 36" long.
5. Carpet shall be cut evenly along walls, cut and fit evenly around all projections and into trim strips. Fit closely and evenly to and through thresholds where carpet joins together in doorways. Where carpeted spaces adjoin non-carpeted spaces, carpeting shall be carried to the center of the door or opening. All exposed edges of carpeting shall be finished with metal edge trim securely anchored to floor.
6. The finished installation shall be free from tacks, scraps, carpet ripples, scallops and puckers.
7. After installation is complete, clean up all dirt and debris and clean carpet of all spots with proper spot remover. Remove all loose threads with sharp scissors and broom or vacuum clean.

B. Sheet Vinyl Floor

1. Fill all cracks, low places, etc., with floor underlayment, mixed and applied in accord with manufacturer's directions.
2. Sheet vinyl flooring shall be installed in accordance with manufacturer's directions when building is nearing completion. Adherence shall be guaranteed. Provide integral cove base. Provide clear anodized aluminum cap molding at top edge and all other edges of sheet vinyl integral cove base. Provide threshold strips where sheet vinyl terminates. Protect vinyl flooring with building paper until final completion of building.
3. Immediately prior to building acceptance, vinyl floor shall be cleaned with soap and water per manufacturer's directions.

PAINTING

- A. Contractor shall furnish samples and manufacturers data per requirements in the General Conditions.
- B. Use only "First Quality" materials. The following manufacturers are approved: Cabot's, Dunn-Edwards, Dupont, Frazee, Gildden, Olympic, Sherwin-Williams, Sinclair.
- C. Protect all surfaces which are not to receive paint from damage during execution of this work.
- D. Materials shall be applied as specified by manufacturer of material. Apply coatings without reductions except as specifically required by manufacturer's directions.
- E. Each coat shall be applied in such a manner as to insure an even, smooth, uniform coat, free from dirt, runs, brush marks or laps and must be applied at the most opportune and favorable times. Movable items shall not have their operation impaired by painting.
- F. Painted surfaces shall receive a min. of 4.0 mils total dry film thickness (prime & finish coats). The no. of coats specified shall be considered minimum and additional coats may be required to satisfy the 4.0 mils requirement.
- G. Miscellaneous ferrous work shall be painted same color as adjoining walls or ceilings. Prime coated butts shall be painted same color as door trim.
- H. Color between coats of paint shall differ enough to distinguish color change, but not enough to impair hiding.
- I. Putty all nail holes and other imperfections after priming. Stain putty in natural wood to match wood finish. All surfaces shall be hand sanded smooth before first coat and lightly sanded between coats.

LATH & EXTERIOR CEMENT PLASTER

A. Lathing Materials

1. Metal lath shall be fabricated from copper bearing steel sheets and galvanized.
2. Metal accessories shall be as manufactured by U.S. Gypsum, Milcor (Inland-Ryerson), Superior (H.K. Porter Co.), Pennmetal (Keene Corp.), or equal as approved.
3. Corner beads shall be CLPA detail 13-A-small nosed corner bead fabricated of 26 gauge steel.
4. Base screeds shall be fabricated of 26 gauge galvanized steel sheet or zinc alloy.
5. Install metal lath with true, even surfaces and without sags and buckles. Lath shall be secured to supports at intervals not exceeding 6" o.c.

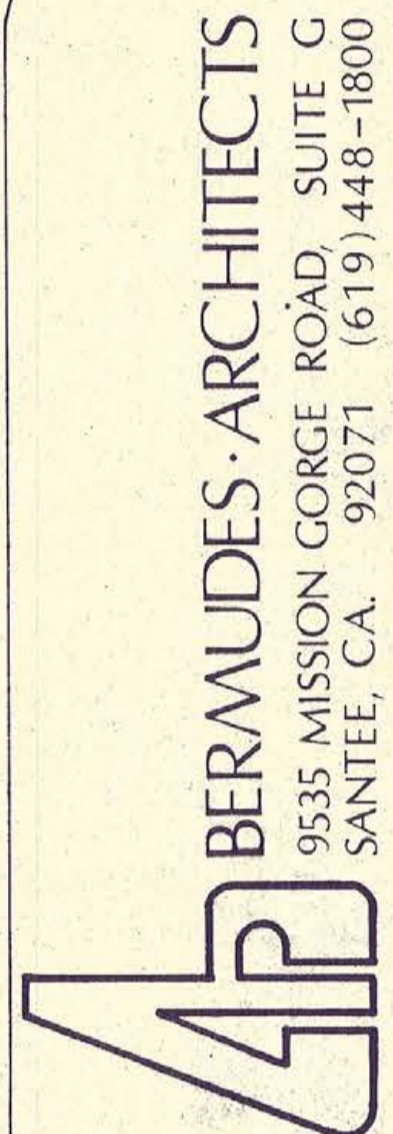
B. Cement Plaster

1. Measuring - Plaster materials shall be measured by means of calibrated boxes or other accurate measuring devices.
2. Mixing - Mixing shall conform to A.S.A. Standard Specifications for gypsum plastering. Use mechanical mixer, partially set materials shall not be retempered and reused.
3. Cement plaster scratch coat shall have maximum volume of 4 parts of sand to 1 part Portland Cement, minimum thickness 1/2", minimum moist curing period of 48 hours.
4. Cement plaster brown coat shall have maximum volume of 5 parts of sand to 1 part Portland Cement, minimum thickness of both coats 3/4" minimum moist curing period of 48 hours, minimum period before applying finish coat of 7 days.
5. Finish coat shall have integral color to match existing building. Finish coat shall be sprayed on in two coats. The first coat shall completely cover the area to be finished. When dry, the second coat shall be applied to bring the finish to a uniform color and texture.
6. Use care in protecting items such as glass, door and window frames, etc., by the use of satisfactory masking and covering materials. All items not to receive plaster shall be left clean and free of all plaster and spray materials.

DRY MARKER BOARD

- A. Dry marker board shall be porcelain steel, 28 gauge thickness, with 1/2" particle board core.
- B. Dry marker board shall be securely fastened to the wall with aluminum trim per details and manufacturers directions.
- C. Color of dry marker surface shall be as selected by Architect from manufacturers standard colors.

Job No.: 8408
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Revisions:
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PROJECT TITLE: SANTEE FIRE STATION ADDITION
OWNER: SANTEE FIRE DISTRICT
8950 COTTONWOOD AVENUE
SANTEE CALIFORNIA

SHEET TITLE: SPECIFICATIONS
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