

## **CITY OF SANTEE** REGULAR MEETING AGENDA Santee City Council

City Council Mayor John W. Minto Vice Mayor Rob McNelis – District 1 Councilmember Ronn Hall – District 2 Councilmember Laura Koval – District 3 Councilmember Dustin Trotter – District 4

#### Interim City Manager | Gary Halbert City Attorney | Shawn D. Hagerty City Clerk | James Jeffries

## **MEETING INFORMATION**

Wednesday, May 14, 2025 6:30 p.m. Council Chamber | Building 2 10601 Magnolia Ave • Santee, CA 92071

## TO WATCH LIVE:

AT&T U-verse channel 99 (SD Market) | Cox channel 117 (SD County) www.cityofsanteeca.gov

## **IN-PERSON ATTENDANCE**

Members of the public who wish to view the Council Meeting live may watch the live taping of the in the Council Chamber on the meeting date and time listed above.

## LIVE PUBLIC COMMENT

Members of the public who wish to comment on matters on the City Council agenda or during Non-Agenda Public Comment may appear in person and submit a speaker slip before the item is called. Your name will be called when it is time to speak.

**PLEASE NOTE:** Public Comment will be limited to 3 minutes and speaker slips will only be accepted until the item is called. The timer will start when the participant begins speaking.



The City Council also sits as the Community Development Commission Successor Agency and the Santee Public Finance Authority. Any actions taken by these agencies are separate from the actions taken by City Council. For questions regarding this Agenda, please contact the City Clerk's Office at (619) 258-4100 x114.



ROLL CALL: Mayor John W. Minto Vice Mayor Rob McNelis – District 1 Councilmember Ronn Hall – District 2 Councilmember Laura Koval – District 3 Councilmember Dustin Trotter – District 4

LEGISLATIVE INVOCATION: Christ Lutheran Church & School – Rev. Travis Ferguson

### PLEDGE OF ALLEGIANCE

ADJOURNMENT IN MEMORY: Mike Clark

**PROCLAMATION:** Small Business Week

**PROCLAMATION:** Public Works Week

**RECOGNITION:** Sheriff Lieutenant Joseph Jarjura

### CONSENT CALENDAR:

**PLEASE NOTE:** Consent Calendar items are considered routine and will be approved by one motion with no separate discussion. The public, staff or Council Members may request specific items be removed from the Consent Calendar for separate discussion or action. Speaker slips for this category must be submitted to the City Clerk at the start of the meeting. Speakers are limited to 3 minutes.

- (1) Approval of Reading by Title Only and Waiver of Reading in Full of Ordinances and Resolutions on the Agenda. (City Clerk Jeffries)
- (2) Approval of Meeting Minutes of the Santee City Council for the Special Meetings of April 18, 2025, and April 20, 2025, and Regular Meeting of April 23, 2025. (City Clerk Jeffries)
- (3) Approval of Payment of Demands as Presented. (Finance Jennings)
- (4) Adoption of Resolutions Approving the Engineer's Report and Declaring the City Council's Intention to Levy Assessments and Setting a Public Hearing for the FY 2025-26 <u>Santee Landscape Maintenance District</u> Annual Levy of Assessments. (Finance – Jennings)
- (5) Adoption of Resolutions Approving the Engineer's Report and Declaring the City Council's Intention to Levy Assessments and Setting a Public Hearing for the FY 2025-26 <u>Town Center Landscape Maintenance District</u> Annual Levy of Assessments. (Finance – Jennings)



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- (6) Adoption of Resolutions Approving the Engineer's Report and Declaring the City Council's Intention to Levy Assessments and Setting a Public Hearing for the FY 2025-26 <u>Santee Roadway Lighting District</u> Annual Levy of Assessments. (Finance – Jennings)
- (7) Adoption of a Resolution Declaring the City Council's Intention to Levy, as a Successor Agency to County Services Area (CSA) 69, a Special Tax within the Santee-Lakeside Emergency Medical Services Authority Boundary for FY 2025-2026 and Setting a Public Hearing. (Finance Jennings)
- (8) Adoption of a Resolution Authorizing the City Manager to Execute a Professional Services Agreement with Infrastructure Management Services (IMS) for the Preparation of the Pavement Condition Report 2026 and Finding this Action is Not a Project Under the California Environmental Quality Act (CEQA) Pursuant to CEQA Guidelines Section 15060 and 15378. (Engineering – Schmitz)
- (9) Adoption of a Resolution Authorizing Appropriation and Expenditure of FY 2024 State Homeland Security Grant Funds in Accordance with all Program Requirements and Approve Purchase of Self-Contained Breathing Apparatus (SCBA) and SCBA Accessories. (Fire – Wallace)
- (10) Adoption of a Resolution Approving the Fifth Amendment to the Agreement with Paradigm Mechanical Corp. for HVAC Maintenance and Repairs. (Community Services – Chavez)
- (11) Report Regarding the Decision by the San Diego County Sheriff's Department to Record Footage from Cameras at City Intersections. (Sheriff Hernandez)

### NON-AGENDA PUBLIC COMMENT (15 minutes):

Persons wishing to address the City Council regarding items not on the posted agenda may do so at this time. In accordance with State law, Council may not take action on an item not scheduled on the Agenda. If appropriate, the item will be referred to the City Manager or placed on a future agenda. This first Non-Agenda Public Comment period is limited to a total of 15 minutes. Additional Non-Agenda Public Comment will be heard prior to Council Reports.



### PUBLIC HEARING:

 Public Hearing and Resolution Adopting General Plan Amendment (GPA2019-4) to Update the Safety Element of the Santee General Plan and Negative Declaration (AEIS2019-8) Under the California Environmental Quality Act (CEQA). (Planning and Building – Sawa)

Recommendation:

- 1. Open and close the Public Hearing; and
- 2. Adopt the Resolution adopting the Negative Declaration (AEIS2019-6) pursuant to CEQA and adopt the Safety and Environmental Justice Element.
- (13) Public Hearing for a Conditional Use Permit (CUP-2024-0001) to Construct an 87,090 Square-Foot Self-Storage Building Located at 10835 Woodside Avenue in the General Commercial (GC) Zone and Finding the Project Categorically Exempt from the California Environmental Quality Act (CEQA) Pursuant to CEQA Guidelines Section 15332 (Applicant: Extra Space Storage). (Planning and Building – Sawa)

Recommendation:

- 1. Conduct and close the Public Hearing; and
- 2. Find CUP-2024-0001 Categorically Exempt from the provisions of CEQA pursuant to Section 15332 and authorize the filing of a Notice of Exemption; and
- 3. Approve Conditional Use Permit CUP-2024-0001 per the Resolution.
- (14) Public Hearing on the Adoption of the Resolution Amending the *TransNet* Local Street Improvement Program for Fiscal Years 2026 Through 2030 to Align the Regional Transportation Improvement Plan (RTIP) with the Proposed Capital Improvement Program Budget and Finding the Action is Not a Project Subject to the California Environmental Quality Act. (Engineering – Schmitz)

Recommendation:

- 1. Conduct the Public Hearing; and
- 2. Adopt the Resolution amending the *TransNet* Local Street Improvement Program of Projects for Fiscal Years 2026 through 2030 to align the RTIP with the proposed Capital Improvement Program budget.



### **NEW BUSINESS:**

(15) Resolution Awarding the Construction Contract to Eagle Paving LLC for the Citywide Slurry Seal and Roadway Maintenance Program 2025 (CIP 2025-02) Project and Determining the Project is Categorically Exempt from Environmental Review Under the California Environmental Quality Act (CEQA) per State CEQA Guidelines Section 15301(c). (Engineering – Schmitz)

### Recommendation:

Adopt the Resolution:

- 1. Awarding the construction contract for the Citywide Slurry Seal and Roadway Maintenance Program 2025 (CIP 2025-02) Project to Eagle Paving LLC for a total amount of \$906,350.00; and
- 2. Authorizing the City Manager to execute all necessary documents to execute the contract on behalf of the City; and
- 3. Authorizing the Director of Engineering/City Engineer to approve change orders in a total amount not to exceed \$100,000.00; and
- 4. Determining this action is categorically exempt from the California Environmental Quality Act ("CEQA") pursuant to Section 15301(c), Existing Facilities, of the CEQA Guidelines.

## (16) An Ordinance Amending Chapter 2.40 of the Santee Municipal Code Pertaining to Contribution Limits. (City Clerk – Jeffries)

### Recommendation:

Conduct the First Reading of the Ordinance and set the Second Reading and adoption for May 28, 2025.

### NON-AGENDA PUBLIC COMMENT (Continued):

All public comment not presented within the first Non-Agenda Public Comment period above will be heard at this time.

### CITY COUNCIL REPORTS:

CITY MANAGER REPORTS:

**CITY ATTORNEY REPORTS:** 

CLOSED SESSION:

ADJOURNMENT:



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### **REGULAR MEETING AGENDA**

May 14, 2025 | 6:30 p.m.



### BOARDS, COMMISSIONS & COMMITTEES MAY AND JUNE MEETINGS

- May 07 Santee Park and Recreation Committee
- May 12 Community Oriented Policing Committee
- May 14 Council Meeting
- May 28 Council Meeting
- June 04 Santee Park and Recreation Committee
- June 09 Community Oriented Policing Committee
- June 11 Council Meeting
- June 25 Council Meeting

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The Santee City Council welcomes you and encourages your continued interest and involvement in the City's decision-making process.

### For your convenience, a complete Agenda Packet is available for public review at City Hall and on the City's website at www.CityofSanteeCA.gov.

The City of Santee complies with the Americans with Disabilities Act. Upon request, this agenda will be made available in appropriate alternative formats to persons with disabilities, as required by Section 12132 of the American with Disabilities Act of 1990 (42 USC § 12132). Any person with a disability who requires modification or accommodation in order to participate in a meeting should direct such a request to the City Clerk's Office at (619) 258-4100, ext. 114 at least 48 hours before the meeting, if possible.





COUNCIL AGENDA STATEMENT CITY OF SANTEE

Adjournment

MEETING DATE May 14, 2025

## ITEM TITLE ADJOURNMENT IN MEMORY OF MIKE CLARK

DIRECTOR/DEPARTMENT John W. Minto, Mayor

## **SUMMARY**

Tonight's meeting will be adjourned in memory of Mike Clark. Mike and his family moved to Santee on February 14, 1970. Before the City's incorporation, he served on the County Planning Group for Santee. When the City was incorporated in 1980, Mike ran for City Council, placing 11th out of 22 candidates. Undeterred, he continued to serve his community with dedication.

Mike and his wife, Jan Clark, served on the Santee Park and Recreation Committee at different times. Mike also served on the Santee Planning Commission until his election to the City Council on November 6, 1984. He served two terms as a Councilmember, having been reelected on November 8, 1988. The year before Mike's election to the City Council, Jan was elected to the Santee School District Board. Prior to their elections, the City and School District had limited collaboration. Together, Mike and Jan fostered a stronger relationship, leading to agreements for the joint use of School District ball fields to help meet the City's General Plan requirements for park areas.

Mike and the other City Councilmembers, with the help of Larry Sterling, were able relocate the proposed Highway 52 from the riverbed to the Prospect area, enabling the development of what is now the Town Center area.

Mike was also the City's representative to the former CSA 69. He enjoyed going on ride-alongs with the Santee Fire Department, and they enjoyed him coming because they never seemed to get calls when he was there. He also did ride-alongs with the Sheriff, but they always received plenty of calls when he was around.

Despite leaving City government, Mike enjoyed watching Council meetings on Santee TV.

Mike is survived by his wife, Jan; daughter, Michele; son, Michael; 5 grandchildren; and 5 great grandchildren.

FINANCIAL STATEMENT

N/A

CITY ATTORNEY REVIEW N/A • 
Completed

## RECOMMENDATION

Adjourn in memory of Mike Clark.

ATTACHMENT Adjournment Certificate



# City of Santee In Deepest Sympathy

On the 14th day of May 2025, the Santee City Council meeting adjourned in memory of

# Mike Clark



MEETING DATE May 14, 2025

ITEM TITLE PROCLAIMING MAY 4 TO MAY 10, 2025, AS NATIONAL SMALL BUSINESS WEEK

**COUNCIL AGENDA STATEMENT** 

## DIRECTOR/DEPARTMENT John W. Minto, Mayor

**CITY OF SANTEE** 

### SUMMARY

National Small Business Week is an annual May event organized by the U.S. Small Business Administration (SBA) to recognize the achievements and contributions of small businesses across the nation. This year, **National Small Business Week** is being recognized from May 4 to May 10, 2025, with week-long national recognitions, and a two-day virtual summit featuring federal resources and educational workshops for small businesses.

There are over 33 million small businesses nationwide that contribute to both the local and national economy. According to the SBA, it is estimated that nearly half of employed Americans either own or work for a small business and they create about two out of every three new jobs in the U.S. each year.

The City of Santee honors and appreciates the perseverance, resilience and entrepreneurial spirit of our small businesses, which create jobs and strengthen our local economy.

James Sly, CEO of the East County Economic Development Council (EDC), will be accepting the City Proclamation for National Small Business Week on behalf of both the East County Economic Development Council and the East County Small Business Development Center (SBDC), which have provided significant assistance to small businesses in Santee and East County. The East County EDC played a critical role in helping the City of Santee secure a \$7.2 million FEMA Hazard Mitigation grant for hazardous fuels reduction and defensible space clearing in the San Diego River Corridor. Back in 2022, when the City was facing a looming FEMA deadline for the Hazard Mitigation Grant Program, East County EDC staff worked directly with Chief Matsushita and his staff to prepare the FEMA grant application package, compile all the support documentation, and ensure all the FEMA requirements were met. East County EDC has also assisted in administering several business grant programs for the City and they are currently working on securing grant funding from multiple agencies for an East County Revolving Loan program for small businesses.

## FINANCIAL STATEMENT N/A

**<u>CITY ATTORNEY REVIEW</u>** ⊠ N/A □ Completed

RECOMMENDATION Present Proclamation.

ATTACHMENTS Proclamation





WHEREAS, since 1963, the President of the United States has issued a proclamation calling for the celebration of National Small Business Week to commemorate the achievements and contributions of small businesses nationwide; and,

WHEREAS, the U.S. Small Business Administration (SBA) has announced National Small Business Week as May 4 to May 10, 2025; and,

**WHEREAS**, there are over 33 million small businesses nationwide that represent a vital segment of the business community and play a key role in invigorating the local and national economy; and,

**WHEREAS**, according to the SBA, it is estimated that more than half of employed Americans either own or work for a small business and they create about two out of every three new jobs in the U.S. each year; and,

**WHEREAS**, small business owners represent the cornerstone of every community by creating business opportunity and investment, stimulating job growth, and boosting the local economy.

**NOW, THEREFORE, I,** John W. Minto, Mayor of the City of Santee, on behalf of the City Council, do hereby proclaim May 4 to May 10, 2025, as

### "National Small Business Week"

in the City of Santee and encourage citizens and community groups to celebrate and recognize the value of small businesses within our community and support these local small businesses throughout the year by shopping locally.

> IN WITNESS WHEREOF, I have hereunto set my hand this fourteenth day of May, two thousand twenty-five, and have caused the Official Seal of the city of Santee to be affixed.

> > Mayor John W. Minto

MEETING DATE May 14, 2025

ITEM TITLE PROCLAIMING MAY 18-24, 2025, AS PUBLIC WORKS WEEK IN THE CITY OF SANTEE

COUNCIL AGENDA STATEMENT

**CITY OF SANTEE** 

DIRECTOR/DEPARTMENT

John W. Minto, Mayor

### SUMMARY

The American Public Works Association will be celebrating National Public Works Week May 18-24, 2025. The theme of the American Public Works Association's effort this year is "People, Purpose, Presence".

From providing clean water to disposing of solid waste, to building roads and bridges, or planning for and implementing mass transit, to removing snow on roadways or devising emergency management strategies to meet natural or manmade disasters, public works services determine a society's quality of life.

The City of Santee proudly salutes and thanks the tens of thousands of public works professionals across the nation who work tirelessly every day to strengthen the bond that keeps us all connected.

The attached proclamation has been prepared heralding National Public Works Week and will be accepted by Sam Rensberry, Public Services Manager for the City of Santee.

## FINANCIAL STATEMENT

N/A

**CITY ATTORNEY REVIEW** ⊠ N/A □ Completed

## RECOMMENDATION

Present the proclamation.

ATTACHMENTS Proclamation





# Proclamation

WHEREAS, public works professionals focus on infrastructure, facilities and services that are of vital importance to sustainable and resilient communities and to the public health, high quality of life, and well-being of the people of Santee, California; and,

WHEREAS, this year's focus is People, Purpose, Presence; and,

WHEREAS, these employees may be frontline workers, office workers, engineers, consultants and employees at all levels of government and the private sector who are responsible for rebuilding, improving, and protecting our nation's transportation, water supply, water treatment and solid waste systems, public buildings, and other structures and facilities essential for our citizens; and,

WHEREAS, it is in the public interest for the citizens, civic leaders, and children in Santee, California, to gain knowledge of and maintain an ongoing interest, respect, and understanding of the importance of public works and public works programs in their respective communities; and,

WHEREAS, all citizens are urged to join with representatives of the American Public Works Association and government agencies in activities, events, and ceremonies designed to recognize our public works professionals and the substantial contributions they make to protecting our health, safety, and quality of life; and,

**WHEREAS**, the year 2025 marks the 65<sup>th</sup> annual National Public Works Week sponsored by the American Public Works Association.

**NOW, THEREFORE, I,** John W. Minto, Mayor of the city of Santee, on behalf of the City Council, do hereby proclaim May 19-25, 2025, as

## "Public Works Week"

in the city of Santee and encourage residents to pay tribute to our public works professionals, engineers, managers, and employees, and to recognize the substantial contributions they make to protecting our health, safety, and quality of life as they advance quality of life for all.

> IN WITNESS WHEREOF, I have hereunto set my hand this fourteenth day of May, two thousand twenty-five, and have caused the Official Seal of the city of Santee to be affixed.

> > Mayor John W. Minto



COUNCIL AGENDA STATEMENT CITY OF SANTEE

Recognition

MEETING DATE May 14, 2025

**ITEM TITLE** RECOGNITION OF SHERIFF LIEUTENANT JOSEPH JARJURA

DIRECTOR/DEPARTMENT John W. Minto, Mayor

## **SUMMARY**

Lieutenant Joseph Jarjura of the San Diego County Sheriff's Department will be honored tonight for the great job he did assisting his captain, Aldo Hernandez, with the daily operations of the Santee Sheriff's Station and providing quality law enforcement services to Santee citizens and visitors for one year, from April 2024 to April 2025, before being reassigned to another area.

Thank you, Lieutenant Joseph Jarjura, for a job very well done!

## **FINANCIAL STATEMENT**

N/A

**<u>CITY ATTORNEY REVIEW</u>** ⊠ N/A • □ Completed

## RECOMMENDATION

Present Certificate of Commendation,

## ATTACHMENT

Certificate of Commendation



# City of Santee Certificate of Commendation

This Certificate is Proudly Presented to

## JOSEPH JARJURA San Diego County Sheriff's Department Lieutenant

The City of Santee recognizes Lieutenant Joseph Jarjura on his dedication to protecting and serving Santee residents and visitors, providing quality law enforcement services during his Santee assignment, as well as assisting with the daily operations of the Santee Sheriff's Station. The time he spent in our community made an impact, and we commend him for a job very well done. He will be greatly missed!

> Mayor John W. Minto May 14, 2025

**DO MORE ► DUE EAST** 





MEETING DATE May 14, 2025

ITEM TITLE APPROVAL OF READING BY TITLE ONLY AND WAIVER OF READING IN FULL OF ORDINANCES AND RESOLUTIONS ON THE AGENDA

## DIRECTOR/DEPARTMENT James Jeffries, City Clerk

### SUMMARY

This Item asks the City Council to waive the reading in full of all Ordinances on the Agenda (if any) and approve their reading by title only. The purpose of this Item is to help streamline the City Council meeting process, to avoid unnecessary delay and to allow more time for substantive discussion of Items on the agenda.

State law requires that all Ordinances be read in full either at the time of introduction or at the time of passage, unless a motion waiving further reading is adopted by a majority of the City Council. (Gov. Code, § 36934). This means that each word in each Ordinance would have to be read aloud unless such reading is waived. Such reading could substantially delay the meeting and limit the time available for discussion of substantive Items. Adoption of this waiver streamlines the procedure for adopting the Ordinances on tonight's Agenda (if any), because it allows the City Council to approve Ordinances by reading aloud only the title of the Ordinance instead of reading aloud every word of the Ordinance.

The procedures for adopting Resolutions are not as strict as the procedures for adopting Ordinances. For example, Resolutions do not require two readings for passage, need not be read in full or even by title, are effective immediately unless otherwise specified, do not need to be in any particular format unless expressly required, and, with the exception of fixing tax rates or revenue amounts, do not require publication. However, like Ordinances, all Resolutions require a recorded majority vote of the total membership of the City Council. (Gov. Code § 36936).

### FINANCIAL STATEMENT

N/A

CITY ATTORNEY REVIEW □ N/A • ⊠ Completed

## RECOMMENDATION

It is recommended that the Council waive the reading of all Ordinances and Resolutions in their entirety and read by title only.

## ATTACHMENT

None.







COUNCIL AGENDA STATEMENT CITY OF SANTEE

MEETING DATE May 14, 2025

**ITEM TITLE** APPROVAL OF MEETING MINUTES OF THE SANTEE CITY COUNCIL FOR THE SPECIAL MEETINGS OF APRIL 18, 2025, AND APRIL 20, 2025, AND REGULAR MEETING OF APRIL 23, 2025

DIRECTOR/DEPARTMENT James Jeffries, City Clerk

## SUMMARY

Submitted for your consideration and approval are the minutes of the above meetings.

## FINANCIAL STATEMENT

N/A

## **<u>CITY ATTORNEY REVIEW</u>** ⊠ N/A • □ Completed

## RECOMMENDATION

Approve Minutes as presented.

## ATTACHMENT

April 18, 2025, Special Meeting Minutes April 20, 2025, Special Meeting Minutes April 23, 2025, Regular Meeting Minutes



### Minutes Santee City Council Council Chamber – Building 2 10601 Magnolia Avenue Santee, California April 18, 2025

## CALL TO ORDER/ROLL CALL:

The Special Meeting was called to order by Mayor Minto at 10:00 a.m.

Present: Mayor John W. Minto and Councilmembers Laura Koval, and Dustin Trotter.

Vice Mayor McNelis joined the meeting at 10:01 a.m. Councilmember Hall joined the meeting at 10:02 a.m.

Officers present: City Attorney Shawn Hagerty, and City Clerk James Jeffries.

### **CLOSED SESSION:**

Councilmembers recessed at 10:00 a.m. and convened in Closed Session at 10:01 a.m.

- (1) Public Employee Appointment (Gov. Code section 54957) Title: Interim City Manager
- (2) Public Employment (Gov. Code section 54957) Title: City Manager

Councilmembers reconvened in Open Session at 12:38 p.m. with all members present. Mayor Minto reported in regard to Items 1 and 2, the Council authorized the Mayor to sign a separation agreement with the City Manager; gave direction to staff to open the recruitment process for a permanent City Manager; and gave direction to staff to bring back a contract for an Interim City Manager to be voted on at the April 23, 2025, City Council meeting.

### ADJOURNMENT:

There being no further business, the meeting was adjourned at 12:39 p.m.

Date Approved:

James Jeffries, City Clerk

### Minutes Santee City Council Council Chamber – Building 2 10601 Magnolia Avenue Santee, California April 20, 2025

### CALL TO ORDER/ROLL CALL:

The Special Meeting was called to order by Mayor Minto at 7:00 p.m.

**Present:** Mayor John W. Minto and Councilmembers Ronn Hall, Laura Koval, and Dustin Trotter – 4. Excused: Vice Mayor Rob McNelis – 1.

Officers present: City Attorney Shawn Hagerty, and City Clerk James Jeffries.

### CLOSED SESSION:

### Public Speaker:

• Lynda Marrokal

Councilmembers recessed at 7:02 p.m. and convened in Closed Session at 7:03 p.m.

(1) Public Employee Appointment (Gov. Code section 54957) Title: Interim City Manager

Councilmembers reconvened in Open Session at 7:15 p.m. with all members present, except Vice Mayor McNelis who was excused. Mayor Minto reported in regard to Item 1 direction was given to staff.

### ADJOURNMENT:

There being no further business, the meeting was adjourned at 7:16 p.m.

Date Approved:

James Jeffries, City Clerk

## DRAFT

### Minutes Santee City Council Council Chamber – Building 2 10601 Magnolia Avenue Santee, California April 23, 2025

This Regular Meeting of the Santee City Council was called to order by Vice Mayor McNelis at 6:30 p.m.

**ROLL CALL:** Present: Vice Mayor Rob McNelis, and Councilmembers Ronn Hall and Dustin Trotter – 3. Excused: Mayor John W. Minto and Councilmember Laura Koval – 2.

Officers present: City Attorney Shawn Hagerty and City Clerk James Jeffries

**INVOCATION** was given by Jeremy Chan – Foothills Christian Church

PLEDGE OF ALLEGIANCE was led by Gary Halbert

**PRESENTATION:** 22nd District Agricultural Association's Fairgrounds 2050

Zach MacQuarrie with Southwest Strategies Group presented a PowerPoint presentation and responded to Council questions.

### PROCLAMATION: Arbor Day 2025

Vice Mayor McNelis presented the Proclamation to SPARC Chair Dean Velasco.

### **CONSENT CALENDAR:**

- (1) Approval of Reading by Title Only and Waiver of Reading in Full of Ordinances and Resolutions on the Agenda. (City Clerk Jeffries)
- (2) Approval of Meeting Minutes of the Santee City Council for the Regular Meeting of April 9, 2025, and the District 4 Town Hall Special Meeting of April 17, 2025. (City Clerk Jeffries)
- (3) Approval of Payment of Demands as Presented. (Finance Jennings)
- (4) Approval of the Expenditure of \$93,759.19 for March 2025 Legal Services. (Finance – Jennings)
- (5) Adoption of a Resolution Approving the City of Santee Investment Policy and Delegating Authority to the City Treasurer. (Finance – Jennings) (Reso 040-2025)

- (6) Adoption of a Resolution Initiating Proceedings and Ordering the Preparation of an Engineer's Report for the FY 2025-26 Santee Landscape Maintenance District Annual Levy of Assessments. (Finance – Jennings) (Reso 041-2025)
- (7) Adoption of a Resolution Initiating Proceedings and Ordering the Preparation of an Engineer's Report for the FY 2025-26 Town Center Landscape Maintenance District Annual Levy of Assessments. (Finance – Jennings) (Reso 042-2025)
- (8) Adoption of a Resolution Initiating Proceedings and Ordering the Preparation of an Engineer's Report for the FY 2025-26 Santee Roadway Lighting District Annual Levy of Assessments. (Finance – Jennings) (Reso 043-2025)
- (9) Adoption of a Resolution Accepting the Public Improvements for the Walker Trails Subdivision Project (TM2016-1) as Complete and Finding this Acceptance is Not a California Environmental Quality Act ("CEQA") Project. Location: Northwest of the San Diego River and Magnolia Avenue. (Engineering – Schmitz) (Reso 044-2025)
- (10) Adoption of a Resolution Accepting the Public Improvements for the Popeye's Chicken Project (P2021-1) as Complete and Finding this Acceptance is Not a California Environmental Quality Act ("CEQA") Project. Location: 10308 Mission Gorge Road. (Engineering – Schmitz) (Reso 045-2025)
- (11) Adoption of a Resolution to Authorize an Amendment to Increase the Contract Value of the Existing Professional Services Agreement with Ebbin Moser + Skaggs, LLP for Additional Services Related to the Santee Multiple Species Conservation Program Subarea Plan, Environmental Assessment, Environmental Impact Report and Implementing Agreement. (Planning and Building – Sawa) (Reso 046-2025)
- (12) Adoption of a Resolution Acknowledging Receipt of a Report Made by the Fire Chief in Accordance with Section 13146.4 of the California Health and Safety Code (Annual Fire Inspection Compliance Report). (Fire – Matsushita) (Reso 047-2025)

Action: Councilmember Trotter moved approval of the Consent Calendar.

Councilmember Hall seconded the motion, which carried by the following vote: Vice Mayor McNelis: Aye; and Councilmembers Hall: Aye; and Trotter: Aye. Ayes: 3. Noes: 0. Absent: Mayor Minto and Councilmember Koval -2.

### NON-AGENDA PUBLIC COMMENTS (15 minutes):

- (A) Brenda Hammond commented on how kind the community is to the local seniors.
- (B) Carl Costantino commended Councilmember Trotter on his Town Hall meeting for District 4; he also requested a Town Hall meeting for District 2.

### PUBLIC HEARING:

(13) Public Hearing to Review the Draft Program Years 2025-2029 Consolidated Plan and Program Year 2025 Annual Action Plan; this Item is Exempt from Environmental Review Under the California Environmental Quality Act ("CEQA") by Guidelines Section 15061(b)(3). (Planning and Building – Sawa) (Reso 048-2025)

The Public Hearing was opened at 6:46 p.m. Brittany Gohres, Senior Management Analyst, provided a PowerPoint presentation and responded to Council questions with the assistance of Sandi Sawa, Planning and Building Director.

Action: Councilmember Hall moved approval of staff recommendation.

Councilmember Trotter seconded the motion, which carried by the following vote: Vice Mayor McNelis: Aye; and Councilmembers Hall: Aye; and Trotter: Aye. Ayes: 3. Noes: 0. Absent: Mayor Minto and Councilmember Koval – 2.

The Public Hearing was closed at 6:52 p.m.

### NEW BUSINESS:

### (14) Resolution Appointing an Interim City Manager and Approving Employment Agreement. (City Council) (Reso 049-2025)

Rida Freeman, Human Resources Director, provided a report and responded to Council questions with comments from Gary Halbert.

Action: Councilmember Hall moved approval of staff recommendation.

Councilmember Trotter seconded the motion, which carried by the following vote: Vice Mayor McNelis: Aye; and Councilmembers Hall: Aye; and Trotter: Aye. Ayes: 3. Noes: 0. Absent: Mayor Minto and Councilmember Koval – 2.

### NON-AGENDA PUBLIC COMMENT: (Continued)

None.

### CITY COUNCIL REPORTS:

Councilmember Trotter provided an update from his Town Hall for District 4.

Vice Mayor McNelis reminded the community of the upcoming Lakeside Rodeo and parade.

### **CITY MANAGER REPORTS**:

None.

### **CITY ATTORNEY REPORTS**:

None.

### CLOSED SESSION:

Councilmembers recessed at 6:57 p.m. and convened in Closed Session at 7:00 p.m.

# (15) Conference with Labor Negotiators (Government Code Section 54957.6) City Designated Representative: City Manager Employee Organization: Santee Firefighters Association

Councilmembers reconvened in Open Session at 7:27 p.m., with all members present. Vice Mayor McNelis reported on Item 15 direction was given.

### ADJOURNMENT:

There being no further business, the meeting was adjourned at 7:28 p.m.

Date Approved:

James Jeffries, City Clerk



## MEETING DATE May 14, 2025



DIRECTOR/DEPARTMENT Heather Jennings, Finance

## **SUMMARY**

A listing of checks that have been disbursed since the last Council meeting is submitted herewith for approval by the City Council.

## **FINANCIAL STATEMENT**

Adequate budgeted funds are available for the Payment of Demands per the attached listing.

<u>CITY ATTORNEY REVIEW</u> ⊠ N/A • □ Completed

## RECOMMENDATION

Approve the Payment of Demands as presented.

## ATTACHMENT

- 1) Summary of Payments Issued
- 2) Voucher Lists



### Payment of Demands Summary of Payments Issued

<u>Date</u>	<b>Description</b>	<u>Amount</u>
04/16/25	Accounts Payable	\$ 42,014.17
04/16/25	Accounts Payable	156,084.45
04/16/25	Accounts Payable	352,545.64
04/17/25	Accounts Payable	18,269.20
04/18/25	Accounts Payable	50,932.17
04/22/25	Accounts Payable	163,516.22
04/23/25	Accounts Payable	36,605.88
04/23/25	Accounts Payable	3,148,206.85
04/30/25	Accounts Payable	212,539.83
04/30/25	Accounts Payable	361,280.88
05/01/25	Payroll	596,614.74
05/01/25	Retiree Health	5,203.00
05/01/25	Accounts Payable	289,705.90
05/02/25	Accounts Payable	98,724.47
05/06/25	Accounts Payable	165,061.91
05/08/25	Payroll	35,165.92
	TOTAL	\$ 5,732,471.23

I hereby certify to the best of my knowledge and belief that the foregoing demands listing is correct, just, conforms to the approved budget, and funds are available to pay said demands.

Heather Jennings

Heather Jennings, Director of Finance

04/16/2025 10:39:00AM

### Voucher List CITY OF SANTEE

Voucher	Date	Vendor	Invoice	<u>PO #</u>	Description/Account	Amount
138992	4/16/2025	10001 US BANK	000083		WELLNESS EVENT	1,240.16
			002305		CITY COUNCIL MEETING SUPPLIES	90.71
			002921		AMBULANCE REMOUNT	52.27
			002977		MEETING SUPPLIES	10.00
			006632		WELLNESS EVENT	187.61
			0066639		ENGINEERING SUPPLIES	41.89
			007815		TRANSPORTATION FOR CPRS CON	53.10
			009061		GENERAL EVENT SUPPLIES	32.48
			010347		TRANSPORTATION	44.50
			010619		WELLNESS EVENT	16.16
			010722		WELLNESS EVENT	10.78
			011091		MEETING SUPPLIES	21.50
			0120832		MEETING SUPPLIES	341.54
			013050		AMBULANCE REMOUNT	47.50
			014235		SENIOR SUPPLIES	33.13
			015093		GENERAL EVENT SUPPLIES	3.23
		÷.	018388		WELLNESS	6.73
			018898		WELLNESS EVENT	26.94
			019921		EQUIPMENT SUPPLIES	75.41
			02262025		OFFICE SUPPLIES	107.41
			023423		MEETING SUPPLIIES	1.69
			025118		MEETING SUPPLIES	17.47
			0269005		EQUIPMENT SUPPLIES	1,410.60
			027133		CENTRAL ZONE LOGISTICS MEETI	24.00
			03012025		EVENT PROMOTION	90.00
			0302667		EMPLOYEE RECOGNITION PROGR	121.40
			0304EKING		MATERIALS & SUPPLIES	14.94
			031125		DSA MEMBERSHIP RENEWAL - STU	100.00
			03122025-HK		MEETING SUPPLIES	31.67
			0312236		STATION SUPPLIES	76.33
			03142025		TRANSPORTATION CHARGE	23.99
			031657		SENIOR SUPPLIES	74.47
			033086		GENERAL EVENT SUPPLIES	6.73
			034414		MEETING SUPPLIES	10.00
			042025-0133		PROFESSIONAL DEVELOPMENT	35.00
			045703		GENERAL EVENT SUPPLIES	17.65

### vchlist 04/16/2025 10:39:00AM

### Voucher List CITY OF SANTEE

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	Date	Vendor	Invoice	<u>PO #</u>	Description/Account	Amount
138992	4/16/2025	10001 US BANK	(Continued)			
			048425		SENIOR TRIPS	1,092.00
			048790		GENERAL EVENT SUPPLIES	5.38
			049705		CENTRAL ZONE LOGISTICS MEETI	17.60
			050060		TEEN CENTER PI DAY PIES	17.17
			0512214		ENGINEERING SUPPLIES	30.16
			051677		MEETING SUPPLIES	12.26
			0528584		GENERAL EVENT SUPPLIES	40.84
			057927		SAFETY EQUIPMENT	781.19
			058735		EQUIPMENT REPAIR	385.27
			060272		MEETING SUPPLIES	54.13
			0630607		COMPUTER EQUIPMENT	76.57
			064524		MEETING SUPPLIES	23.16
			072600		TEEN CENTER SUPPLIES	55.56
			075715		EVENT SUPPLIES	38.44
			076991		AMBUILANCE REMOUNT	76.00
			077080		DEPOSIT	500.00
			077089		TEEN CENTER ACTIVITY	48.91
			081828		MATERIALS & SUPPLIES	17.50
			082883		MEETING SUPPLIES	35.20
			086058		MEETING SUPPLIES	59.00
			092043		MEETING SUPPLIES	14.48
			093587		CONFERENCE	35.00
			094605		CITY COUNCIL SUPPLIES	22.49
			096310		MEETING SUPPLIES	17.47
			097088		SENIOR SUPPLIES	11.58
			100290		MATERIALS & SUPPLIES	26.15
			101967871		ICC MEMBERSHIP RENEWAL - STU	110.00
			101973692		<b>BUILDING SUPPLIES &amp; TRAINING</b>	698.30
			1046745748		ASCE MEMBERSHIP RENEWAL - SI	316.00
			11416		EQUIPMENT SUPPLIES	1,657.44
			11965506333		PROFESSIONAL DEVELOPMENT	225.00
			11975328023		PROFESSIONAL DEVELOPMENT	225.00
			11975434133		PROFESSIONAL DEVELOPMENT	450.00
			132802		PROFESSIONAL DEVELOPMENT	138.06
			132817		PROFESSIONAL DEVELOPMENT	118.06
			1371976		MEMBERSHIP	185.00

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### Voucher List CITY OF SANTEE

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amoun
138992	4/16/2025	10001 US BANK	(Continued)			
			13759705		MARKETING BROCHURE PRODUC	253.92
			13759889		PARK KIOSK SIGNS	120.23
			1406259		PROFESSIONAL DEVELOPMENT	531.12
			1489859		VEHICLE SUPPLIES	30.12
			1509833CR		CREDIT FOR DAMAGED ITEM	-399.28
			153FAC81-0002		BUILDING SUPPLIES	69.97
			15679		TEEN CENTER	107.75
			15882		CPR CARDS	117.50
			1593829		MATERIALS & SUPPLIES	217.58
			166522		MEETING SUPPLIES	9.25
			167917		PROFESSIONAL DEVELOPMENT	650.00
			167987		PROFESSIONAL DEVELOPMENT	650.00
			1744211		VEHICLE REPAIR PART	48.12
			200033279		WEBINAR REGISTRATION FOR CO	120.00
			200033280		WEBINAR REGISTRATION FOR CO	76.00
			200831		MEETING SUPPLIES	35.20
			2024398		MATERIALS & SUPPLIES	183.25
			203814		P&B AND E SUPPLIES	20.46
			212300		FIRE STATION 20	834.89
			2223875		WELLNESS	
			2253813		OFFICE SUPPLIES	221.87 181.31
			2253811-2		OFFICE SUPPLIES	
			22690		TRAINING	40.93
			226904		STATION SUPPLIES	39.90
7			2308219			683.49
			2318424		ENGINEERING SUPPLIES	75.37
			2359466		BOARD MEETING	312.96
					FIRE PREVENTION SUPPLIES	177.13
			2381063		ENGINEERING SUPPLIES	26.93
			25105886			76.94
			2578341		CAL/OSHA CONSTRUCTION TRAIN	68.99
			2578391		CAL/OSHA CONSTRUCTION TRAIN	68.99
			2578489		CAL/OSHA CONSTRUCTION TRAIN	68.99
			2604021		SMALL TOOLS	29.06
			2604123		GENERAL EVENT SUPPLIES	32.29
			264052		PROFESSIONAL DEVELOPMENT	300.00
			2895-6466		FITNESS SUBSCRIPTION	179.95

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### Voucher List CITY OF SANTEE

#### Page 4

Voucher	Date	Vendor	Invoice	<u>PO #</u>	Description/Account	Amount
138992	4/16/2025	10001 US BANK	(Continued)			
			28965048		EVENT PROMOTION	646.99
			290		MEETING SUPPLIES	10.00
			29040540		GENERAL PROMOTIONAL ITEMS	249.91
			29330252		CRACK SEALING BROCHURE	124.87
			29330264		STREET RESURFACING BROCHUR	165.00
			29348994		COMMUNITY EVENT FLYERS	119.31
			29373843		BUNNY TRAIL BANNER	44.39
			2953018		EMPLOYEE RECOGNITION PROGR	35.64
			2953018-B		EMPLOYEE RECONITION PROGRA	45.09
			2969807		OFFICE SUPPLIES	94.58
			300016531		CAPPO ANNUAL MEMBERSHIP 202	145.00
			3053396		OFFICE SUPPLIES	19.09
			30888		P&B AND E OFFICE SUPPLIES	2,381.16
			3159212921		CA FIRE PREVENTION CONFEREN	1,330.60
			3160682		VEHICLE EQUIPMENT	64.59
			32025-0132-0019-0019		PROFESSIONAL DEVELOPMENT	35.00
			3511254		OFFICE MATERIALS	177.62
			3516935		<b>APA MEMBERSHIP RENEWAL - SAV</b>	813.00
			3613014		P&B AND E SUPPLIES	10.66
			3774642		VEHICLE SUPPLIES	189.21
			4023956		MATERIALS & SUPPLIES	521.76
			4024281		SIGNS	56.27
			4026278		OFFICE SUPPLIES	366.33
			4164220		MOVIE IN THE PARK SUPPLIES	27.27
			4174663		STATION SUPPLIES	73.24
			437290		PRINTING SERVICES	32.76
			4428		MARKETING ASSOCIATION MEMBE	845.00
			4489196		WELLNESS EVENT	280.04
			4657869		ENGINEERING SUPPLIES	58.89
			4790646-A		OFFICE SUPPLIES	10.76
			4790646-B		OFFICE SUPPLIES	17.23
			480350155		PARKING FOR CPRS CONFERENCI	96.00
			5104327		PRINTING SERVICES	1.70
			5164200R		OFFICE SUPPLIES	-269.36
			5361046-A		STATION SUPPLIES	38.88
			5361046-B		STATION SUPPLIES	43.08

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### Voucher List CITY OF SANTEE

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
138992	4/16/2025	10001 US BANK	(Continued)			
			5448223R		RETURNED PROPELLER CAGE	-30.15
			5515298		MATERIALS & SUPPLIES	74.53
			5839449		EQUIPMENT SUPPLIES	9.69.60
			5870-6998-0662		GOOGLE CLOUD SEARCH FEES	188.80
			589		MEETING SUPPLES	36.83
			5943441		SAFETY APPAREL	32.28
			5LN2MLQ7T28		PROFESSIONAL DEVELOPMENT	35.00
			6021194		MATERIALS & SUPPLIES	62.92
			6025814		WELLNESS	49.53
			6087414		EQUIPMENT REPAIR PART	33.14
			6143461		MATERIALS & SUPPLIES GENERAL	69.75
			6159432		EVENT SUPPLIES	148.54
			619352		CPRS AWARDS	45.00
			6226663		FIRE PREVENTION SUPPLIES	62.14
			6516892		MATERIALS & SUPPLIES	25.75
			666716		MEETING SUPPLIES	10.00
			7109052		COMPUTER EQUIPMENT	112.02
			7197858		EMPLOYEE RECOGNITION PROGR	52.45
			7203439-R		WELLNESS	-297.87
			736315749		BUNNY TRAIL SUPPLIES	539.95
			736322851		BUNNY TRAIL SUPPLIES	759.80
			736394068		EVENT SUPPLIES	303.92
			73746		MEETING SUPPLIES	10.00
			74034A		WEARING APPAREL	724.65
			75910		HOTEL ACCOMMODATIONS	871.14
			7979414		SENIOR ENTERTAINMENT	275.00
			7A32QHYP92		FACEBOOK BOOST - DISCOVER YC	43.00
			8013721		MATERIALS & SUPPLIES	8.92
			831885		GFOA ANNUAL CONFERENCE	540.00
			8528921		MATERIALS & SUPPLIES	145.84
			8537852		OFFICE SUPPLIES	301.69
			87262		GENERAL EVENT SUPPLIES	225.87
			87977		MATERIALS & SUPPLIES	69.97
			8939409		OFFICE SUPPLIES	22.57
			9060894		OFFICE FURNITURE	723.75
			9475452		MATERIALS & SUPPLIES	150.84

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### Voucher List CITY OF SANTEE

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Voucher	DateVendo	r	Invoice	PO #	Description/Account	Amount
138992	4/16/2025 10001	US BANK	(Continued)			
			9495932		WELLNESS	52.26
			95556		MATERIALS & SUPPLIES	172.33
			9568222		P&B AND E DEPARTMENT SUPPLIE	29.05
			9808236		SAFETY EQUIPMENT	66.32
			98495		MATERIALS & SUPPLIES	81.08
			9993861		GENERAL EVENT SUPPLIES	20.34
			AT050219		AMBULANCE REMOUNT	4.96
			AT094382		AMBULANCE REMOUNT	6.62
			BBC827A6		CFED WEST	1,938.00
			CV50340530		PROMOTIONAL ITEMS	770.81
			EB113700		EVENT PROMOTION	472.00
			ELKCZHCQ92		FACEBOOK BOOST - DISCOVER Y(	39.00
			GV32KNQP92		FACEBOOK BOOST - DISCOVER Y(	28.00
			HCFXH		WELLNESS	179.55
			JORGE		CONFERENCE TRANSPORTATION	44.02
			JTQXBUU		SANTEE CHAMBER	1,000.00
			K3MQVHCQ92		FACEBOOK BOOST - DISCOVER Y(	31.00
			K7SH6JCQ92		FACEBOOK BOOST - DISCOVER Y(	48.00
			L57KMHCQ92		FACEBOOK BOOST - MILITARY SUF	17.89
			MARCH2025		PROFESSIONAL DEVELOPMENT	650.00
			MC17253661		EMAIL MARKETING SUBSCRIPTION	350.00
			MNOnkKrgWv		MEETING SUPPLIES	10.00
			MYN64CHMV44		PROFESSIONAL DEVELOPMENT	35.00
			ORD002460		TRAINING REGISTRATION	250.00
			QUALITY1		DISPUTED CHARGE - QUALITY INN	213.04
			QUALITY2		DISPUTED CHARGE - QUALITY INN	189.75
			QUALITY3		DISPUTED CHARGE - QUALITY INN	189.75
			QUALITY4		DISPUTED CHARGE - QUALITY INN	255.03
			SVAM14226859		ENGINEERING SUPPLIES	116.62
			TSIMNUJ		CONFERENCE TRANSPORTATION	43.48
			X3Z2LHYP92		FACEBOOK BOOST - DISCOVER Y(	35.00
					Total :	42,014.17
	1 Vouchers for bank	code: ubgen			Bank total :	42,014.17
1	Vouchers in this re	eport			Total vouchers :	42,014.17

vchlist 04/16/2025	10:39:00/	AM	Voucher List CITY OF SANTEE			Page 7
Bank code :	ubgen					
Voucher	Date	Vendor	Invoice	<u>PO #</u>	Description/Account	Amount

	Turalla	
Prepared by:	MUCVE	
Date:	4.16.25	
Approved by:	EBUK	
Date:	4116/23	

vchlist 04/17/2025			Voucher List CITY OF SANTEE		Page 8	
Bank code :	ubgen					
Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
61901	4/16/2025	10956 FRANCHISE TAX BOARD	April 24 Retiree PPE 4/9/25		CA STATE TAX WITHHELD CA STATE TAX WITHHELD Total :	46.00 38,091.34 <b>38,137.34</b>
61921	4/16/2025	10955 DEPARTMENT OF THE TREASURY	April 25 Retiree PPE 4/9/25		FEDERAL WITHHOLDING TAX FEDERAL WITHHOLDING TAX Total :	211.00 117,736.11 <b>117,947.11</b>

2 Vouchers for bank code : ubgen

2 Vouchers in this report

Prepared by: Juch Date: 4.17.25 Approved by: 2-Bulk Date: 4.23-25 Bank total :

Total vouchers :

156,084.45

156,084.45

### Voucher List CITY OF SANTEE

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
138993	4/16/2025	10003 A & B SAW & LAWNMOWER SHOP	1452	54942	SMALL TOOL PARTS & REPAIRS	360.42
			1455	54942	SMALL TOOL PARTS & REPAIRS	248.85
					Total :	609.27
138994	4/16/2025	14954 ADVANCED ELECTRICAL INNOVATION	499	54873	ELECTRICAL REPAIRS & MAINT	464.18
			500	54873	ELECTRICAL REPAIRS & MAINT	916.81
			501	54873	ELECTRICAL REPAIRS & MAINT	1,402.88
			511	54873	ELECTRICAL REPAIRS & MAINT	331.43
			512	54873	ELECTRICAL REPAIRS & MAINT	1,683.51
			522	54873	<b>ELECTRICAL REPAIRS &amp; MAINT</b>	1,560.24
					Total :	6,359.05
138995	4/16/2025	13456 AGRICULTURAL PEST CONTROL	789437	54828	PEST CONTROL SERVICES	632.65
			796070	54828	PEST CONTROL SERVICES	165.00
			796111	54828	PEST CONTROL SERVICES	165.00
					Total :	962.65
138996	4/16/2025	13321 ALPHA PROJECT FOR THE	0009954-IN	55105	ENCAMPMENT CLEANUPS	2,684.88
					Total :	2,684.88
138997	4/16/2025	15577 ARTHUR II, FIELDS	ACID 18495		<b>REFUND - AMBULANCE BILLING</b>	50.00
					Total :	50.00
138998	4/16/2025	14306 AZTEC LANDSCAPING INC	J2006	54798	CUSTODIAL SERVICES - PARKS	4,972.43
					Total :	4,972.43
138999	4/16/2025	15009 BLUESHIELD OF CA PROMISE HEALT	ACID 21562		REFUND - AMBULANCE BILLING	119.72
			ACID 23247		<b>REFUND - AMBULANCE BILLING</b>	119.72
					Total :	239.44
139000	4/16/2025	13405 BOFFO ENTERTAINMENT INC	04122025	55053	SPECIAL EVENT ENTERTAINMENT	1.375.00
					Total :	1,375.00
139001	4/16/2025	13990 C.P. RICHARDS SIGNS, INC.	64461	54838	VEHICLE SUPPLIES	599.96
			66010	55131	GRAPHICS FOR TYPE 3 ENGINE	6,127.23
				00101	Total :	6,727.19
						-,. <b>-</b> ,

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### Voucher List CITY OF SANTEE

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Voucher	Date	Vendor	Invoice	<u>PO #</u>	Description/Account	Amount
139002	4/16/2025	10031 CDW GOVERNMENT LLC	AD3W43S	55184	COMPUTER SOFTWARE	3,650.44 <b>3,650.44</b>
139003	4/16/2025	12349 CHOICE LOCKSMITHING	020725COS 020727CSI	54843 54843	LOCKSMITH SERVICES - AS NEED LOCKSMITH SERVICES - AS NEED Total :	592.21 110.04 <b>702.25</b>
139004	4/16/2025	10032 CINTAS CORPORATION 694	4225217898	54844	MISC FLEET SHOP RENTALS Total :	74.14 <b>74.14</b>
139005	4/16/2025	12328 CINTAS CORP. #2	5259655403	55039	FIRST-AID KIT SERVICE Total :	279.51 <b>279.51</b>
139006	4/16/2025	10050 CITY OF EL CAJON	2499		HFTA FY 24-25 4TH QTR Total :	67,452.84 <b>67,452.84</b>
139007	4/16/2025	14996 COMMUNITY HEALTH GROUP (CA CAI	ACID 19086		REFUND - AMBULANCE BILLING Total :	1,086.42 <b>1,086.42</b>
139008	4/16/2025	10333 COX COMMUNICATIONS	038997401; MAR25 094486701; APR25		9951 RIVERWALK DR CITY HALL GROUP BILL Total :	57.00 3,385.24 <b>3,442.24</b>
139009	4/16/2025	15583 COX, DAVID G	ACID 21513		REFUND - AMBULANCE BILLING Total :	250.00 <b>250.00</b>
139010	4/16/2025	15601 DELLAWARDS	226183		SLEMSA COMMISSION SUPPLIES Total :	112.06 <b>112.06</b>
139011	4/16/2025	13275 DOCHTERMAN, LINDA	03202025LD		STIPEND FOR MANUFACTURED FA Total :	50.00 <b>50.00</b>
139012	4/16/2025	13858 EL LATINO NEWSPAPER	89431		NOTICE OF ELECTION Total:	780.00 <b>780.00</b>
139013	4/16/2025	10009 FIRE ETC	197271	54855	SAFETY APPAREL Total :	398.68 <b>398.68</b>

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### Voucher List CITY OF SANTEE

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
139014	4/16/2025	12772 GAMETIME	PJI-0261734	55086	PLAYGROUND REPLACEMENTS PA Total :	406.38 <b>406.38</b>
139015	4/16/2025	11881 GOODEN, CHRIS	2025WCISA-CG 4799890		CONFERENCE PER DIEM EMPLOYEE REIMBURSEMENT Total :	163.00 200.00 <b>363.00</b>
139016	4/16/2025	13274 GRANBOIS, DARCY	03202025DG		STIPEND FOR MANUFACTURED H( Total:	50.00 <b>50.00</b>
139017	4/16/2025	11724 ICF JONES & STOKES INC	INV-00000131702	53609	MSCP SUBAREA PLAN Total :	13,011.25 <b>13,011.25</b>
139018	4/16/2025	11807 IMPERIAL SPRINKLER SUPPLY	0019598519-001	54804	IRRIGATION SUPPLIES Total:	190.89 <b>190.89</b>
139019	4/16/2025	13545 INDUSTRIAL SAFETY PRODUCTS	INV-612436	55139	SAFETY EQUIPMENT Total :	2,684.39 <b>2,684.39</b>
139020	4/16/2025	13345 KING, ERIC	2025WCISA-EK		CONFERENCE PER DIEM Total :	163.00 <b>163.00</b>
139021	4/16/2025	10997 LAKESIDE FIRE PROTECTION	33125	54972	NURSE COORDINATOR FY25 Q3 Total :	22,625.91 <b>22,625.91</b>
139022	4/16/2025	10204 LIFE ASSIST INC	1582818 1583152 1583764	54807 54807 54807	EMS SUPPLIES EMS SUPPLIES EMS SUPPLIES Total :	5,051.43 2,757.67 455.52 <b>8,264.62</b>
139023	4/16/2025	15578 LISZKO, ANITA	ACID 24271		REFUND - AMBULANCE BILLING Total :	25.00 <b>25.00</b>
139024	4/16/2025	15579 MANJARREZ, HELEN	ACID 18185		REFUND - AMBULANCE BILLING Total :	50.00 <b>50.00</b>
139025	4/16/2025	14208 MINUTEMAN PRESS EL CAJON	66691	55046	BUS CARDS	267.95

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
139025	4/16/2025	14208 14208 MINUTEMAN PRESS EL CAJO	ON (Continued)		Total :	267.95
139026	4/16/2025	15580 MONTANERO, TONY OR KAMMI	ACID 22489		REFUND - AMBULANCE BILLING Total :	200.00 <b>200.00</b>
139027	4/16/2025	13509 NCA ENTERTAINMENT INC	03152025 04122025	55083 55083	AMUSEMENT RIDES FOR DISCOVE SPECIAL EVENT ENTERTAINMENT Total :	2,000.00 9,000.00 <b>11,000.00</b>
139028	4/16/2025	15581 OPFER, GLYNDA OR GERALD	ACID 22392		REFUND - AMBULANCE BILLING Total :	50.00 <b>50.00</b>
139029	4/16/2025	10344 PADRE DAM MUNICIPAL WATER DIST	29700015; MAR25 90000366; MAR25		CONSTRUCTION METER GROUP BILL Total :	251.50 12,687.98 <b>12,939.48</b>
139030	4/16/2025	15582 PANGBORN, J RICHARD OR M GAYE	ACID 22459		REFUND - AMBULANCE BILLING Total :	200.00 <b>200.00</b>
139031	4/16/2025	14266 PATCH, LILI	03202025LP		STIPEND FOR MANUFACTURED H( Total :	50.00 <b>50.00</b>
139032	4/16/2025	10093 PLAYPOWER LT FARMINGTON INC	1400292708	55155	REPLACEMENT DINOSAUR SCULP Total :	872.27 <b>872.27</b>
139033	4/16/2025	10157 PRIMO DJ'S	15328820	55022	SPECIAL EVENT ENTERTAINMENT Total :	625.00 <b>625.00</b>
139034	4/16/2025	15343 QUADIENT FINANCE USA INC	2128-7		QUADIANT POSTAGE FUNDING Total :	96.25 <b>96.25</b>
139035	4/16/2025	15425 RENEWELL FLEET SERVICE LLC	5184	55073	VEHICLE REPAIR PART Total :	805.60 <b>805.60</b>
139036	4/16/2025	10798 RENSBERRY, SAM	2025WCISA-SR		CONFERENCE PER DIEM Total :	163.00 <b>163.00</b>
139037	4/16/2025	12828 RICK ENGINEERING COMPANY	0107105	55023	AS-NEEDED ENGINEERING SERVIC	1,586.73

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Voucher	Date	Vendo	r	Invoice		PO #	Description/Account		Amount
139037	4/16/2025	12828	12828 RICK ENGINEERING COMPA	NY (C	Continued)			Total :	1,586.73
139038	4/16/2025	15584	ROWLAND, KATHLEEN T	ACID 1465	3		REFUND - AMBULANCE BILL	ING Total :	11.07 <b>11.07</b>
139039	4/16/2025	10936	SAFECHECKS	0546949		55209	FINANCE AP CHECKS	Total :	1,289.67 <b>1,289.67</b>
139040	4/16/2025	12543	SAN DIEGO RIVER PARK	2503-004		55198	SAN DIEGO RIVER PARK GR	ANT Total :	12,000.00 <b>12,000.00</b>
139041	4/16/2025	14881	SANCON TECHNOLOGIES, INC.	8 8R		54600	CITYWIDE CMP LINING AND PROGRESS PAYMENT #8 RE		71,559.69 -3,577.98 <b>67,981.71</b>
139042	4/16/2025	14643	SANDOVAL, ANTONIO	3/24/25AS			MISC. REIMBURSEMENT - S	UPPLIE Total :	82.20 <b>82.20</b>
139043	4/16/2025	10768	SANTEE SCHOOL DISTRICT	9653 9664		55044 55044	JOINT USE FIELDS - RIO SE JOINT USE FIELDS - RIO SE		437.67 530.03 <b>967.70</b>
139044	4/16/2025	10768	SANTEE SCHOOL DISTRICT	9671		54810	TRANSPORTATION TEEN CE	NTER Total :	143.36 <b>143.36</b>
139045	4/16/2025	13421	SANTEE SENIOR RETIREMENT	2519			DEVELOPER DEPOSIT REFU	JND Total :	247.13 <b>247.13</b>
139046	4/16/2025	13171	SC COMMERCIAL, LLC	IN-0000066 IN-0000096		55006	FUEL DELIVERED FUEL	Total :	99.85 1,718.61 <b>1,818.46</b>
139047	4/16/2025	14523	SCA OF CA, LLC	CA1000109 CA100080		54811 54811	STREET SWEEPING SVCS STREET SWEEPING SVCS	Total :	31,019.58 31,019.58 <b>62,039.16</b>
139048	4/16/2025	15585	SHARIF, SARA	ACID 6614			REFUND - AMBULANCE BILL	ING	75.00

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
139048	4/16/2025	15585 15585 SHARIF, SARA	(Continued)		Total :	75.00
139049	4/16/2025	15020 SHARP COMMUNITY MEDICAL GRP	ACID 13748 ACID 14420 ACID 18459		REFUND - AMBULANCE BILLING REFUND - AMBULANCE BILLING REFUND - AMBULANCE BILLING Total :	630.41 679.04 597.94 <b>1,907.39</b>
139050	4/16/2025	15021 SHARP HEALTH PLAN	ACID 11664 ACID 12811		REFUND - AMBULANCE BILLING REFUND - AMBULANCE BILLING Total :	1,347.00 1,263.00 <b>2,610.00</b>
139051	4/16/2025	10217 STAPLES ADVANTAGE	6027111492 6027425224	55017 54870	OFFICE SUPPLIES - PSD OFFICE SUPPLIES - P&B, E Total :	549.78 91.01 <b>640.79</b>
139052	4/16/2025	15586 STARREN, ERICK OR LOUISE	ACID 17331		REFUND - AMBULANCE BILLING Total :	116.19 <b>116.19</b>
139053	4/16/2025	15587 STEVENS, DEBRA OR DAVID	ACID 22901		REFUND - AMBULANCE BILLING Total :	136.53 <b>136.53</b>
139054	4/16/2025	10572 SUNBELT RENTALS INC	165456635-0001 165980358-0001	54814 54814	EQUIPMENT RENTAL EQUIPMENT RENTAL Total :	1,426.33 422.74 <b>1,849.07</b>
139055	4/16/2025	10250 THE EAST COUNTY	00151167		NOTICE OF PUBLIC HEARING - ZOI Total :	262.50 <b>262.50</b>
139056	4/16/2025	11112 ULINE	190572592	54950	MATERIALS & SUPPLIES Total :	919.96 <b>919.96</b>
139057	4/16/2025	12480 UNITED SITE SERVICES	114-14033569	55056	PORTAPOT WALKER PRESERVE Total :	352.58 <b>352.58</b>
139058	4/16/2025	10338 VANDIVER, EDDIE	03202025EV		STIPEND FOR MANUFACTURED HC Total :	50.00 <b>50.00</b>
139059	4/16/2025	14687 WEX BANK	104088031		FLEET CARD FUELING	15,532.24

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Bank code :	ubgen						
Voucher	Date	Vendor	Invoice	PO #	Description/Account		Amount
139059	4/16/2025	14687 14687 WEX BANK	(Continued)			Total :	15,532.24
139060	4/16/2025	15098 WINTERGREEN CORPORATION	9313917	55158	HOLIDAY TREE LIGHTS	Total :	2,563.72 <b>2,563.72</b>
68	Vouchers f	or bank code : ubgen			Bar	nk total :	352,545.64
68	Vouchers i	n this report			Total vo	uchers :	352,545.64

Voucher List

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Voucher	Date	Vendor	Invoice	<u>PO</u> #	Description/Account	Amo	ount
139061	4/17/2025	12903 AMERICAN FIDELITY ASSURANCE CO	2535879B		FLEXIBLE SPENDING ACCOUN	T 3,046 otal : 3,046	
139062	4/17/2025	14793 CONTROLLING INS COST IN CA, SCHOO	U 2025-04		EMPLOYEE ASSISTANCE PROC		3.40 <b>3.40</b>
139063	4/17/2025	12722 FIDELITY SECURITY LIFE	166756281		EYEMED - VOLUNTARY VISION	1,172 otal : 1,172	
139064	4/17/2025	10844 FRANCHISE TAX BOARD	PPE 4/9/25		WITHHOLDING ORDER	244 otal : 244	4.11 <b>4.11</b>
139065	4/17/2025	10508 LIFE INSURANCE COMPANY OF	April 2025		LIFE/LTD INSURANCE	3,388 otal : 3,388	
139066	4/17/2025	14452 MEDICAL AIR SERVICES ASSC	April 2025		MEDICAL AIR TRANSPORT SVC	CS 190 otal : 190	
139067	4/17/2025	10784 NATIONAL UNION FIRE INSURANCE	April 2025		VOLUNTARY AD&D		5.05 5 <b>.05</b>
139068	4/17/2025	10335 SAN DIEGO FIREFIGHTERS FEDERAL	April 2025		LONG TERM DISABILITY-SFFA	1,416 otal : <b>1,416</b>	
139069	4/17/2025	10424 SANTEE FIREFIGHTERS	PPE 4/9/25		DUES/PEC/BENEVOLENT/BC E	XP 4,920 otal : 4,920	
139070	4/17/2025	10776 STATE OF CALIFORNIA	PPE 4/9/25		WITHHOLDING ORDER	449 otal : 449	
139071	4/17/2025	10776 STATE OF CALIFORNIA	PPE 4/9/25		WITHHOLDING ORDER	260 otal : 260	).30 ).30
139072	4/17/2025	14467 TEXAS LIFE INSURANCE COMPANY	SM0F0U20250413001		VOLUNTARY INS RIDERS	499 otal : <b>499</b>	
139073	4/17/2025	10001 US BANK	PPE 4/9/25		PARS RETIREMENT	1,571	.98

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Bank code :	ubgen				2
Voucher	Date Vendor	Invoice	<u>PO #</u>	Description/Account	Amount
139073	4/17/2025 10001 10001 US BANK	(Continued)		Total	1,571.98
139074	4/17/2025 14600 WASHINGTON STATE SUPPORT	PPE 4/9/25		WITHHOLDING ORDER Total :	641.53 <b>641.53</b>
14	Vouchers for bank code : ubgen			Bank total :	18,269.20
14	Vouchers in this report			Total vouchers	18,269.20

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Bank code :	ubgen						
Voucher	DateV	/endor	Invoice	<u>PO #</u>	Description/Account		Amount
6054297	4/18/2025 14	4705 RHS MISSIONSQUARE	PPE 4/9/25		RETIREE HSA	Total :	5,154.14 <b>5,154.14</b>
6743824	4/18/2025 14	4704 457 MISSIONSQUARE	PPE 4/9/25		ICMA - 457	Total :	45,778.03 <b>45,778.03</b>
2	Vouchers for	bank code : ubgen				Bank total :	50,932.17
2	Vouchers in t	this report			То	tal vouchers :	50,932.17

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Bank code :	ubgen							
Voucher	Date	Vendor	Invoice	<u>}</u>	PO #	Description/Account	Amount	
4253	4/22/2025	10353 PERS	04 25 3			RETIREMENT PAYMENT	163,516.22 163,516.22	
1	Vouchers	for bank code : ut	bgen			Bank total	163,516.22	
1	Vouchers	in this report				Total vouchers	163,516.22	

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Bank code :	ubgen	10 11		20 //		
Voucher	Date	Vendor		<u>PO #</u>	Description/Account	Amount
156183	4/23/2025	10482 TRISTAR RISK MANAGEMENT	122290		WORKERS COMP LOSSES; APR25 Total :	36,605.88 <b>36,605.88</b>
1	Vouchers	for bank code : ubgen			Bank total :	36,605.88
1	Vouchers	in this report			Total vouchers :	36,605.88

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Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
139075	4/23/2025	14954 ADVANCED ELECTRICAL INNOVATION	626	54873	ELECTRICAL REPAIRS & MAINT Total :	4,078.98 <b>4,078.98</b>
139076	4/23/2025	13456 AGRICULTURAL PEST CONTROL	793775	54828	PEST CONTROL SERVICES Total :	632.65 <b>632.65</b>
139077	4/23/2025	10010 AIS TRUST ACCOUNT NEWPORT	01012025-03312025 3038736		1ST QTR SPECIAL EVENT INSURAN BUNNY TRAIL EVENT INSURANCE : Total :	1,228.00 876.00 <b>2,104.00</b>
139078	4/23/2025	13321 ALPHA PROJECT FOR THE	0009924-IN 0010014-IN	55105 55105	ENCAMPMENT CLEANUPS ENCAMPMENT CLEANUPS Total :	12,529.44 2,386.56 <b>14,916.00</b>
139079	4/23/2025	10510 AMAZON WEB SERVICES, INC	2115984217		AMAZON CLOUD SERVICES Total :	100.00 <b>100.00</b>
139080	4/23/2025	11445 AMERICAN MESSAGING	L1072898ZD		FD PAGER SERVICE Total :	219.39 <b>219.39</b>
139081	4/23/2025	15380 ANDERSON, MARK	2503		INSTRUCTOR PAYMENT Total :	192.00 <b>192.00</b>
139082	4/23/2025	10412 AT&T	000023219933		TELEPHONE Total :	927.80 <b>927.80</b>
139083	4/23/2025	10516 AWARDS BY NAVAJO	0325173	54834	NAMETAGS Total :	35.56 <b>35.56</b>
139084	4/23/2025	14306 AZTEC LANDSCAPING INC	J2025	54798	FY24/25 CUSTODIAL SERVICES - P. Total :	4,972.43 <b>4,972.43</b>
139085	4/23/2025	12167 B & H PHOTO VIDEO	232858317	55190	DRONE Total :	3,140.83 <b>3,140.83</b>
139086	4/23/2025	10020 BEST BEST & KRIEGER LLP	LEGAL SVCS MARCH 25		LEGAL SERVICES MARCH 2025	93,759.19

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Voucher	Date	Vendo	r	Invoice	PO #	Description/Account	Amount
139086	4/23/2025	10020	10020 BEST BEST & KRIEGER LLP	(Continued)		Total :	93,759.19
139087	4/23/2025	15608	BINGHAM ELECTRIC SD	10191		DEVELOPER DEPOSIT REFUND Total :	245.80 <b>245.80</b>
139088	4/23/2025	10022	BRAUN NORTHWEST INC	40094	54837	VEHICLE REPAIR PARTS Total :	819.67 <b>819.67</b>
139089	4/23/2025	10024	BUSINESS PRINTING COMPANY INC	152104	55216	CITATION BOOKLETS Total :	1,595.67 <b>1,595.67</b>
139090	4/23/2025	13990	C.P. RICHARDS SIGNS, INC.	66390	55211	AMBULANCE REMOUNT GRAPHIC: Total :	3,396.85 <b>3,396.85</b>
139091	4/23/2025	10478	CALIFORNIA DEPARTMENT OF	USE TAX JAN-MAR 2025		USE TAX JANUARY - MARCH 2025 Total :	1,341.00 <b>1,341.00</b>
139092	4/23/2025	10876	CANON SOLUTIONS AMERICA INC	4040943456	54839	PLOTTER MAINTENANCE & USAGE Total :	166.99 <b>166.99</b>
139093	4/23/2025	11402	CARROLL, JUDI	05012025-96		MEADOWBROOK HARDSHIP PROC Total :	147.64 <b>147.64</b>
139094	4/23/2025	10030	CASCADE FIRE EQUIPMENT CO INC	INV17283	55164	FIREFIGHTING EQUIPMENT Total :	4,456.54 <b>4,456.54</b>
139095	4/23/2025	10031	CDW GOVERNMENT LLC	AD49N3M	55183	COMPUTER SOFTWARE Total :	18,217.23 <b>18,217.23</b>
139096	4/23/2025	10032	CINTAS CORPORATION 694	4226074880	54844	MISC FLEET SHOP RENTALS Total :	74.14 <b>74.14</b>
139097	4/23/2025	11409	CLAYTON, SYLVIA	05012025-340		MEADOWBROOK HARDSHIP PROC Total :	154.50 <b>154.50</b>
139098	4/23/2025	15152	COAR DESIGN GROUP	22779	54666	NEW FIRE STATION CITY OPERATI Total :	31,745.00 <b>31,745.00</b>
139099	4/23/2025	12153	CORODATA RECORDS	RS7074749	54996	RECORD STORAGE, RETRIEVAL&D	787.68

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
139099	4/23/2025	12153 12153 CORODATA RECORDS	(Continued)		Total :	787.68
139100	4/23/2025	10171 COUNTY OF SAN DIEGO AUDITOR &	03/2025 DMV REVENUE 03/2025 AGENCY REV 03/2025 PHOENIX REV		03/2025 DMV PARK CITE REPT 03/2025 AGENCY PARK CITE REPT 03/2025 PHOENIX CITE REV REPT Total :	403.50 396.25 922.25 <b>1,722.00</b>
139101	4/23/2025	10358 COUNTY OF SAN DIEGO	25CTOFSAN09	54987	SHERIFF RADIOS Total :	2,714.00 <b>2,714.00</b>
139102	4/23/2025	10333 COX COMMUNICATIONS	052335901; APR25		8950 COTTONWOOD AVE Total :	198.37 <b>198.37</b>
139103	4/23/2025	15605 CRIMS, MARY	ACID 20564R		REFUND - AMBULANCE BILLING Total :	200.00 <b>200.00</b>
139104	4/23/2025	12655 DELL MARKETING LP	10804268351	55204	MONTHLY WEBSITE HOSTING FEE Total :	430.70 <b>430.70</b>
139105	4/23/2025	14930 DISABILITY ACCESS	25-077	54318	DISABILITY ACCESS CONSULTANT: Total :	1,127.50 <b>1,127.50</b>
139106	4/23/2025	11017 DIVISION OF THE STATE	AB1379 JAN-MAR 2025		AB1379 JAN-MAR 2025 Total :	299.60 <b>299.60</b>
139107	4/23/2025	11295 DOKKEN ENGINEERING	46086	52440	CUYAMACA RIGHT TURN POCKET Total :	380.00 <b>380.00</b>
139108	4/23/2025	15438 DONATI, ALEXANDRA	1502199		EMPLOYEE REIMBURSEMENT Total :	139.00 <b>139.00</b>
139109	4/23/2025	13582 DOWNSTREAM SERVICES INC	184317	55150	MAST PARK STORMWATER INTER( Total:	11,048.30 <b>11,048.30</b>
139110	4/23/2025	10051 EFR ENVIRONMENTAL SERVICES INC	90918-25	55165	HAZARDOUS WASTE DISPOSAL Total :	907.30 <b>907.30</b>
139111	4/23/2025	12593 ELLISON WILSON ADVOCACY, LLC	2025-04-07	54917	LEGISLATIVE ADVOCACY SERVICE	1,500.00

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
139111	4/23/2025	12593 12593 ELLISON WILSON ADVOCAC	Y, LLC (Continued)		Total :	1,500.00
139112	4/23/2025	11929 ENGINEERING NEWS RECORD	1107018177-25		ENR ANNUAL SUBSCRIPTION RENI Total :	149.99 <b>149.99</b>
139113	4/23/2025	15446 FOCUS PSYCHOLOGICAL SERVICE	INV103002 INV103468 INV103718	55213 55213 55213	PSYCHOLOGICAL SERVICES PSYCHOLOGICAL SERVICES PSYCHOLOGICAL SERVICES Total :	800.00 800.00 800.00 <b>2,400.00</b>
139114	4/23/2025	10202 FURTADO, DANIEL	2011449-F1		WEARING APPAREL Total :	200.00 <b>200.00</b>
139115	4/23/2025	10490 HARRIS & ASSOCIATES INC	66724	55159	PROFESSIONAL SVS - FANITA RAN Total :	9,261.25 <b>9,261.25</b>
139116	4/23/2025	11196 HD SUPPLY FACILITIES	9235690078	55060	FACILITIES MAINTENANCE SUPPLI Total :	505.43 <b>505.43</b>
139117	4/23/2025	10272 JENKINS, CARROLL	04162025		RETIREE HEALTH INSURANCE Total :	1,963.88 <b>1,963.88</b>
139118	4/23/2025	14956 JET ADVERTISING LLC	12522	54953	WEBSITE CONSULTANT Total :	1,050.00 <b>1,050.00</b>
139119	4/23/2025	10545 KIRK'S RADIATOR & AUTO AC INC	46286	54889	VEHICLE REPAIR Total :	1,548.97 <b>1,548.97</b>
139120	4/23/2025	11009 KNN PUBLIC FINANCE	3721		FILING CONTINUING DISCLOSURE Total:	500.00 <b>500.00</b>
139121	4/23/2025	10997 LAKESIDE FIRE PROTECTION	033125CB 3/31/24		FY25 Q3 CLERK OF THE BOARD FY25 Q3 RECONCILIATION & DISTF Total :	3,285.00 1,165,749.59 <b>1,169,034.59</b>
139122	4/23/2025	11783 MINTO, JOHN	04102025JM		PER DIEM - LEAGUE CITY LEADER: Total :	320.00 <b>320.00</b>

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Voucher	Date	Vendor	Invoice	<u>PO #</u>	Description/Account	Amount
139123	4/23/2025	12604 MSDSONLINE, INC.	322825	55207	VELOCITY EHS Total :	3,348.37 <b>3,348.37</b>
139124	4/23/2025	10620 NATIONAL RECREATION AND PARK	77868		NEPA ANNUAL MEMBERSHIP Total :	900.00 <b>900.00</b>
139125	4/23/2025	15609 NATIONAL SECURITY SYSTEM	10229		BUSINESS LICENSE REFUND Total :	108.76 <b>108.76</b>
139126	4/23/2025	10344 PADRE DAM MUNICIPAL WATER DIST	90000367; APR25		GROUP BILL Total :	13,573.02 <b>13,573.02</b>
139127	4/23/2025	14614 PARADIGM MECHANICAL CORP	110222 7014 7015 7018	54821 54821 54821 54821	HVAC MAINT & REPAIRS HVAC MAINT & REPAIRS HVAC MAINT & REPAIRS FY24/25 HVAC MAINT & REPAIRS <b>Total :</b>	175.66 133.66 267.32 118.82 <b>695.46</b>
139128	4/23/2025	11442 PATTERSON, EDWARD	05012025-225		MEADOWBROOK HARDSHIP PROC Total :	142.45 <b>142.45</b>
139129	4/23/2025	10093 PLAYPOWER LT FARMINGTON INC	1400293400	55171	BLUE WHALE PLAYGROUND REPL Total :	1,230.24 <b>1,230.24</b>
139130	4/23/2025	15140 PRECISION GARAGE DOOR SERVICE	115375776	55032	BAY DOOR REPLACEMENTS - FIRE Total :	34,843.49 <b>34,843.49</b>
139131	4/23/2025	12062 PURETEC INDUSTRIAL WATER	2283637 2283638 2283639	55043 55043 55042	DEIONIZED WATER SERVICE DEIONIZED WATER SERVICE DEIONIZED WATER SERVICE - PSC Total :	25.05 49.72 16.70 <b>91.47</b>
139132	4/23/2025	15393 REC CONSULTANTS INC	1951-3	55079	PLAN REVIEW - AUBREY GLEN Total :	3,400.00 <b>3,400.00</b>
139133	4/23/2025	14539 ROGERS ANDERSON MALODY & SCOTT	77339	54867	FY 24/25 AUDIT SERVICES Total :	10,420.00 <b>10,420.00</b>

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#### Voucher List CITY OF SANTEE

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
139134	4/23/2025	10606 SD COUNTY SHERIFF'S DEPT	02/2025 SHERIFF		02/2025 LAW ENFORCEMENT Total :	1,465,465.02 <b>1,465,465.02</b>
139135	4/23/2025	13061 SAN DIEGO HUMANE SOCIETY &	APR-25	54959	ANIMAL CONTROL SERVICES Total :	38,674.00 <b>38,674.00</b>
139136	4/23/2025	15020 SHARP COMMUNITY MEDICAL GRP	ACID 13922		REFUND - AMBULANCE BILLING Total :	529.04 <b>529.04</b>
139137	4/23/2025	12223 SITEONE LANDSCAPE SUPPLY LLC	149861144-001 150241573-001 151012996-001 151013295-001 151966459-001	54925 54925 54925 54925 54925 54925	IRRIGATION PARTS IRRIGATION PARTS IRRIGATION PARTS IRRIGATION PARTS IRRIGATION PARTS Total :	1,700.68 314.90 1,646.08 557.86 1,185.16 <b>5,404.68</b>
139138	4/23/2025	11910 SPECTRUM GAS PRODUCTS	00873352 00873353	55028 55028	OXYGEN CYLINDER RENTAL OXYGEN CYLINDER RENTAL Total :	173.60 97.65 <b>271.25</b>
139139	4/23/2025	14240 SPICER CONSULTING GROUP	1860	55161	ASSMNT ENG & CFD SVCS FY 24-2 Total :	2,818.83 <b>2,818.83</b>
139140	4/23/2025	11403 ST JOHN, LYNNE	05012025-78		MEADOWBROOK HARDSHIP PROC Total :	147.93 <b>147.93</b>
139141	4/23/2025	10217 STAPLES ADVANTAGE	6028423996	54870	OFFICE SUPPLIES - P&B, E Total :	94.71 <b>94.71</b>
139142	4/23/2025	10027 STATE OF CALIFORNIA	808025		FINGERPRINT APPS Total:	192.00 <b>192.00</b>
139143	4/23/2025	10119 STEVEN SMITH LANDSCAPE INC	3252 3269 3272 3273 3297 3299	54812 54812 54812 54901 54812 54901	A 1 LANDSCAPE SERVICES A 1 LANDSCAPE SERVICES A 1 LANDSCAPE SERVICES A 3 LANDSCAPE SERVICES A 1 LANDSCAPE SERVICES A 3 LANDSCAPE SERVICES	435.44 544.30 435.44 1,430.00 59,925.88 13,712.00

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#### Voucher List CITY OF SANTEE

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
139143	4/23/2025	10119 STEVEN SMITH LANDSCAPE INC	(Continued) 3348 3389 3397 3399	54901 54812 54812 54901	A 3 LANDSCAPE SERVICES A 1 LANDSCAPE SERVICES A 1 LANDSCAPE SERVICES A 3 LANDSCAPE SERVICES Total :	672.00 464.48 59,925.88 14,216.00 <b>151,761.42</b>
139144	4/23/2025	14187 SUPERIOR CLEANING	25696		EQUIPMENT REPAIR Total :	868.75 <b>868.75</b>
139145	4/23/2025	10250 THE EAST COUNTY	151553		PUBLIC NOTICE Total :	171.50 <b>171.50</b>
139146	4/23/2025	10515 THE SAN DIEGO UNION - TRIBUNE	0613773		NOTICE AND SUMMARY OF ORDIN. Total :	382.16 <b>382.16</b>
139147	4/23/2025	10133 UNDERGROUND SERVICE ALERT	24-253353 320250704	54871 54871	DIG ALERTS - STATE FEE DIG ALERT - MONTHLY TICKETS Total :	53.60 126.55 <b>180.15</b>
139148	4/23/2025	11305 VELOCITY TRUCK CENTERS	RA290039250	55179	EMERGENCY REPAIR Total:	16,506.82 <b>16,506.82</b>
139149	4/23/2025	14868 YOGATREX	133		WELLNESS Total :	150.00 <b>150.00</b>
139150	4/23/2025	15603 YOUSIF, RITA	2005016.001		CUSTOMER REFUND Total:	6.91 <b>6.91</b>
7	76 Vouchers f	or bank code : ubgen			Bank total :	3,148,206.85
7	76 Vouchers i	n this report			Total vouchers :	3,148,206.85

vchlist 04/23/2025	11:43:09AM	Voucher List CITY OF SANTEE	F	Page 28
Bank code :	ubgen			

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
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		4.2	3.25				
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Bank code :	ubgen					
Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
1 <b>7</b> 00	4/30/2025	10955 DEPARTMENT OF THE TREASURY	PPE 4/23/25		FEDERAL WITHHOLDING TAX Total:	161,977.35 <b>161,977.35</b>
1704	4/30/2025	0 10956 FRANCHISE TAX BOARD	PPE 4/23/25		CA STATE TAX WITHHELD Total :	50,562.48 <b>50,562.48</b>
2	2 Vouchers	for bank code : ubgen			Bank total :	212,539.83
2	2 Vouchers	in this report			Total vouchers :	212,539.83

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#### Voucher List CITY OF SANTEE

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
139151	4/30/2025	11139 ACE UNIFORMS, LLC - SAN DIEGO	SD0207541 SD0209533 SD0210535 SD211308	54990 54990 54990 54990	WEARING APPAREL WEARING APPAREL WEARING APPAREL WEARING APPAREL <b>Total</b> :	19.63 77.05 410.65 23.21 <b>530.54</b>
139152	4/30/2025	14800 ADVANCE AUTO PARTS	3717428221887	54827	VEHICLE SUPPLIES Total :	296.30 <b>296.30</b>
139153	4/30/2025	10412 AT&T	301053963; MAY25		MAST PARK Total :	165.14 <b>165.14</b>
139154	4/30/2025	15604 BANUELOS, EMILIO	107945		WEARING APPAREL Total :	200.00 <b>200.00</b>
139155	4/30/2025	13292 BORDER RECAPPING LLC	25-0251501-008	54818	EQUIPMENT REPAIR Total:	38.78 <b>38.78</b>
139156	4/30/2025	11399 CABLE PIPE & LEAK DETECTION	939570	54951	AS-NEEDED LEAK DETECTION Total :	1,325.00 <b>1,325.00</b>
139157	4/30/2025	10032 CINTAS CORPORATION 694	4226624243	54844	MISC FLEET SHOP RENTALS Total :	90.78 <b>90.78</b>
139158	4/30/2025	12328 CINTAS CORP. #2	5263806303	55039	FIRST-AID KIT SERVICE Total :	310.58 <b>310.58</b>
139159	4/30/2025	11862 CORODATA SHREDDING INC	DN1516228		CORODATA SHREDDING Total :	55.20 <b>55.20</b>
139160	4/30/2025	10358 COUNTY OF SAN DIEGO	25CTOFSASN09	54908	800 MHZ ACCESS FEES Total :	2,242.00 <b>2,242.00</b>
139161	4/30/2025	10486 COUNTY OF SAN DIEGO	04032025 202500314		NOE - CITYWIDE SLURRY SEAL AN RECORDED DOCUMENT - TERMIN/ Total :	50.00 17.00 <b>67.00</b>

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#### Voucher List CITY OF SANTEE

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
139162	4/30/2025	10333 COX COMMUNICATIONS	063453006; APR25 064114701; APR25 112256001; APR25		9534 VIA ZAPADOR 8115 ARLETTE ST 9130 CARLTON OAKS DR Total :	98.47 194.81 97.72 <b>391.00</b>
139163	4/30/2025	10142 CSA SAN DIEGO COUNTY	922	54963	CDBG SUBRECIPIENT QUARTER 3 Total :	9,927.00 <b>9,927.00</b>
139164	4/30/2025	14675 EAST COUNTY TRANSITIONAL	20250404C	54681	ARPA FUNDED SHELTER SERVICE: Total :	8,460.00 <b>8,460.00</b>
139165	4/30/2025	10054 ELDERHELP OF SAN DIEGO	04-08-25	54983	CDBG SUBRECIPIENT Total :	1,382.07 <b>1,382.07</b>
139166	4/30/2025	10251 FEDERAL EXPRESS	8-842-29823		FEDEX SHIPPING CHARGES Total :	55.37 <b>55.37</b>
139167	4/30/2025	12271 FERNO WASHINGTON INC	952995	55196	VEHICLE EQUIPMENT Total :	6,450.08 <b>6,450.08</b>
139168	4/30/2025	15446 FOCUS PSYCHOLOGICAL SERVICE	INV104036	55213	PSYCHOLOGICAL SERVICES Total :	800.00 <b>800.00</b>
139169	4/30/2025	15433 GENERAL CODE LLC	40466	55077	MUNICIPAL CODE CODIFICATION Total :	1,248.50 <b>1,248.50</b>
139170	4/30/2025	12495 GROSSMONT UNION	AR018852	54945	SCHOOL RESOURCE OFFICERS Total :	55,995.00 <b>55,995.00</b>
139171	4/30/2025	15274 H2O DEPOT LLC	1170	55220	WATER FOR EVENT Total :	1,562.50 <b>1,562.50</b>
139172	4/30/2025	15247 HAYS, ERIC	59540D		EMPLOYEE REIMBURSEMENT Total :	160.74 <b>160.74</b>
139173	4/30/2025	11196 HD SUPPLY FACILITIES	9234693053 9234708671	54803 54803	STATION SUPPLIES STATION SUPPLIES	144.48 262.03

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#### Voucher List CITY OF SANTEE

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
139173	4/30/2025	11196 HD SUPPLY FACILITIES	(Continued)		Total :	406.51
139174	4/30/2025	14785 HEARTLAND FIRE	SNT0225		CSTI HAZMAT COURSE Total :	175.00 <b>175.00</b>
139175	4/30/2025	14459 HMC ARCHITECTS	179076	53747	SANTEE COMMUNITY CENTER CIP Total :	19,026.50 <b>19,026.50</b>
139176	4/30/2025	14833 INTERWEST CONSULTING GROUP	657310 770225		PLAN REVIEW PLAN REVIEW Total :	125.00 250.00 <b>375.00</b>
139177	4/30/2025	15316 JD ANIMAL REMOVAL INC	1858	54805	DEAD ANIMAL REMOVAL SERVICE Total :	1,440.00 <b>1,440.00</b>
139178	4/30/2025	14229 JOBSITE SUPPLY CO	85888400	54858	CIP SUPPLIES Total :	136.28 <b>136.28</b>
139179	4/30/2025	14249 KEMP, BARRETT	P39974		EMPLOYEE REIMBURSEMENT Total :	250.00 <b>250.00</b>
139180	4/30/2025	10204 LIFE ASSIST INC	1583485 1587223 1587354 1587976 1587977	54807 54807 54807 54807 54807	EMS SUPPLIES EMS SUPPLIES EMS SUPPLIES EMS SUPPLIES EMS SUPPLIES Total :	18.21 1,135.92 3,334.72 870.92 130.11 <b>5,489.88</b>
139181	4/30/2025	10538 MEALS ON WHEELS	3-24-25	54965	CDBG SUBRECIPIENT Total :	1,383.25 <b>1,383.25</b>
139182	4/30/2025	15299 MOSS, JOSEPH	ACID 10172 ACID 10872		REFUND - AMBULANCE BILLING REFUND - AMBULANCE BILLING Total :	190.00 190.00 <b>380.00</b>
139183	4/30/2025	14759 MSC INDUSTRIAL SUPPLY CO.	88730489	55197	COLD PATCH Total :	6,710.67 <b>6,710.67</b>

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#### Voucher List CITY OF SANTEE

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
139184	4/30/2025	10083 MUNICIPAL EMERGENCY SERVICES L	IN2238757	54862	SAFETY APPAREL Total :	758.67 <b>758.67</b>
139185	4/30/2025	14152 MYSTERY RANCH	IN229542	54891	FIREFIGHTING EQUIPMENT Total :	498.88 <b>498.88</b>
139186	4/30/2025	10218 OFFICE DEPOT	416828982001		OFFICE SUPPLIES Total :	209.99 <b>209.99</b>
139187	4/30/2025	10308 O'REILLY AUTO PARTS	2968-278796	54864	VEHICLE SUPPLIES Total :	51.70 <b>51.70</b>
139188	4/30/2025	15425 RENEWELL FLEET SERVICE LLC	3413 3580 5397	55073 55073 55073	VEHICLE REPAIR PARTS VEHICLE REPAIR PART VEHICLE REPAIR PART Total :	1,291.72 871.03 91.16 <b>2,253.91</b>
139189	4/30/2025	10407 SAN DIEGO GAS & ELECTRIC	04229703218; APR25 22373580042; APR25 34223805628; APR25 43940205509; APR25 79900685777; APR25 85097421694; APR25		STREET LIGHTS TRAFFIC SIGNALS ROW / MEDIANS (GAS) LMD BALLFIELDS; FACILITIES; PARKS CITY HALL GROUP BILL Total :	47,718.21 7,855.47 261.51 1,956.02 18,874.62 8,771.43 <b>85,437.26</b>
139190	4/30/2025	15588 SAN DIEGO PACE	ACID 12084		REFUND - AMBULANCE BILLING Total :	643.28 <b>643.28</b>
139191	4/30/2025	10110 SECTRAN SECURITY INC	25040623	54924	FY 24/25 ARMORED CAR TRANSPC Total :	180.24 <b>180.24</b>
139192	4/30/2025	13206 SHARP BUSINESS SYSTEMS	9005283390	54984	SHARP COPY 2025.04+01-03 Total :	3,676.79 <b>3,676.79</b>
139193	4/30/2025	14495 SOCAL TRUCK ACCESSORIES & EQU	INV-47901	55185	V225 OUTFITTING Total :	6,948.89 <b>6,948.89</b>
139194	4/30/2025	10217 STAPLES ADVANTAGE	6028535850	55122	FY 24/25 OFFICE SUPPLIES	102.42

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#### Voucher List CITY OF SANTEE

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Voucher	Date	Vendor	Invoice	<u>P0 #</u>	Description/Account	Amount
139194	4/30/2025	10217 10217 STAPLES ADVANTAGE	(Continued)		Total :	102.42
139195	4/30/2025	10119 STEVEN SMITH LANDSCAPE INC	3442	54812	A 1 LANDSCAPE SERVICES Total :	2,482.13 <b>2,482.13</b>
139196	4/30/2025	10250 THE EAST COUNTY	00151894		NOTICE OF PH - REVIEW DRAFT 2( Total :	252.00 <b>252.00</b>
139197	4/30/2025	14354 TRILOGY MEDWASTE WEST, LLC	1717874 1717875	54913 54913	BIOMEDICAL WASTE DISPOSAL BIOMEDICAL WASTE DISPOSAL Total :	237.27 237.16 <b>474.43</b>
139198	4/30/2025	11112 ULINE	191236571	55223	FACILITY SUPPLIES Total :	1,248.49 <b>1,248.49</b>
139199	4/30/2025	11305 VELOCITY TRUCK CENTERS	XA290222837:01 XA290222837:02	54903 54903	VEHICLE REPAIR PARTS VEHICLE REPAIR PART Total :	112.05 85.11 <b>197.16</b>
139200	4/30/2025	10475 VERIZON WIRELESS	6110694196		CELL PHONE SERVICE Total:	559.13 <b>559.13</b>
139201		10136 WEST COAST ARBORISTS INC 10148 WESTAIR GASES EQUIPMENT INC	224204 224732 225343 225344 225999 226000 226001 226439 226635 226635 226636	54816 54816 54816 54816 54816 54816 54816 54816 54816	URBAN FORESTRY MANAGEMENT URBAN FORESTRY MANAGEMENT Total :	3,000.00 1,520.10 25,283.85 4,518.08 4,891.80 6,249.30 3,107.76 6,105.34 3,800.25 1,689.00 <b>60,165.48</b>
139202	4/30/2025	10148 WESTAIR GASES EQUIPMENT INC	0012006267	54872	SHOP SUPPLIES Total :	368.78 <b>368.78</b>
139203	4/30/2025	11229 WESTERN MOWER AND ENGINE	141970	55200	TORO EQUIPMENT	64,686.51

#### vchlist 04/30/2025 1:27:56PM

#### Voucher List CITY OF SANTEE

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Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
139203	4/30/2025	11229 WESTERN MOWER AND END	GINE (Continued)		Total :	64,686.51
139204	4/30/2025	10537 WETMORE'S	06P107018	54905	VEHICLE REPAIR PART Total :	125.66 <b>125.66</b>
139205	4/30/2025	10318 ZOLL MEDICAL CORPORATION	4172056 4176802	54817 54817	EMS SUPPLIES EMS SUPPLIES Total :	1,502.92 929.49 <b>2,432.41</b>
5	5 Vouchers f	for bank code : ubgen			Bank total :	361,280.88
5	5 Vouchers i	n this report			Total vouchers :	361,280.88

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Prepared by:	Trucks
Date:	4.30.20
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PyBatch 04/29/2025	8:30:32AM				Payroll Proce CITY OF S						Page	e 36
					4/10/2025 to 4/2	3/2025-1 Cycle	b					
	EARNING	SS SECTION		DEDUCTIONS SECTION				LEAVE SECTION				
Туре	Hours/units	Rate	Amount Src	Plan	Base Wages	Deduction	Benefit/Cont	LvPlan	Accrued	Taken	Banked	Lost
				sb-1		91.14						
				sb-3		73.44						
				sffa		3,717.12						
				sffapc		1,059.36						
				st1cs3	86,576.35	2,597.29	-2,597.29					
				st2cs3	15,934.38	478.03	-478.03					
				texlif		249.71						
				vaccpr		758.00						
				vaccpt		195.37						
				vcanpr		441.02						
				vcanpt		145.05						
				vgcipt		68.63						
				vghipr		31.12						
				vision	19,210.65	636.08						
				voladd		17.55						
				voldis		205.72						
				vollad			145.88					
				vollif		145.90						
Grand – Totals	17,014.63		993,471.65		-	396,856.91	355,436.84		Gross: Net:	993,471.65 596,614.74		

<< No Errors / 15 Warnings >>

E Bull 4/29/25 PPE 4/23/25 Paxdak 5/1/25

# Payroll Processing Report

# PyBatch

PyBatch 05/05/2025	9:10:48AM				-	essing Repor SANTEE 1/2025-1 Cvcl				Page 3	7
t III	EARNIN	GS SECTION				NS SECTION		_	LEAV	E SECTION	
Туре	Hours/units	Rate	Amount Src	Plan	Base Wages	Deduction	Benefit/Cont	LvPlan_	Accrued	Taken Banked	Lost
Grand Totals	S		5,460.00	Employees: catax fedtax	<b>30</b> 5,460.00 5,460.00	46.00 211.00					
- Grand Totals	0.00	_	5,460.00			257.00	0.00		Gross: Net:	5,460.00 5,203.00	

CB 5/5/25 5/31/25 Pay Period End 5/1/25 Pay dete 5/1/25

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#### Voucher List CITY OF SANTEE

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
139206	5/1/2025	12724 AMERICAN FIDELITY ASSURANCE	D840213		VOLUNTARY LIFE INS-AM FIDELITY Total :	5,156.72 <b>5,156.72</b>
139207	5/1/2025	12903 AMERICAN FIDELITY ASSURANCE CO	2535880B		FLEXIBLE SPENDING ACCOUNT Total :	3,046.15 <b>3,046.15</b>
139208	5/1/2025	10334 CHLIC	3533547		MEDICAL AND DENTAL INSURANCE Total :	272,665.62 <b>272,665.62</b>
139209	5/1/2025	10844 FRANCHISE TAX BOARD	PPE 4/23/25		WITHHOLDING ORDER Total :	186.70 <b>186.70</b>
139210	5/1/2025	14458 METROPOLITAN LIFE INSURANCE	85459202 Ben100136		VOLUNTARY LEGAL DENTAL PAY BACK MISC EE: PAYM Total :	735.00 0.00 <b>735.00</b>
139211	5/1/2025	10784 NATIONAL UNION FIRE INSURANCE	March 2025		VOLUNTARY AD&D Total :	35.05 <b>35.05</b>
139212	5/1/2025	10785 RELIANCE STANDARD LIFE	May 2025		VOLUNTARY LIFE INSURANCE Total :	291.78 <b>291.78</b>
139213	5/1/2025	10424 SANTEE FIREFIGHTERS	PPE 4/23/25		DUES/PEC/BENEVOLENT/BC EXP Total :	4,920.68 <b>4,920.68</b>
139214	5/1/2025	10776 STATE OF CALIFORNIA	PPE 4/23/25 PPE 4/23/25		WITHHOLDING ORDER WITHHOLDING ORDER Total :	260.30 449.53 <b>709.83</b>
139215	5/1/2025	10001 US BANK	PPE 4/23/25		PARS RETIREMENT Total :	1,316.84 <b>1,316.84</b>
139216	5/1/2025	14600 WASHINGTON STATE SUPPORT	PPE 4/23/25		WITHHOLDING ORDER Total :	641.53 <b>641.53</b>
	11 Vouchers	for bank code : ubgen			Bank total :	289,705.90

vchlist 05/01/2025	9:20:15AM	Voucher List CITY OF SANTEE		Page	39
Bank code :	ubgen				
Voucher	Date Vendor	Invoice	<u>PO #</u>	Description/Account	Amount
11	Vouchers in this report			Total vouchers :	289,705.90

Prepared by: Juck
Date: 5.1.2
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Approved by: But
Date: 5-7-25

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Bank code :	ubgen						
Voucher	Date	Vendor	Invoice	PO #	Description/Account		Amount
6169488	5/2/2025	14705 RHS MISSIONSQUARE	PPE 4/23/25		RETIREE HSA	Total :	5,537.35 <b>5,537.35</b>
6214832	5/2/2025	14704 457 MISSIONSQUARE	PPE 4/23/25		ICMA - 457	Total :	93,187.12 <b>93,187.12</b>
2	Vouchers	for bank code : ubgen				Bank total :	98,724.47

2 Vouchers in this report

Prepared by: Date: F Approved by: Date:

Total vouchers :

98,724.47

vchlist 05/06/2025 10:15:43AM		Voucher L CITY OF SAM			Page 41		
Bank code :	ubgen						
Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
4254	5/6/2025	10353 PERS		04 25 4		RETIREMENT PAYMENT Total :	165,061.91 <b>165,061.91</b>
1	Vouchers	for bank code :	ubgen			Bank total :	165,061.91
1	Vouchers	in this report				Total vouchers :	165,061.91

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<< No Errors / 1 Warning >>

EB 5/6/25 PRE 5/1/25 Pay date 5/8/25



MEETING DATE May 14, 2025

ITEM TITLE RESOLUTIONS APPROVING THE ENGINEER'S REPORT, AND DECLARING THE CITY COUNCIL'S INTENTION TO LEVY ASSESSMENTS AND SETTING A PUBLIC HEARING FOR THE FY 2025-26 <u>SANTEE LANDSCAPE</u> MAINTENANCE DISTRICT ANNUAL LEVY OF ASSESSMENTS

# DIRECTOR/DEPARTMENT Heather Jennings, Finance

# SUMMARY

Santee Landscape Maintenance District ("SLMD") is a City-wide district and is comprised of 18 zones, ten of which are assessed and maintained by the City. A combination of contract maintenance and City forces maintain the zones. Maps depicting each zone and the areas of maintenance are attached.

The City Council is required to take three distinct steps in order to proceed with the annual levy of assessments. The first step was taken on April 23, 2025, when the City Council formally initiated proceedings and directed the preparation of an engineer's report, analyzing existing and proposed improvements to the District. The second step, which will be taken this evening, requires the City Council to take formal action to either approve or modify and approve the proposed engineer's report, declare its intention to provide for the annual levy of assessments and provide notice of a public hearing. Finally, on July 9, 2025, the City Council will take the final step and hold the public hearing and provide for the annual levy of assessments.

The attached Assessment Summary reflects SLMD assessments and costs for FY 2025-26. The assessment for Zone 1- El Nopal Estates reflects a 2.77% CPI increase from \$258.00 to \$265.15. All other zones will have the same assessments in FY 2025-26 as they had last fiscal year. Due to inflationary cost increases, FY 2025-26 Maintenance and Administration budgets will exceed FY 2025-26 assessment revenues in all but three of the ten maintenance zones in the District. Zones 8, 9, 13, and 14 are currently being assessed at the maximum approved assessment amount allowed and are therefore expected to operate at a deficit. In Zones 17 and 18, there are sufficient reserves to cover expected deficits, therefore, there is no need to increase assessments at this time.

# FINANCIAL STATEMENT

A total of \$116,066 is proposed to be assessed on property owners within ten existing zones of SLMD in FY 2025-26 for the cost of maintenance and administration.

## CITY ATTORNEY REVIEW DN/A • Completed

# RECOMMENDATION

Adopt two Resolutions: 1) Approving the engineer's report, and 2) Declaring intention to levy assessments and setting a public hearing for July 9, 2025.

# ATTACHMENT

Assessment Summary and Resolutions (Preliminary Engineer's Report and Assessment Diagrams)



#### FY 2025-26 SANTEE LANDSCAPE MAINTENANCE DISTRICT ASSESSMENT SUMMARY FOR ZONES PROPOSED TO BE ASSESSED

ZONE	ZONE NAME	NUMBER OF UNITS	FY 2025-26 MAINTENANCE & ADMINISTRATION	RESERVES 7/1/25	FY 2025-26 TOTAL ASSESSMENT	FY 2025-26 ASSESSMENT RATE/UNIT	FY 2024-25 ASSESSMENT RATE/UNIT	MAXIMUM APPROVED ASSESSMENT
1	EL NOPAL ESTATES <sup>(1</sup>	45	\$ 10,450.00	\$ 7,929.00	\$ 11,932.00	\$ 265.15	\$ 258.00	\$ 265.15
3	COUNTRY SCENES	14	\$ 1,990.00	\$ 5,600.00	\$ 2,067.00	\$ 147.64	\$ 147.64	\$ 147.64
4	CAMELOT HEIGHTS	10	\$ 1,370.00	\$ 1,299.00	\$ 1,385.00	\$ 138.50	\$ 138.50	\$ 138.50
8	SILVER COUNTRY ESTATES	153	\$ 76,510.00	\$88,457.00	\$ 75,735.00	\$ 495.00	\$ 495.00	\$ 495.00
9	MATTAZARO/ TIMBERLANE	34	\$ 2,120.00	\$ 585.00	\$ 1,529.00	\$ 44.98	\$ 44.98	\$ 44.98
12	THE HEIGHTS	60	\$ 13,840.00	\$24,666.00	\$ 8,757.00	\$ 145.95	\$ 145.95	\$ 375.00
13	PROSPECT HILLS	43	\$ 3,800.00	\$ 485.00	\$ 3,225.00	\$ 75.00	\$ 75.00	\$ 75.00
14	MITCHELL RANCH	16	\$ 3,890.00	\$ 7,660.00	\$ 2,690.00	\$ 168.14	\$ 168.14	\$ 168.14
17	DAKOTA RANCH (2)	20	\$ 9,660.00	\$21,765.00	\$ 4,826.00	\$ 241.30	\$ 241.30	\$ 427.06
18	ALLOS (2)	6	\$ 5,020.00	\$10,866.00	\$ 3,920.00	\$ 653.34	\$ 653.34	\$ 821.24

Zone 1 - Each fiscal year, beginning Fiscal Year 2020/21, the Maximum Approved Assessment may be increased by the percentage increase calculated for the period between January of the previous calendar year and January of the current calendar year in the San Diego Consumer Price Index All Items for all Urban Consumers (CPI-U), not to exceed 3.5% per fiscal year.
 Zone 17 and Zone 18- reflect an allowable 2% increase in the maximum approved assessment for FY 2025-26.

SLMD-Attachment 1

SLMD-Attachment 2

#### **RESOLUTION NO.**

#### A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTEE, CALIFORNIA, APPROVING THE ENGINEER'S REPORT FOR THE ANNUAL LEVY OF ASSESSMENTS FOR FY 2025-26 FOR THE SANTEE LANDSCAPE MAINTENANCE DISTRICT

WHEREAS, the City Council of the City of Santee, pursuant to the provisions of "Landscaping and Lighting Act of 1972", being Division 15, Part 2 of the Streets and Highways Code of the State of California, Article XIII D of the California Constitution and the Proposition 218 Omnibus Implementation Act (commencing with California Government Code Section 53750) (collectively the "Law"), did by previous Resolution, order the preparation of an Engineer's Report for the annual levy of assessments, consisting of plans and specifications, an estimate of the costs, a diagram of the district, and an assessment of the costs relating to what is known and designated as: SANTEE LANDSCAPE MAINTENANCE DISTRICT ("District"); and,

WHEREAS, the FY 2025-26 Assessment Engineer's Report ("Report") has been presented to this City Council as required by the Law and as previously directed by Resolution; and

WHEREAS, this City Council has examined and reviewed the Report as presented, and is satisfied with each and all of the items and documents as set forth therein, and is satisfied that the assessments, on a preliminary basis, have been spread in accordance with the benefits received from the maintenance to be performed, as set forth in said Report.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Santee, California, as follows:

- **SECTION 1.** That the above recitals are all true and correct.
- **SECTION 2.** That the Report as presented, consisting of:
  - A. plans and specifications of the maintenance of the improvements to be performed;
  - B. estimates of the cost of the maintenance of the improvements to be performed, including the cost of incidental expenses in connection therewith, and including that portion of the costs and expenses representing the special benefit to be conferred by such maintenance of the improvements on the parcels within the District;
  - C. a diagram of the District, which shows (i) the exterior boundaries of the District; (ii) the boundaries of zones within the District; and (iii) the lines and dimensions of each parcel of land within the District; provided, however, such diagram may refer to the county assessor's maps for a detailed description of such lines and dimensions, in which case such maps shall govern for all details concerning such lines and dimensions;

#### **RESOLUTION NO.**

- D. a description of the maintenance of the improvements to be performed; and
- E. the assessment of the total amount of the costs and expenses of the maintenance of the improvements upon the several divisions of land in the District in proportion to the estimated special benefits to be conferred on such subdivisions, respectively, by such maintenance;

is hereby approved as filed, attached, and on file in the Office of the City Clerk as a permanent record and is to remain open to public inspection.

**ADOPTED** by the City Council of the City of Santee, California, at a Regular meeting thereof held this 14<sup>th</sup> day of May, 2025, by the following roll call vote to wit:

AYES:

NOES:

ABSENT:

APPROVED:

JOHN W. MINTO, MAYOR

ATTEST:

JAMES JEFFRIES, CITY CLERK

Exhibit A: Preliminary Engineer's Report



# CITY OF SANTEE

Preliminary Engineer's Report





Fiscal Year 2025-26

Santee Landscape Maintenance District

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- Appendix B Assessment Rolls
- Appendix C Assessment Diagrams
- Appendix D Capital Improvement Projects



# AGENCY: CITY OF SANTEE PROJECT: SANTEE LANDSCAPING MAINTENANCE DISTRICT TO: CITY COUNCIL CITY OF SANTEE STATE OF CALIFORNIA

#### REPORT PURSUANT TO "LANDSCAPING AND LIGHTING ACT OF 1972"

Pursuant to direction from the City Council (the "City Council") of the City of Santee (the "City"), State of California, submitted herewith is the Engineer's Report for Santee Landscaping Maintenance District (the "Report"), consisting of the following parts, pursuant to the provisions of Division 15, Part 2 of the Streets and Highways Code of the State of California, being the "Landscaping and Lighting Act of 1972", as amended, commencing with Section 22500, and which is in accordance with Resolution No. 041-2025 adopted by the City of Santee City Council, San Diego County, California ordering preparation of the Report for Santee Landscaping Maintenance District (the "SLMD" or the "District"). This Report is applicable for the ensuing 12-month period, being the Fiscal Year commencing July 1, 2025, to June 30, 2026.

- Section 1 PLANS AND SPECIFICATIONS of the improvements to be maintained and/or improved for the Fiscal Year. The plans and specifications show and describe the existing improvements, and are sufficient in showing and describing the general nature, location and extent of the improvements.
- Section 2 A COST ESTIMATE of the improvements to be maintained and/or improved for the mentioned Fiscal Year.
- Section 3 A METHOD OF APPORTIONMENT OF ASSESSMENT calculates the receipt of special benefit and the general benefit derived from the installation and maintenance and servicing of the respective improvements located throughout the District, and the methodology used to apportion the total assessment to the properties within the District.
- Section 4 ASSESSMENT ROLLS showing the proportionate amount of the assessment to be charged in proportion to the benefits to be received by each lot or parcel within the boundaries as shown on the below-referenced Diagram. The Assessment Rolls can be found in Appendix A.
- Section 5 The ASSESSMENT DIAGRAMS of the District. Said Diagrams shall show the boundaries of the District and the boundaries of any zones within the District. Reference is made to the County Assessor's Maps for a detailed description of the lines and dimensions of any lots or parcels. The lines and dimensions of each lot shall conform to those shown on the County Assessor's Maps for the Fiscal Year to which the Report applies. The Assessment Diagrams can be found in Appendix B.





#### i. Introduction

The District is comprised of 18 separate zones of maintenance. For FY 2025-26 the District will have the following Zones.

Zone	Zone Name	Tract/Map	Units	Total FY 2025-26 Assessment	Per Unit Assessment <sup>1</sup>
1	El Nopal Estates	88-04	45	\$11,931.53	\$265.15
3	Country Scenes	89-01	14	\$2,066.96	\$147.64
4	Camelot Heights	89-02	10	\$1,385.00	\$138.50
5	Mesa Heights <sup>2</sup>	88-08	44	\$0.00	\$0.00
6	Prospect Point <sup>2</sup>	89-05	9	\$0.00	\$0.00
7	Treviso <sup>2</sup>	03-01	186	\$0.00	\$0.00
8	Silver Country Estates	93-02	153	\$75,735.00	\$495.00
9	Mattazaro/Timberlane	88-07/92-03	34	\$1,529.32	\$44.98
10	Lakes West Condos <sup>2</sup>	90-02	78	\$0.00	\$0.00
11	Padre Hills <sup>3</sup>	89-04	35	\$0.00	\$0.00
12	The Heights	96-01	60	\$8,757.00	\$145.95
13	Prospect Hills	96-02	43	\$3,225.00	\$75.00
14	Mitchell Ranch	92-04	16	\$2,690.24	\$168.14
15	Vista Este <sup>2</sup>	00-03	33	\$0.00	\$0.00
16	Prospect Glen <sup>2</sup>	01-01	48	\$0.00	\$0.00
17	Dakota Ranch	01-02	20	\$4,826.00	\$241.30
18	Allos	98-02	6	\$3,920.04	\$653.34
19	Sky Ranch <sup>2</sup>	04-08	371	\$0.00	\$0.00

Ten of the existing zones – Zones 1, 3, 4, 8, 9, 12, 13, 14, 17, and 18 – will be active, and will be assessed and their improvements maintained by City or contract forces. Zones 5, 6, 7, 10, 11, 15, 16, and 19 have been annexed to the District, but have no assessment because they are responsible for their own maintenance; if not maintained to City standards, the City will assume maintenance and levy assessments. Further details are provided in the body of this Engineer's Report.

#### Background

The City Council of the City of Santee approved the formation of Santee Landscaping Maintenance District in FY 1989-90. The District was formed pursuant to the requirements of the Landscaping and Lighting Act of 1972 (the "72 Act").

The District was formed to provide a source of funds for the operation, servicing, maintenance and repair of landscaping within public streets, right-of-way, easements, and appurtenant facilities within the District. The Report sets forth the methodology to be used in apportioning the assessment to the different land use types and benefit zones within the City based upon the benefit they receive.

The original District was formed in FY 1989-90, then several "benefit zones" were annexed into the District in the following years. These benefit zones were established to ensure a source of funds for the ongoing maintenance of public landscaping which are of local benefit to the parcels within the benefit zone. Currently there are eighteen (18) Zones of Benefit that have been annexed into the District (see Appendix C – Assessment Diagrams).

Parcels within these special benefit zones are assessed their proportionate share of the cost for the maintenance of local improvements including, but not limited to, landscaping and appurtenant facilities. These improvements provide a special benefit to those parcels due to their nature and location.

<sup>&</sup>lt;sup>3</sup> Assessment not approved by property owners.



<sup>&</sup>lt;sup>1</sup> The actual assessment roll might have a minimal variance due to rounding.

<sup>&</sup>lt;sup>2</sup> Maintenance responsibilities assumed by homeowners' association or property owners.

## Effects of Proposition 218 Legislation

In November 1996, Prop 218 - the "Right to Vote on Taxes Act" – added Article XIII D to the State Constitution. The amendment created new substantive and procedural requirements for '72 Act districts. Now, when a new or increased levy is proposed for a district or a zone therein the local agency must mail a notice and "ballot" to each property owner of record affected by the new or increased assessment. The ballot procedure enables property owners to approve or disapprove the proposed new or increased assessment. The vote is determined by the weighted proportional financial obligation of the ballots returned. A "majority protest" exists if ballots submitted in opposition exceed ballots in favor of the new or increased levy. If a majority protest exists for a new assessment, the local agency cannot levy the assessment. If a majority protest exists for an increase in an existing assessment, the increase cannot be collected but, the base amount (the amount levied last fiscal year) can continue to be levied.

The '72 Act enables the governing body to adjust assessment rates as it directs at the approval stage or the public hearings. Therefore, the rates shown herein are proposed but are not confirmed until approved by the City Council. Once the Engineer's Report has been approved by the City Council, the ballots tabulated (if applicable), and the public hearing(s) completed, final assessment information will be provided to the County of San Diego for inclusion on the appropriate property tax bills.

#### **Current Annual Administration**

As required by the '72 Act, the Report includes: (1) a description of the improvements to be operated, maintained, and serviced by the District, (2) an estimated budget for the District, and (3) a listing of the proposed Fiscal Year 2025-26 assessments to be levied upon each assessable lot or parcel within the District.

The City of Santee will hold a Public Hearing on July 9, 2025, regarding the District which will provide an opportunity for any interested person to be heard. At the conclusion of the Public Hearing, the City Council may adopt a resolution confirming the assessment rates as originally proposed or as modified.

Payment of these annual assessments for each parcel will be made in the same manner and at the same time as payments are made for their annual property taxes. All funds collected through the assessments must be placed in a special fund and can only be used for the purposes stated within this Report.





#### 1. Plans and Specifications

#### District Description

The District will be divided into 18 separate zones of benefit, as described below. Dimensions of each parcel are shown on Assessor's maps located in the County of San Diego Administration Building, 1600 Pacific Highway, San Diego, CA 92101. As provided in the '72 Act, the boundaries may be adjusted in the future by annexations to this District. The boundary for each zone is depicted on the Assessment Diagrams in Appendix C.

#### Active Zones

In FY 2025-26, the SLMD consists of 18 separate zones of benefit. The 18 zones are comprised of both active and inactive zones. "Active" means the zones will have maintenance activities during FY 2025-26. Maintenance activities are comprised of both contract and City forces. The ten active zones are:

#### ZONE 1 - EL NOPAL ESTATES (TM88-04)

Assessor's Parcel Numbers (the "APNs") 381-221-10 through 381-221-42, inclusive, and 381-221-44, -45, -46, and -47, and 381-221-58 through -65, inclusive. Established in FY 1989-90, this was the first subdivision in the District and was originally comprised of two zones. Zone 2 was eliminated in FY 1997-98 because its maintenance was subsumed under Zone 1 to be consistent with current assessment district laws.

#### ZONE 3 - COUNTRY SCENES (TM89-01)

APNs 381-260-49 through 381-260-62, inclusive. This 14-unit single-family subdivision located near Conejo and Mast Blvd. was annexed in FY 1992-93.

#### ZONE 4 - CAMELOT HEIGHTS (TM89-02)

APNs 378-420-46 through 378-420-55, inclusive. Annexed in FY 1993-94, this subdivision's ten single-family homes located off Princess Joanne Rd. share maintenance costs.

#### ZONE 8 - SILVER COUNTRY ESTATES (TM93-02)

APNs 378-440-01 through -29, inclusive, 378-441-01 through -26, inclusive, 378-441-29 through -41, inclusive, 378-441-44 and -45, 378-450-01 through -20, inclusive, 378-450-22 through -53, inclusive, 378-450-55, and 381-710-01 through -30, inclusive. 153 Single-family homes make up this subdivision at the north end of Cuyamaca St. The first unit was annexed in FY 1995-96, but the improvements were not accepted so there was no assessment. Once the project was completed, property owners cast ballots regarding assessments in FY 1998-99, and the affirmative vote set an initial assessment and maximum rate.

#### ZONE 9 - TIMBERLANE/MATTAZARO (TM88-07/TM92-03)

APNs 381-690-02 through -12, inclusive, 381-690-15 through -26, inclusive, 381-690-34 through -40, inclusive, 381-690-47 through -49, inclusive, and 381-690-51. Due to their physical proximity, improvements for the 25-unit single-family home development called "Timberlane" and the nine-unit "Mattazaro" single-family home project were combined into one zone. Zone 9 had no assessment in its first year because the improvements were not accepted before the start of FY 1996-97. In FY 1997-98, improvements were accepted and an affirmative majority vote was made for the initial and maximum assessment rates.

#### ZONE 12 - THE HEIGHTS (TM96-01)

APNs 378-460-01 through -06, inclusive, 378-460-09 through -40, inclusive, 378-460-43 and -44, and 378-461-01 through -06, inclusive, 378-461-09 through -20, inclusive, and 378-460-021 and -22. Annexed in FY 1998-99, this 60-unit single-family project is at the northwest end of Magnolia Ave. Maintenance was assumed by the City in FY 2002-03. The project had affirmative assessment ballot proceedings establishing initial and maximum assessments rates.

#### ZONE 13 - PROSPECT HILLS (TM96-02)

APNs 386-680-01 through -20, inclusive. Also annexed in FY 1998-99, the 43 single-family homes off Prospect Ave. east of Holden Rd. share in the cost of landscaping fronting the project on Prospect Ave. The zone also had an affirmative assessment ballot proceedings to establish initial and maximum assessment rates.



## ZONE 14 - MITCHELL RANCH (TM92-04)

APNs 381-720-01 through -16, inclusive. This 16-unit single-family subdivision is at the southwest corner of Magnolia Ave. and El Nopal. An affirmative assessment ballot proceeding setting initial and maximum assessment rates was undertaken prior to its FY 2000-01 annexation.

#### ZONE 17 - DAKOTA RANCH (TM01-02)

APNs 378-420-56 through -75, inclusive. This 20-unit single family home development located at Dakota Ranch Rd. off Princess Joann was annexed in FY 2004-05. This zone also had affirmative assessment ballot proceedings to establish initial and maximum assessment rates.

#### *ZONE 18* – ALLOS (TM98-02)

APNs 386-280-50 through -55, inclusive. Also annexed in FY 2004-05, the six single-family homes are on Prospect Ct. adjacent to Prospect Ave. near Mesa Rd. Improvements were reduced from originally approved plans to provide a reasonable assessment. The project had affirmative assessment ballot proceedings establishing initial and maximum assessment rates.

#### Inactive Zones

Eight of the 18 zones are "inactive", i.e., there is no assessment and they are responsible for their own maintenance. These zones are:

#### ZONE 5 - MESA HEIGHTS (TM88-08)

APNs 386-670-01 through 386-670-44, inclusive. This zone was originally annexed in 1993-94. Due to the rising costs, in FY 1997-98, the Mesa Heights HOA assumed maintenance responsibilities for their 44-unit single-family subdivision's landscaped improvements.

#### ZONE 6 - PROSPECT POINT (TM89-05)

APNs 386-250-07, -11, -12, -13, -14, -17, -19, -22, and -24. Nine single-family homes comprise this zone located off Prospect Ave. This zone has had no assessments since FY 1996-97.

#### ZONE 7 - TREVISO (TM03-01)

APNs 383-061-07-01 through -28, inclusive, 383-061-08-01 through -36, inclusive, 383-061-09-01 through -32, inclusive, 383-061-10-01 through -30, inclusive, and 383-061-12-01 through -28, inclusive. Formerly commercially-zoned, the 186-unit multi-family Treviso property carries out its own maintenance, so there is no assessment.

#### ZONE 10 - LAKES WEST (TM90-02)

APN 386-300-58. The Navy-owned 78-unit condominium project is located on Mission Gorge Rd. at Simeon Dr. and Bushy Hill Dr. It is responsible for its own maintenance and has not been assessed since its FY 1996-97 annexation.

#### ZONE 11 - PADRE HILLS (TM89-04)

APNs 386-270-53 through -63, inclusive, and 386-270-70 through -93, inclusive. A 35-unit single-family home subdivision located off Prospect Ave., Padre Hills underwent an unsuccessful assessment ballot proceeding upon its FY 1997-98 annexation. Consequently, the subdivision is responsible for maintaining its landscaping and is not assessed.

#### ZONE 15 - VISTA ESTE (TM00-03)

APNs 386-690-01 through -33, inclusive. The 33 attached homes included in this zone are responsible for their own maintenance through a homeowners' association and was annexed in FY 2004-05. The subdivision is located off Fanita Dr. at Watson Pl.

#### ZONE 16 - PROSPECT GLEN (TM01-01)

APNs 383-490-01 through -48, inclusive. The development's homeowners' association takes care of the maintenance for the 48 singlefamily homes in this project, which was annexed in FY 2004-05. The project is located on the northwest corner of Prospect Ave. and Fanita Dr.

#### ZONE 19 - SKY RANCH (TM04-08)

APNs 385-430-01 through -22, inclusive, 385-431-01 through -08, inclusive, and 385-432-01 through -03, inclusive. The development's homeowners' association takes care of the maintenance for the 223 single-family and 148 multi-family homes in this project, which was annexed in FY 2007-08. The project is located off Graves Ave. and Sevilla St.



#### 1. Plans and Specifications

#### **Description of Improvements**

Facilities or improvements include landscaping within public streets, rights-of-way, easements, and their appurtenances and the costs of installing, operating, and maintaining them. Improvements to be maintained generally comprise frontage landscaping and hardscaping. Maintenance includes, but not limited to, weeding, fertilizing, trimming, cleaning, energy, water, materials, personnel/equipment costs, contract services and other items needed to deliver these services. Zones responsible for their own maintenance are not included in the following section. The following describes zones that will be assessed and/or maintained by the District in FY 2025-26.

*Zone 1* - The facilities within the public right-of-way that are to be maintained and serviced include landscaping, walks and retaining wall faces on El Nopal St. and Julio Pl.

Zone 3 - The facilities within the public right-of-way that are to be maintained and serviced include landscaping, walks, and entry monument faces on Conejo Rd. and Country Scenes Ct.

*Zone 4* - The facilities within the public right-of-way that are to be maintained and serviced include landscaping and retaining wall face on Princess Joann Rd. adjacent to subdivision.

*Zone 8* - The facilities within the public right-of-way that are to be maintained and serviced include landscaping and faces of retaining walls along Cuyamaca St., El Nopal, Woodglen Vista Dr., and Cardoza Dr. adjacent to the site.

*Zone 9* - The facilities within the public right-of-way that are to be maintained and serviced include landscaping and faces of block retaining walls along Bilteer Dr. and Theresa Ln. adjacent to the subdivision.

*Zone 12* - The facilities within the public right-of-way that are to be maintained and serviced include landscaping along Magnolia Avenue and along the pedestrian trail adjacent to the site.

*Zone 13* - The facilities within the public right-of-way that are to be maintained and serviced include landscaping and faces of privacy wall along Prospect Ave. and on Holden Rd. adjacent to the subdivision.

*Zone 14* - The facilities within the public right-of-way that are to be maintained and serviced include landscaping and faces of block retaining walls on El Nopal and Magnolia Ave. adjacent to the site.

*Zone 17* - The facilities within the public right-of-way that are to be maintained and serviced include landscaping on Princess Joann Rd. and Dakota Ranch Rd. adjacent to the site and entrance to the Dakota Ranch project.

*Zone 18* - The facilities within the public right-of-way that are to be maintained and serviced include parkway and slope landscaping between Prospect Ave. and Lot #1 of Allos; ten foot wide landscaped strip along the west side of Prospect Ct.





#### 2. Cost Estimates

#### General

The '72 Act provides that the total cost of installation, construction, maintenance, and servicing of the public landscaping and hardscaping facilities can be recovered by the District. Maintenance may include the repair and/or replacement of existing facilities. Servicing may include electrical, water, and public utility costs. Incidental expenses, including administration of the District, data processing fees, annual Engineer's Report, engineering fees, legal fees, printing, posting, mailing of notices, and all other costs associated with the maintenance of the District may also be included.

#### Budget

Estimated FY 2025-26 expenditures are shown in the table located in Appendix A. Budgets for Zones 1, 3, 4, 8, 9, 12, 13, 14, 17, and 18 are covered. There are no budgets for Zones 5, 6, 7, 10, 11, 15, 16, and 19 because the respective property owners are directly responsible for maintenance.

#### **Basic Data**

Data has been compiled from the County Assessor's maps, Development Services Department records, and a field review by Community Services Department staff.

#### Findings

Individual parcels within a district receive benefits based on land use, size and location of landscaping improvements to be installed or maintained. In the Santee Landscape Maintenance District, all parcels are zoned for residential uses.

## Table 2-1

#### Benefit Zones by Land Use, Size, and Location

Zone	Name	Tract/Map #	Assessable Units	Zoning
1	El Nopal Estates	88-04	45	Residential
3	Country Scenes	89-01	14	Residential
4	Camelot Heights	89-02	10	Residential
5	Mesa Heights	88-08	44	Residential
6	Prospect Point	89-05	9	Residential
7	Treviso	03-01	186	Residential
8	Silver Country Estates	93-02	153	Residential
9	Mattazaro / Timberlane	88-07/92-03	34	Residential
10	Lakes West Condos	90-02	1 (78 Condo Parcels)	Residential
11	Padre Hills	89-04	35	Residential
12	The Heights	96-01	60	Residential
13	Prospect Hills	96-02	43	Residential
14	Mitchell Ranch	92-04	16	Residential
15	Vista Este	00-03	33	Residential
16	Prospect Glen	01-01	48	Residential
17	Dakota Ranch	01-02	20	Residential
18	Allos	98-02	6	Residential
19	Sky Ranch	04-08	371	Residential



### General

The '72 Act permits the establishment of assessment districts by cities for the purpose of providing and maintaining certain public improvements. The '72 Act requires that assessments be levied according to the benefit received rather than assessed value. Section 22573 states:

"The net amount to be assessed upon lands within an assessment district may be apportioned by any formula or method which fairly distributes the net amount among all assessable lots or parcels in proportion to the estimated benefits to be received by each such lot or parcel from the improvements."

The '72 Act also permits the designation of zones of benefit within any individual assessment district if "by reason of variations in the nature, location, and extent of the improvements, the various areas will receive different degrees of benefit from the improvement" (Sec. 22574). Thus, the '72 Act requires the levy of a true "assessment" rather than a "special tax." Excepted from the assessment are the areas of all public streets, avenues, lanes, roads, drives, courts, and alleys; public parks, greenbelts, and parkways; and public-school property, other public property, and zoned agricultural open space.

Article XIII D of the California Constitution also requires that the Engineer's Report identify all parcels receiving a special benefit, and identify the extent of the special benefit conferred. It defines "special benefit" as: "...a particular and distinct benefit over and above general benefits conferred on real property located in the district or to the public at large. General enhancement of property value does not constitute 'special benefit." Article XIII D then states:

"An agency which proposes to levy an assessment shall identify all parcels which will have a special benefit conferred upon them and upon which an assessment will be imposed. The proportionate special benefit derived by each identified parcel shall be determined in relationship to the entirety of...the maintenance and operation expenses of a public improvement. No assessment shall be imposed on any parcel which exceeds the reasonable cost of the proportionate special benefit conferred on that parcel. Only special benefits are assessable, and an agency shall separate the general benefits from the special benefits conferred on a parcel."

Article XIII D requirements for assessments are similar to those of traditional assessment district law, including the '72 Act. The purpose of the above cited section is to allow assessments to be used, again, as a legitimate financing mechanism and not as a means to impose a "flat rate parcel tax." Thus, while a benefit determination is still made, the Engineer's Report is now required to draw a stronger relationship, or nexus, between the property, the benefit received and the subsequent assessment.





## Assessment Methodology

One of Article XIII D's most significant changes is the "calculation requirement." Local agencies must now determine whether or not property owners would receive a "special benefit" from services financed by the assessment. An Engineer's Report is required to estimate the special benefit and general benefit property owners would receive. This step is needed because Article XIII D allows only the recoupment of the proportionate share of costs of the special benefit. Individual levies must be set so that no property owner pays over the proportional share of the total cost. The Jarvis-Gann Group, in Prop 218's "Statement of Drafter's Intent," notes that:

"What constitutes a special benefit will depend on the nature of the... service being provided. It must be more than a mere increase in the value of the property because, arguably, the availability of any public service could provide additional value. It must be a direct and special benefit conferred on the property that exceeds the benefit conferred on the public at large or even to other similar properties."

Clearly an additional level of analysis is required; however, this additional analysis parallels the analyses presented in prior Engineer's Reports which were prepared in compliance with the '72 Act. It differs only in the determination of special vs. general benefit. This requires establishing the facts surrounding each subdivision included or proposed to be included in a district, and requires that these facts support the conferral of the special benefit.

All residential subdivisions included in the Santee Landscape Maintenance District have improvements directly associated with the exterior entrances and internal circulation elements of each particular subdivision. These improvements are features of each subdivision's overall design, are consistent with the City of Santee General Plan Development Standards and Subdivision Ordinance, and were included as a component of each project's Tentative Map approval.

No improvements included within each zone's maintenance responsibility are located outside the boundaries of each subdivision's Tentative Map, or outside the limits of the improvements that fulfill the requirements of project approval. Improvements were installed as part of subdivision construction. If each subdivision had not been built, the improvements associated with each subdivision would not have been installed nor provided later. Thus, the existence of the improvements is a direct function of the construction of each subdivision, and the special benefit of the associated improvements therefore inures to each subdivision. No general benefit is assigned because the improvements would not have been installed without the subdivision.

The approval of each subdivision's landscaping plan is part of the approval of each subdivision's Tentative Map. Thus, construction could not have proceeded without an approved Tentative Map, of which the landscaping plan is an integral part. Similarly, occupancy would not have occurred without fulfilling the conditions of development approval, which includes the installation of the improvements. Therefore, the special benefits of the improvements accrue directly to each home in each subdivision.

The method of assessment spread remains unchanged from prior fiscal years. Assessment spreads are based upon a single-family home being equal to one benefit unit. Total assessment costs are divided by the total benefit units to determine a per benefit unit cost. The portion of the District addressed by this Engineer's Report is split into zones representing different levels of benefit. Developments with no assessment determination are not described in the "Assessment Determination" section.

# Annual Assessment Rate Increases

Per Article XIII D, the levy of maximum rates is contingent on obtaining a majority approval of property owners. The maximum assessment rate per unit for Zone 1 may be increased annually by the percentage increase in the San Diego Consumer Price Index for All Urban Consumers (CPI-U), in an amount not to exceed 3.5%. Based on an analysis of maintenance costs and the repayment of capital costs for a recent renovation, the CPI adjustment was applied and the rate per unit increased to \$265.15. The maximum assessment rates per unit in Zones 17 and 18 may be increased by up to 2% annually by City Council action. Based on an analysis of the projected maintenance costs associated with existing public improvements, the maximum cap per unit have been established as \$427.06 in Zone 17, \$821.24 in Zone 18. Please note that all proposed assessments for FY 2025-26 are at or below the approved maximum, fulfilling Article XIII D requirements.

# Assessment Determination

Proposed FY 2025-26 assessments are based on the previous methodology and use data available from subdivisions' plans and Assessor's information. Maintenance costs are developed by the Community Services Department. The Finance Department believes the data to be accurate. Final assessments will be based upon these preliminary assessments and any changes made due to Council action and/or input received during the public hearings.



### Assessment

## Zone 1 - El Nopal Estates

Operations, Maintenance, Administration and Engineering, net of total available:	\$11,931.53
Assessment Formula: [45 parcels (1 unit/parcel)], \$11,931.53/45 Units = \$265.15 Per Unit	
Zone 1 - El Nopal Estates Single-Family Parcel Cost Per Year:	\$265.15
Maximum Assessment:	\$265.15

## Zone 3 - Country Scenes

Operations, Maintenance, Administration and Engineering, net of total available:	\$2,066.96
Assessment Formula: [14 parcels (1 unit/parcel)], \$2,066.96/14 Units = \$147.64 Per Unit	
Zone 3 - Country Scenes Single-Family Parcel Cost Per Year:	\$147.64
Maximum Assessment:	\$147.64

## Zone 4 - Camelot Heights

Operations, Maintenance, Administration and Engineering, net of total available:	\$1,385.00
Assessment Formula: [10 parcels (1 unit/parcel)], \$1,385.00/10 Units = \$138.50 Per Unit	
Zone 4 - Camelot Heights Single-Family Parcel Cost Per Year:	\$138.50
Maximum Assessment:	\$138.50

## Zone 8 - Silver Country Estates

Operations, Maintenance, Administration and Engineering, net of total available:	\$75,735.00
Assessment Formula: [153 parcels (1 unit/parcel)], \$75,735.00/153 Units = \$495.00 Per Unit	
Zone 8 - Silver Country Estates Single-Family Parcel Cost Per Year:	\$495.00
Maximum Assessment:	\$495.00

## Zone 9 - Mattazaro/Timberlane

Operations, Maintenance, Administration and Engineering, net of total available:	\$1,529.32
Assessment Formula: [34 parcels (1 unit/parcel)], \$1,529.32/34 Units = \$44.98 Per Unit	
Zone 9 - Mattazaro/Timberlane Single-Family Parcel Cost Per Year:	\$44.98
Maximum Assessment:	\$44.98



## Zone 12 - The Heights

Operations, Maintenance, Administration and Engineering, net of total available:	\$8,757.00
Assessment Formula: [60 parcels (1 unit/parcel)], \$8,757.00/60 Units = \$145.95 Per Unit	
Zone 12 - The Heights Single-Family Parcel Cost Per Year:	\$145.95
Maximum Assessment:	\$375.00

## Zone 13 - Prospect Hills

Operations, Maintenance, Administration and Engineering, net of total available:	\$3,225.00
Assessment Formula: [43 parcels (1 unit/parcel)], \$3,225.00/43 Units = \$75.00 Per Unit	
Zone 13 - Prospect Hills Single-Family Parcel Cost Per Year:	\$75.00
Maximum Assessment:	\$75.00

## Zone 14 - Mitchell Ranch

Operations, Maintenance, Administration and Engineering, net of total available:	\$2,690.24
Assessment Formula: [16 parcels (1 unit/parcel)], \$2,690.24/16 Units = \$168.14 Per Unit	
Zone 14 - Mitchell Ranch Single-Family Parcel Cost Per Year:	\$168.14
Maximum Assessment:	\$168.14

## Zone 17 - Dakota Ranch

Operations, Maintenance, Administration and Engineering, net of total available:	\$4,826.00
Assessment Formula: [20 parcels (1 unit/parcel)], \$4,826.00/20 Units = \$241.30 Per Unit	
Zone 17 - Dakota Ranch Single-Family Parcel Cost Per Year:	\$241.30
Maximum Assessment:	\$427.06

## Zone 18 - Allos

Operations, Maintenance, Administration and Engineering, net of total available:	\$3,920.04
Assessment Formula: [6 parcels (1 unit/parcel)], \$3,920.04/6 Units = \$653.34 Per Unit	
Zone 18 - Allos Single-Family Parcel Cost Per Year:	\$653.34
Maximum Assessment:	\$821.24



Executed this \_\_\_\_\_ day of \_\_\_\_\_ 2025.



FRANCISCO MARTINEZ JR PROFESSIONAL CIVIL ENGINEER NO. 84640 ENGINEER OF WORK CITY OF SANTEE STATE OF CALIFORNIA

I HEREBY CERTIFY that the enclosed Engineer's Report, together with the Assessment Roll and Assessment Diagrams thereto attached, was filed with me on the \_\_\_\_\_ day of \_\_\_\_\_, 2025, by adoption of Resolution No. \_\_\_\_\_ by City Council.

## CITY CLERK CITY OF SANTEE STATE OF CALIFORNIA

I HEREBY CERTIFY that the enclosed Engineer's Report, together with the Assessment Roll and Assessment Diagrams thereto attached, was approved and confirmed by the City Council of the City of Santee, California on the \_\_\_\_\_day of \_\_\_\_\_, 2025.

CITY CLERK CITY OF SANTEE STATE OF CALIFORNIA





The actual assessment and the amount of the assessment for the Fiscal Year 2025-26 apportioned to each parcel as shown on the latest equalized roll at the County Assessor's office are listed in Appendix B of this Report. The description of each lot or parcel is part of the records of the County Assessor of the County of San Diego and such records are, by reference, made part of this Report.

The total assessment for the Fiscal Year 2025-26 is \$116,066.094.

<sup>&</sup>lt;sup>4</sup> The actual assessment roll amount might have a minimal variance due to rounding.



The assessment diagrams showing the boundaries of the District and the zones addressed by this Engineer's Report and which will be assessed in FY 2025-26 are on file in the offices of the City Clerk and the Director of Finance. Copies of each diagram are included in this report in Appendix C. For exact details of parcels and dimensions, please refer to the Assessor's maps located in the office of the San Diego County Recorder.



## SLMD Budget Detail

Description	Zone 1 El Nopal Estates	Zone 3 Country Scenes	Zone 4 Camelot Heights	Zone 8 Silver Country	Zone 9 Timberlane	Zone 12 The Heights	Zone 13 Prospect Hills	Zone 14 Mitchell Ranch	Zone 17 Dakota Ranch	Zone 18 Allos	Grand Total
Fund Balance, beginning	\$7,929	\$5,600	\$1,299	\$88,457	\$585	\$24,666	\$485	\$7,660	\$21,765	\$10,866	\$169,312
Estimated Revenues:											
Assessments	\$11,930	\$2,070	\$1,390	\$75,740	\$1,530	\$8,760	\$3,230	\$2,690	\$4,830	\$3,930	\$116,100
Interest	\$240	\$370	\$30	\$3,200	\$40	\$760	\$170	\$260	\$980	\$340	\$6,390
Total Estimated Revenues	\$12,170	\$2,440	\$1,420	\$78,940	\$1,570	\$9,520	\$3,400	\$2,950	\$5,810	\$4,270	\$122,490
Expenditures											
Administration	\$730	\$210	\$170	\$2,440	\$560	\$940	\$680	\$260	\$340	\$90	\$6,420
Advertising	\$50	\$10	\$10	\$320	\$10	\$40	\$20	\$20	\$20	\$20	\$520
Electricity & Gas – Grounds	\$100	\$160	\$110	\$2,000	\$0	\$0	\$0	\$0	\$110	\$100	\$2,580
Water & Sewer – Grounds	\$1,620	\$800	\$630	\$29,250	\$1,100	\$6,500	\$2,650	\$800	\$2,340	\$1,860	\$47,550
Repair/Maintenance – Grounds	\$4,780	\$750	\$450	\$41,000	\$450	\$5,750	\$450	\$2,350	\$6,850	\$2,750	\$65,580
Internal Service Charges	\$400	\$60	\$0	\$1,500	\$0	\$610	\$0	\$460	\$0	\$200	\$3,230
General Fund Repayment	\$2,770	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,770
Total Budget	\$10,450	\$1,990	\$1,370	\$76,510	\$2,120	\$13,840	\$3,800	\$3,890	\$9,660	\$5,020	\$128,650
Fund Balance, ending	\$9,649	\$6,050	\$1,349	\$90,887	\$35	\$20,346	\$85	\$6,720	\$17,914	\$10,116	\$163,151



City of Santee Engineer's Report SLMD Fiscal Year 2025-26







APN	Levy	APN	Levy	APN	Levy
3812230100	\$265.14	3812230200	\$265.14	3812230300	\$265.14
3812230400	\$265.14	3812230500	\$265.14	3812230600	\$265.14
3812230700	\$265.14	3812230800	\$265.14	3812230900	\$265.14
3812231000	\$265.14	3812231100	\$265.14	3812231200	\$265.14
3812231300	\$265.14	3812231400	\$265.14	3812231500	\$265.14
3812231600	\$265.14	3812231700	\$265.14	3812231800	\$265.14
3812231900	\$265.14	3812232000	\$265.14	3812232100	\$265.14
3812232200	\$265.14	3812232300	\$265.14	3812232400	\$265.14
3812232500	\$265.14	3812232600	\$265.14	3812232700	\$265.14
3812232800	\$265.14	3812232900	\$265.14	3812233000	\$265.14
3812233100	\$265.14	3812233200	\$265.14	3812233300	\$265.14
3812233400	\$265.14	3812233500	\$265.14	3812233600	\$265.14
3812233700	\$265.14	3812233800	\$265.14	3812233900	\$265.14
3812234000	\$265.14	3812234100	\$265.14	3812234200	\$265.14
3812234300	\$265.14	3812234400	\$265.14	3812234500	\$265.14
Totals		Parcels 4	15	Levy \$	11,931.30

\*The County of San Diego only allows even numbered dollar amount to be submitted on the Tax Rolls so the Dollar amounts shown will be slightly different from what is stated in the Assessment section of this Report.







APN	Levy	APN	Levy	APN	Levy
0010/01000		0010/05000		0010/05100	
3812604900	\$147.64	3812605000	\$147.64	3812605100	\$147.64
3812605200	\$147.64	3812605300	\$147.64	3812605400	\$147.64
3812605500	\$147.64	3812605600	\$147.64	3812605700	\$147.64
3812605800	\$147.64	3812605900	\$147.64	3812606000	\$147.64
3812606100	\$147.64	3812606200	\$147.64		
Totals		Parcels 1	4	Levy \$2	2,066.96



6091-25 - SLMD Zone 4 Fiscal Year 2025-26



APN	Levy	APN	Levy	APN	Levy
3784204600	\$138.50	3784204700	\$138.50	3784204800	\$138.50
3784204900	\$138.50	3784205000	\$138.50	3784205100	\$138.50
3784205200	\$138.50	3784205300	\$138.50		
3784205400	\$138.50	3784205500	\$138.50		
Totals		Parcels	10	Levy \$	1,385.00



6091-29 - SLMD Zone 8 Fiscal Year 2025-26



APN	Levy	APN	Levy	APN	Levy
2704400100	¢ 405 00	3784400200	¢ 40E 00	2704400200	¢ 405 00
3784400100 3784400400	\$495.00 \$495.00	3784400200	\$495.00 \$495.00	3784400300 3784400800	\$495.00 \$495.00
3784400400	\$495.00 \$495.00	3784400700		3784400800	
			\$495.00 \$495.00		\$495.00 \$405.00
3784401200	\$495.00	3784401300	\$495.00 \$495.00	3784401400	\$495.00 \$405.00
3784401500	\$495.00	3784401600	\$495.00	3784401700	\$495.00
3784401800	\$495.00	3784401900	\$495.00	3784402000	\$495.00
3784402100	\$495.00	3784402200	\$495.00	3784402300	\$495.00
3784402400	\$495.00	3784402500	\$495.00	3784402600	\$495.00
3784402700	\$495.00	3784402800	\$495.00	3784402900	\$495.00
3784403200	\$495.00	3784403300	\$495.00	3784410100	\$495.00
3784410200	\$495.00	3784410300	\$495.00	3784410400	\$495.00
3784410500	\$495.00	3784410600	\$495.00	3784410700	\$495.00
3784410800	\$495.00	3784410900	\$495.00	3784411000	\$495.00
3784411100	\$495.00	3784411200	\$495.00	3784411300	\$495.00
3784411400	\$495.00	3784411500	\$495.00	3784411600	\$495.00
3784411700	\$495.00	3784411800	\$495.00	3784412100	\$495.00
3784412200	\$495.00	3784412300	\$495.00	3784412400	\$495.00
3784412500	\$495.00	3784412600	\$495.00	3784412900	\$495.00
3784413000	\$495.00	3784413100	\$495.00	3784413200	\$495.00
3784413300	\$495.00	3784413400	\$495.00	3784413500	\$495.00
3784413600	\$495.00	3784413700	\$495.00	3784413800	\$495.00
3784413900	\$495.00	3784414000	\$495.00	3784414100	\$495.00
3784414400	\$495.00	3784414500	\$495.00	3784414700	\$495.00
3784414900	\$495.00	3784500100	\$495.00	3784500200	\$495.00
3784500300	\$495.00	3784500400	\$495.00	3784500500	\$495.00
3784500600	\$495.00	3784500700	\$495.00	3784500800	\$495.00
3784500900	\$495.00	3784501000	\$495.00	3784501100	\$495.00
3784501200	\$495.00	3784501300	\$495.00	3784501400	\$495.00
3784501500	\$495.00	3784501600	\$495.00	3784501700	\$495.00
3784501800	\$495.00	3784501900	\$495.00	3784502000	\$495.00
3784502200	\$495.00	3784502300	\$495.00	3784502400	\$495.00
3784502500	\$495.00	3784502600	\$495.00	3784502700	\$495.00
3784502800	\$495.00	3784502900	\$495.00	3784503000	\$495.00
3784503100	\$495.00	3784503200	\$495.00	3784503300	\$495.00
3784503400	\$495.00	3784503500	\$495.00	3784503600	\$495.00
3784503700	\$495.00	3784503800	\$495.00	3784503900	\$495.00
3784504000	\$495.00	3784504100	\$495.00	3784504200	\$495.00
3784504300	\$495.00	3784504400	\$495.00	3784504500	\$495.00
3784504600	\$495.00	3784504700	\$495.00	3784504800	\$495.00
3784504900	\$495.00	3784505000	\$495.00	3784505100	\$495.00
3784505200	\$495.00	3784505300	\$495.00	3784505500	\$495.00
3817100100	\$495.00	3817100200	\$495.00	3817100300	\$495.00
3817100400	\$495.00	3817100200	\$495.00	3817100600	\$495.00
3817100400	\$495.00	3817100800	\$495.00	3817100900	\$495.00
3817101000	\$495.00	3817100000	\$495.00	3817101200	\$495.00
3817101300	\$495.00	3817101400	\$495.00 \$495.00	3817101200	\$495.00 \$495.00
3817101500	\$495.00 \$495.00	3817101400	\$495.00 \$495.00	3817101500	\$495.00 \$495.00
3017101000	φ470.0U	3017101700	φ <b>47</b> 0.00	3017101000	φ470.UU





6091-29 - SLMD Zone 8 Fiscal Year 2025-26



_	APN	Levy	APN	Levy	APN	Levy
	2017101000	¢ 405 00	2017102000	¢ 405 00	2017102100	¢ 405 00
	3817101900 3817102200	\$495.00 \$495.00	3817102000 3817102300	\$495.00 \$495.00	3817102100 3817102400	\$495.00 \$495.00
	3817102500	\$495.00	3817102600	\$495.00	3817102700	\$495.00
	3817102800	\$495.00	3817102900	\$495.00	3817103000	\$495.00
	Totals		Parcels 1	153	Levy	\$75,735.00



6091-30 - SLMD Zone 9 Fiscal Year 2025-26



APN	Levy	APN	Levy	APN	Levy
3816900200	\$44.98	3816900300	\$44.98	3816900400	\$44.98
3816900500	\$44.98	3816900600	\$44.98	3816900700	\$44.98
3816900800	\$44.98	3816900900	\$44.98	3816901000	\$44.98
3816901100	\$44.98	3816901200	\$44.98	3816901500	\$44.98
3816901600	\$44.98	3816901700	\$44.98	3816901800	\$44.98
3816901900	\$44.98	3816902000	\$44.98	3816902100	\$44.98
3816902200	\$44.98	3816902300	\$44.98	3816902400	\$44.98
3816902500	\$44.98	3816902600	\$44.98	3816903400	\$44.98
3816903500	\$44.98	3816903600	\$44.98	3816903700	\$44.98
3816903800	\$44.98	3816903900	\$44.98	3816904000	\$44.98
3816904700	\$44.98	3816904800	\$44.98		·
3816904900	\$44.98	3816905100	\$44.98		
Totals		Parcels 3	34	Levy \$	51,529.32

6091-33 - SLMD Zone 12 Fiscal Year 2025-26



APN	Levy	APN	Levy	APN	Levy
3784600100	\$145.94	3784600200	\$145.94	3784600300	\$145.94
3784600400	\$145.94	3784600500	\$145.94	3784600600	\$145.94
3784600900	\$145.94	3784601000	\$145.94	3784601100	\$145.94
3784601200	\$145.94	3784601300	\$145.94	3784601400	\$145.94
3784601500	\$145.94	3784601600	\$145.94	3784601700	\$145.94
3784601800	\$145.94	3784601900	\$145.94	3784602000	\$145.94
3784602100	\$145.94	3784602200	\$145.94	3784602300	\$145.94
3784602400	\$145.94	3784602500	\$145.94	3784602600	\$145.94
3784602700	\$145.94	3784602800	\$145.94	3784602900	\$145.94
3784603000	\$145.94	3784603100	\$145.94	3784603200	\$145.94
3784603300	\$145.94	3784603400	\$145.94	3784603500	\$145.94
3784603600	\$145.94	3784603700	\$145.94	3784603800	\$145.94
3784603900	\$145.94	3784604000	\$145.94	3784604300	\$145.94
3784604400	\$145.94	3784610100	\$145.94	3784610200	\$145.94
3784610300	\$145.94	3784610400	\$145.94	3784610500	\$145.94
3784610600	\$145.94	3784610900	\$145.94	3784611000	\$145.94
3784611100	\$145.94	3784611200	\$145.94	3784611300	\$145.94
3784611400	\$145.94	3784611500	\$145.94	3784611600	\$145.94
3784611700	\$145.94	3784611800	\$145.94	3784611900	\$145.94
3784612000	\$145.94	3784612100	\$145.94	3784612200	\$145.94
Totals		Parcels (	50	Levy \$	8,756.40

\*The County of San Diego only allows even numbered dollar amount to be submitted on the Tax Rolls so the Dollar amounts shown will be slightly different from what is stated in the Assessment section of this Report.



6091-34 - SLMD Zone 13 Fiscal Year 2025-26



APN	Levy	APN	Levy	APN	Levy
3866800100	\$75.00	3866800200	\$75.00	3866800300	\$75.00
3866800400		3866800500	-	3866800600	\$75.00
	\$75.00		\$75.00		
3866800700	\$75.00	3866800800	\$75.00	3866800900	\$75.00
3866801000	\$75.00	3866801100	\$75.00	3866801200	\$75.00
3866801300	\$75.00	3866801400	\$75.00	3866801500	\$75.00
3866801600	\$75.00	3866801700	\$75.00	3866801800	\$75.00
3866801900	\$75.00	3866802000	\$75.00	3866802100	\$75.00
3866802200	\$75.00	3866802300	\$75.00	3866810100	\$75.00
3866810200	\$75.00	3866810300	\$75.00	3866810400	\$75.0
3866810500	\$75.00	3866810600	\$75.00	3866810700	\$75.0
3866810800	\$75.00	3866810900	\$75.00	3866811000	\$75.0
3866811100	\$75.00	3866811200	\$75.00	3866811300	\$75.0
3866811400	\$75.00	3866811500	\$75.00	3866811600	\$75.00
3866811700	\$75.00	3866811800	\$75.00		
3866811900	\$75.00	3866812000	\$75.00		



Parcels 43

Levy \$3,225.00



6091-35 - SLMD Zone 14 Fiscal Year 2025-26



APN	Levy	APN	Levy	APN	Levy
2017000100	<b>\$1(0.14</b>	201700000	<b>#1/0 1</b>	201700000	¢1(0,1)
3817200100	\$168.14	3817200200	\$168.14	3817200300	\$168.14
3817200400	\$168.14	3817200500	\$168.14	3817200600	\$168.14
3817200700	\$168.14	3817200800	\$168.14	3817200900	\$168.14
3817201000	\$168.14	3817201100	\$168.14	3817201200	\$168.14
3817201300	\$168.14	3817201400	\$168.14		
3817201500	\$168.14	3817201600	\$168.14		
Totals		Parcels 1	6	Levy \$	2,690.24



6091-40 - SLMD Zone 17 Fiscal Year 2025-26



APN	Levy	APN	Levy	APN	Levy
0704005400	<b>*</b> 0.11.00	070 1005 700	<b>AO 11 00</b>	0704005000	<b>AO 11 OO</b>
3784205600	\$241.30	3784205700	\$241.30	3784205800	\$241.30
3784205900	\$241.30	3784206000	\$241.30	3784206100	\$241.30
3784206200	\$241.30	3784206300	\$241.30	3784206400	\$241.30
3784206500	\$241.30	3784206600	\$241.30	3784206700	\$241.30
3784206800	\$241.30	3784206900	\$241.30	3784207000	\$241.30
3784207100	\$241.30	3784207200	\$241.30	3784207300	\$241.30
3784207400	\$241.30	3784207500	\$241.30		
Totals		Parcels 2	0	Levy \$	4,826.00



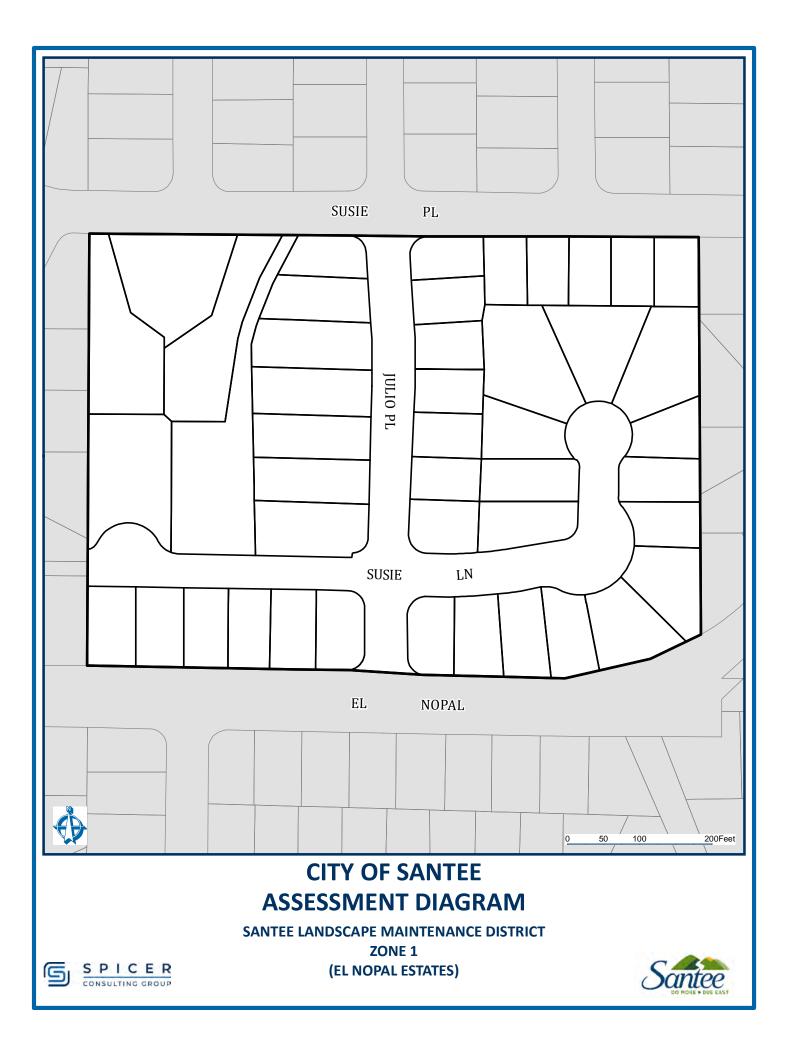
6091-41 - SLMD Zone 18 Fiscal Year 2025-26

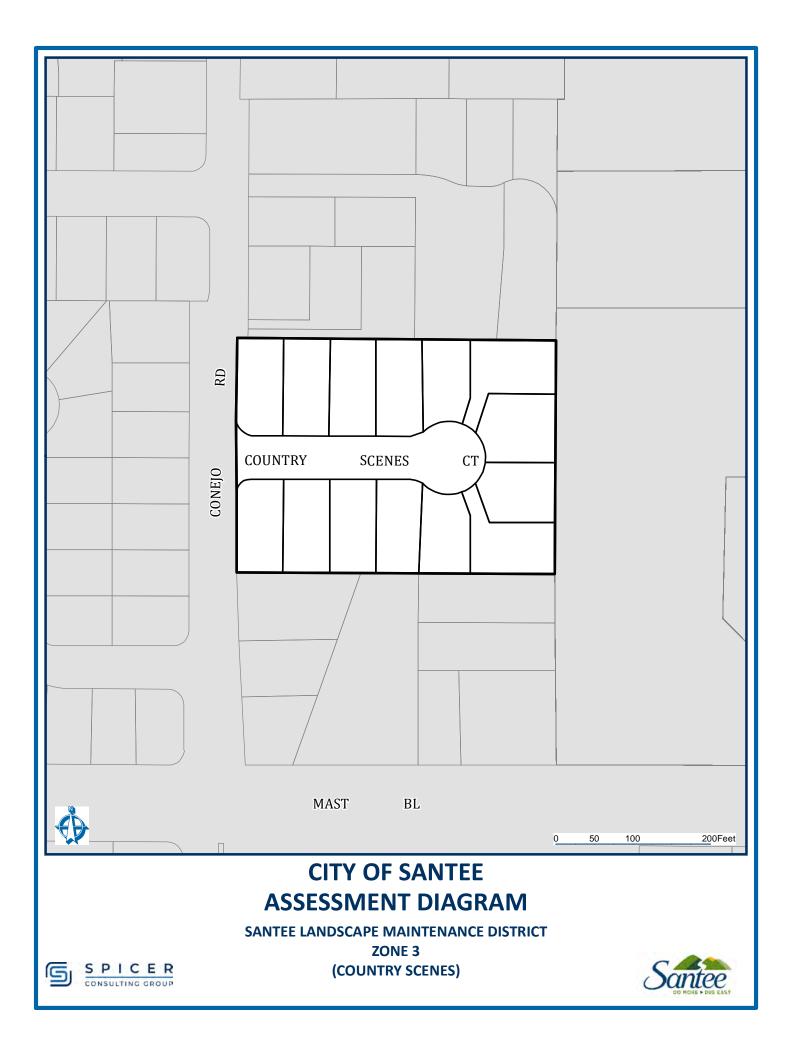


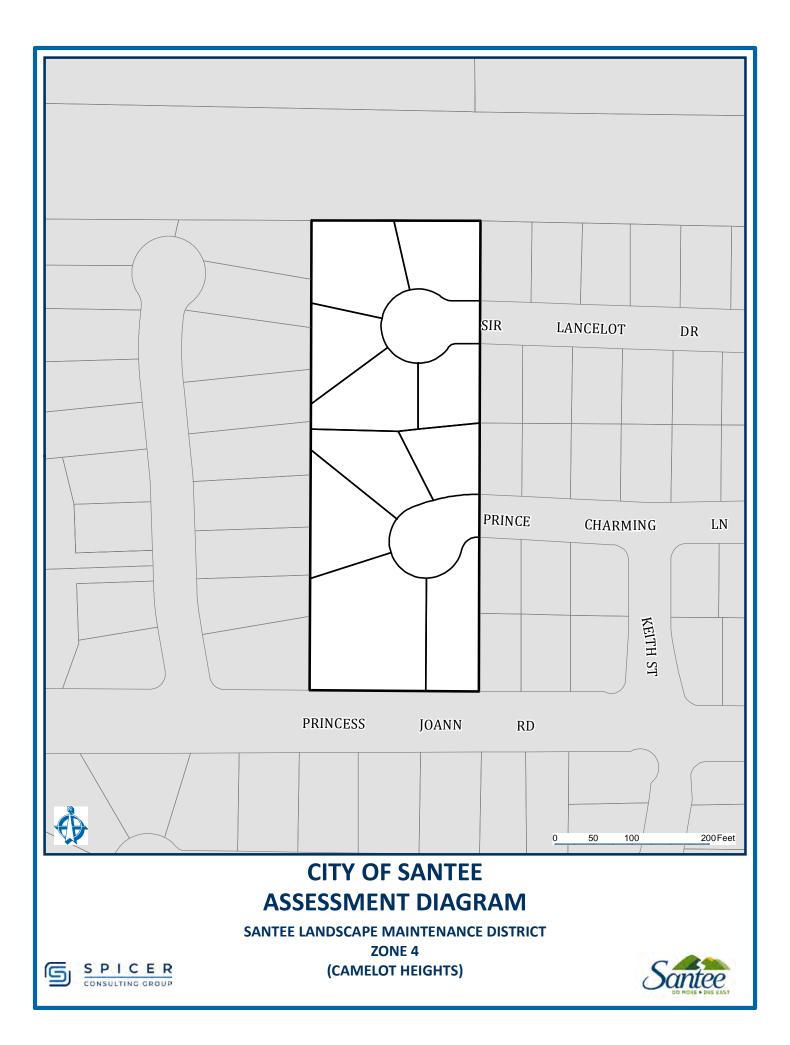
_	APN	Levy	APN	Levy	APN	Levy
	3862805000 3862805300	\$653.34 \$653.34	3862805100 3862805400	\$653.34 \$653.34	3862805200 3862805500	\$653.34 \$653.34
_	Totals		Parcels 6	1	Levy \$3	,920.04

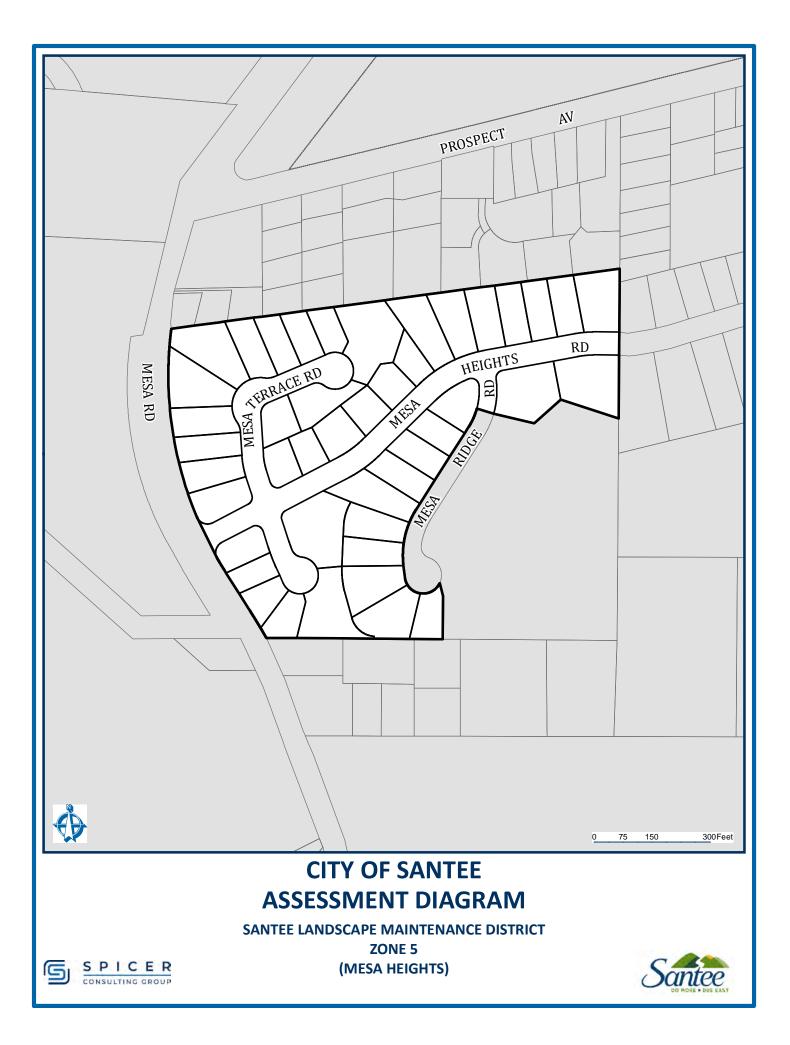


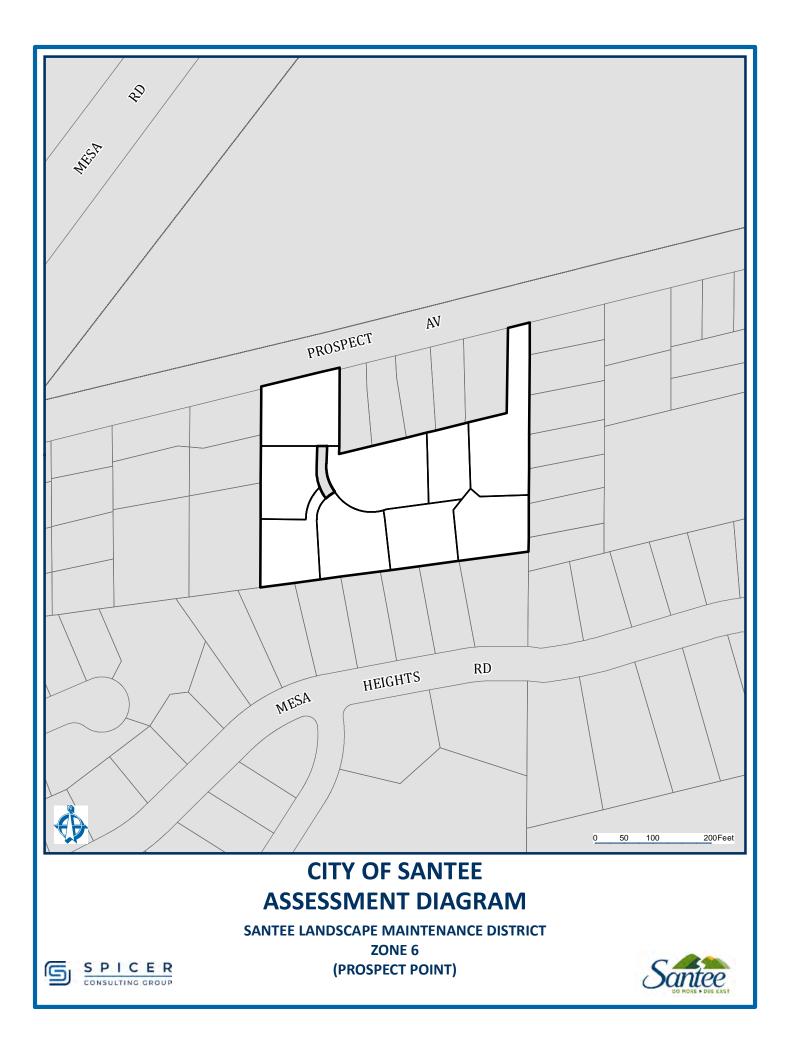
# Appendix C: Assessment Diagrams

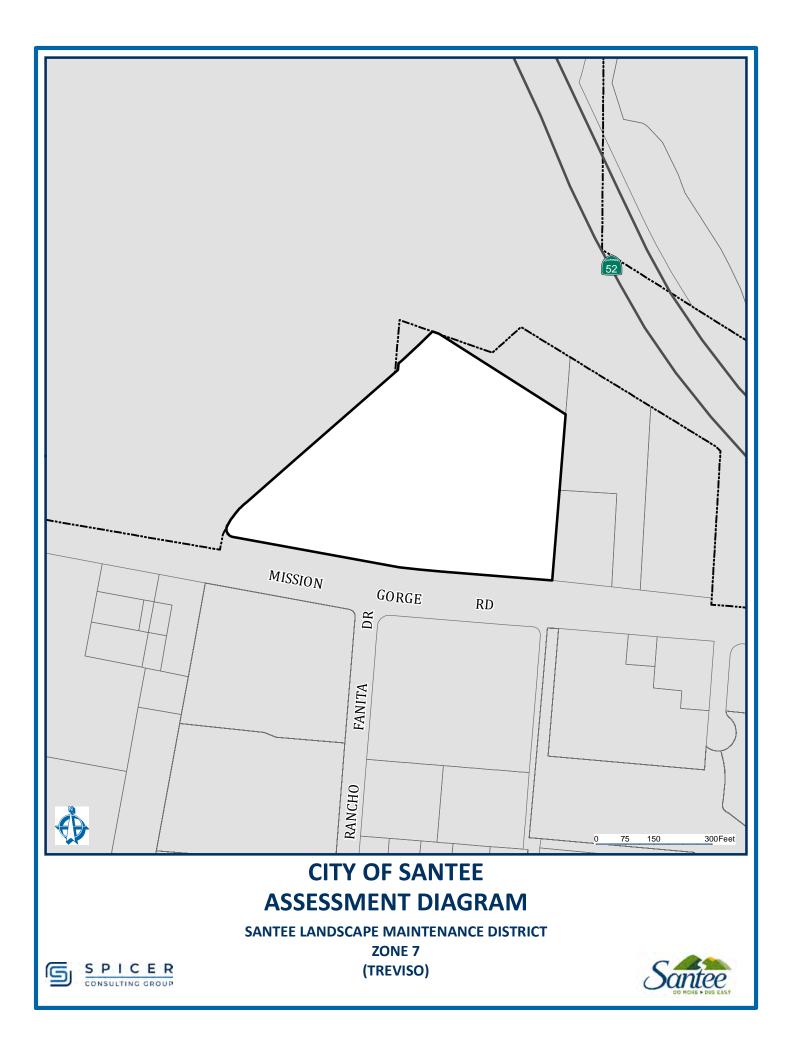


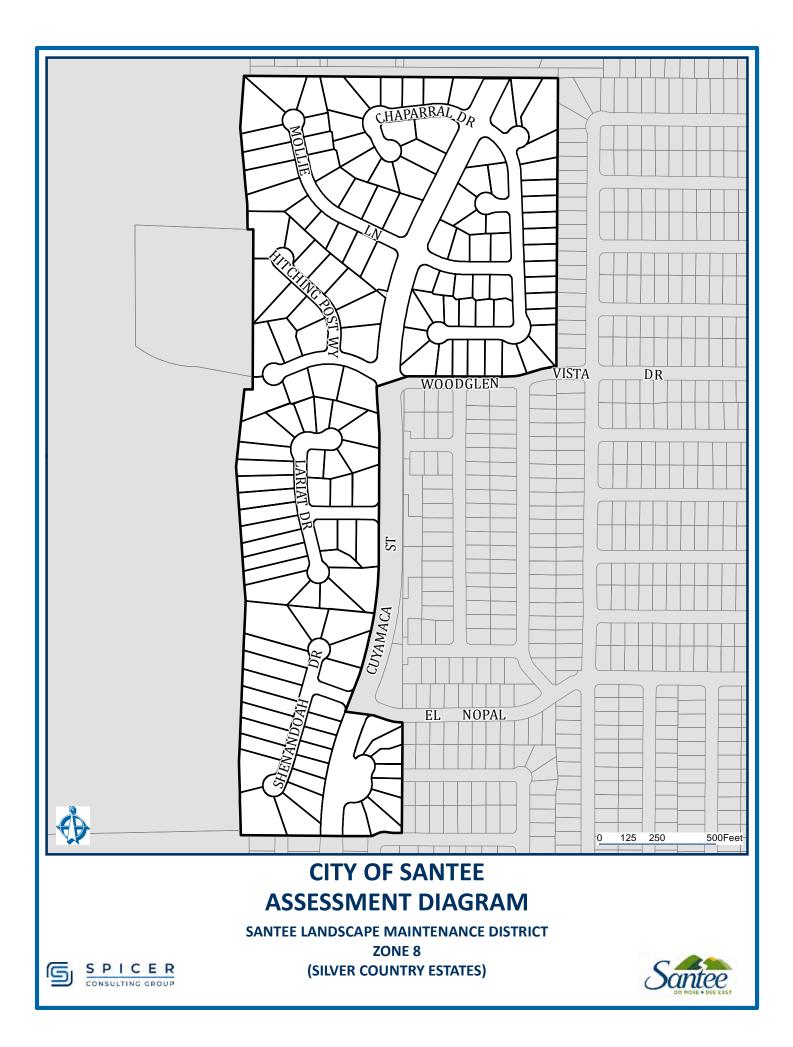


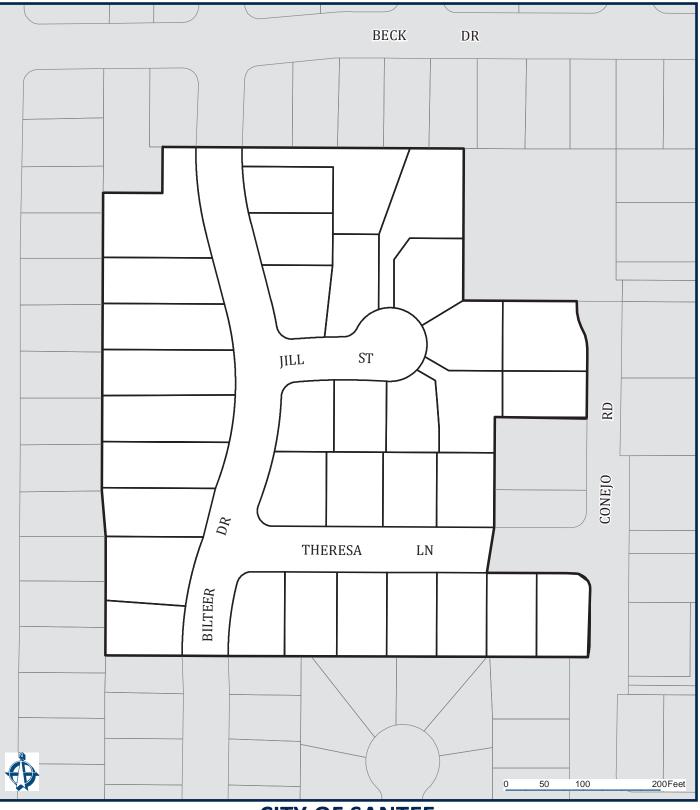












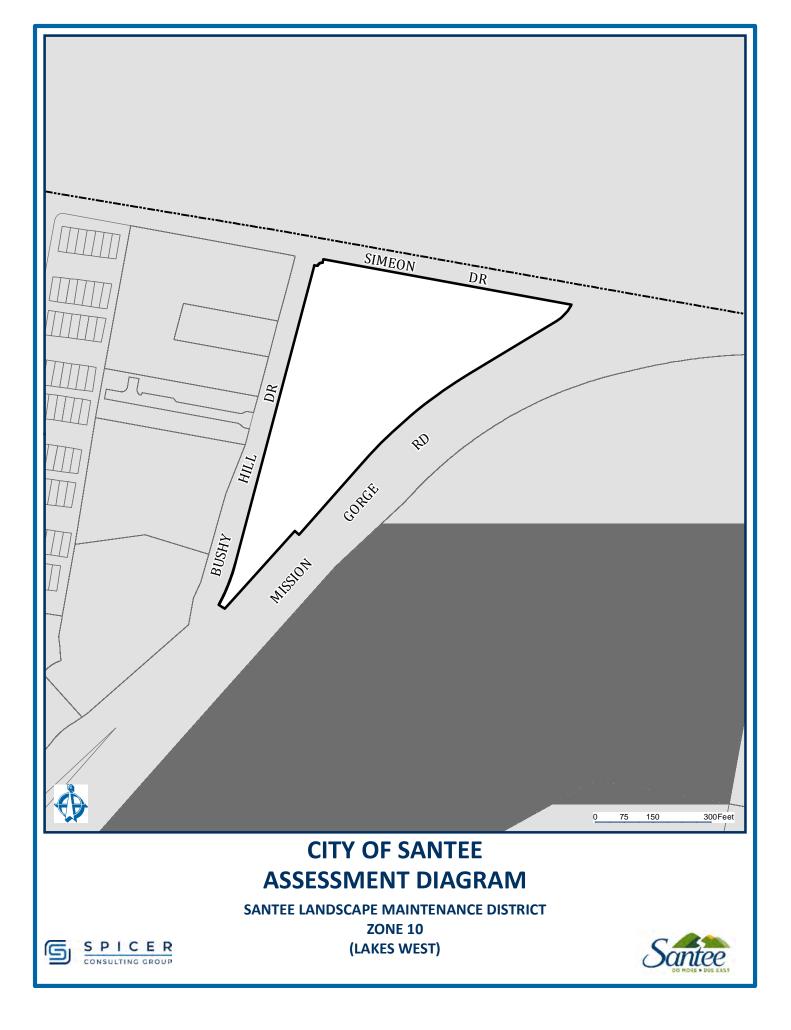
# CITY OF SANTEE ASSESSMENT DIAGRAM

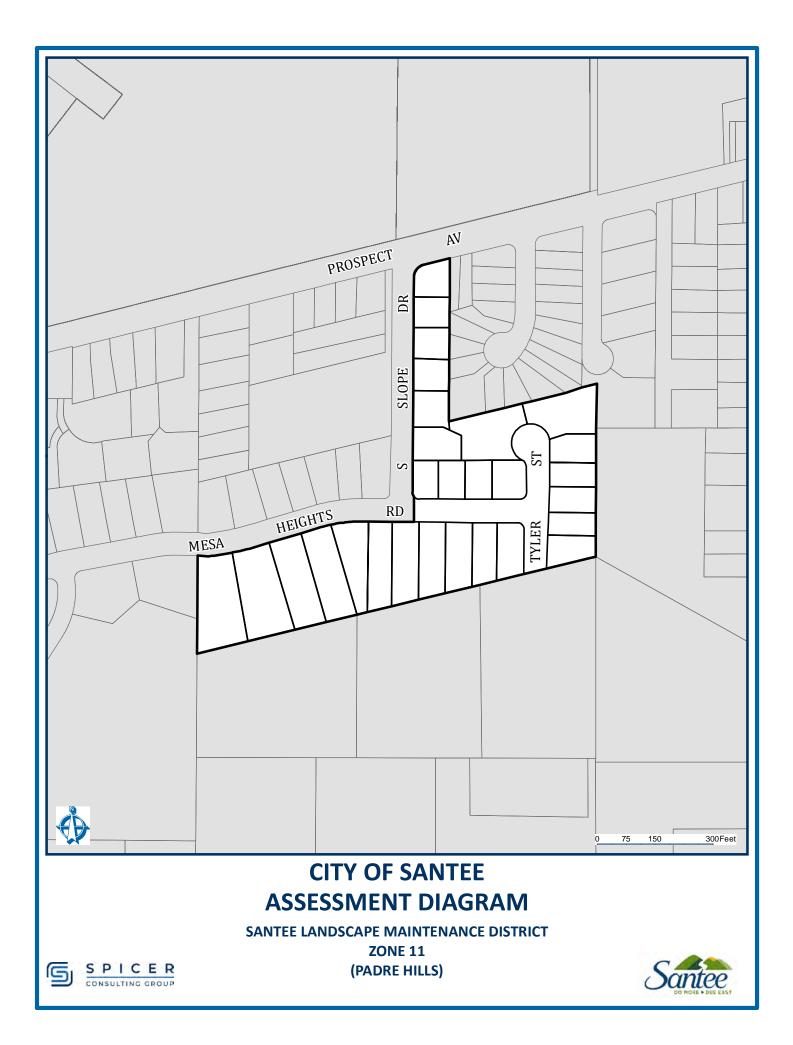
SANTEE LANDSCAPE MAINTENANCE DISTRICT

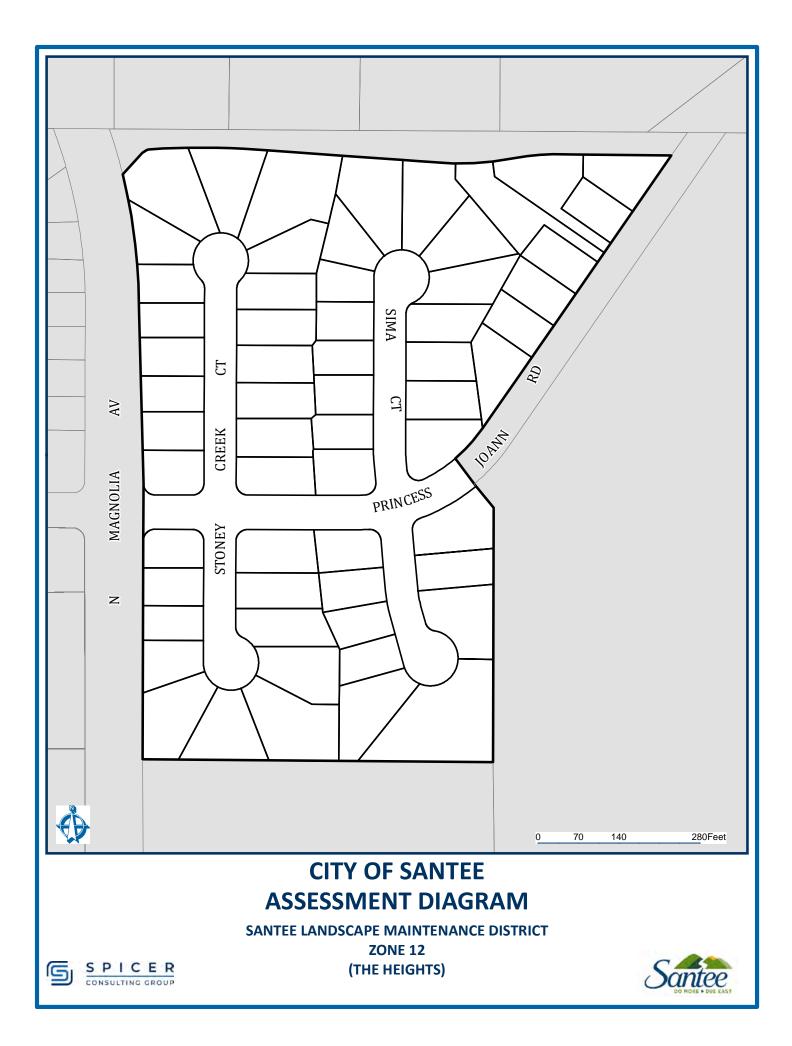
ZONE 9 (TIMBERLANE/MATTAZARO)

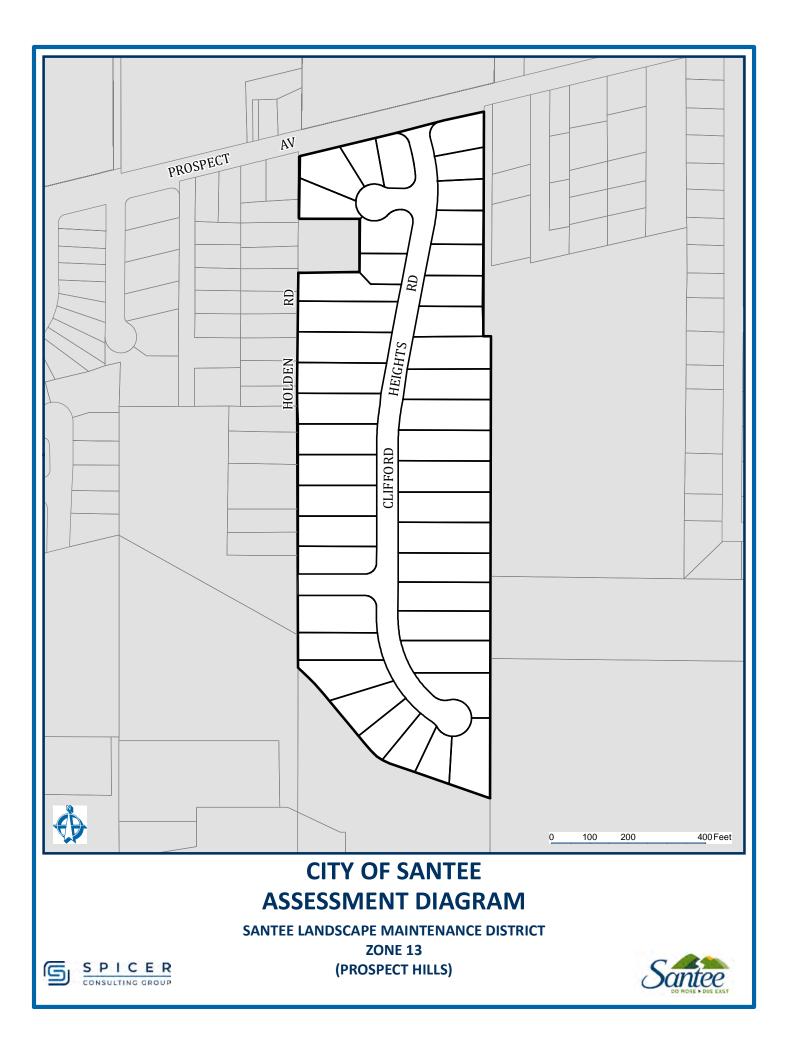


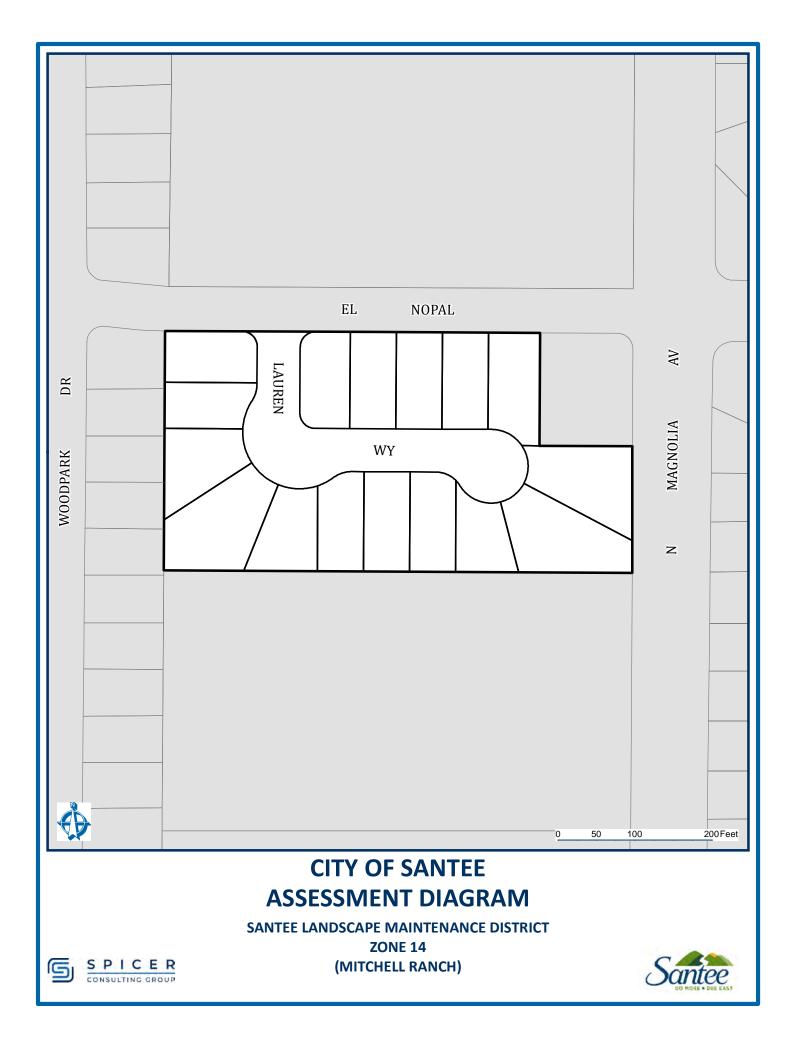


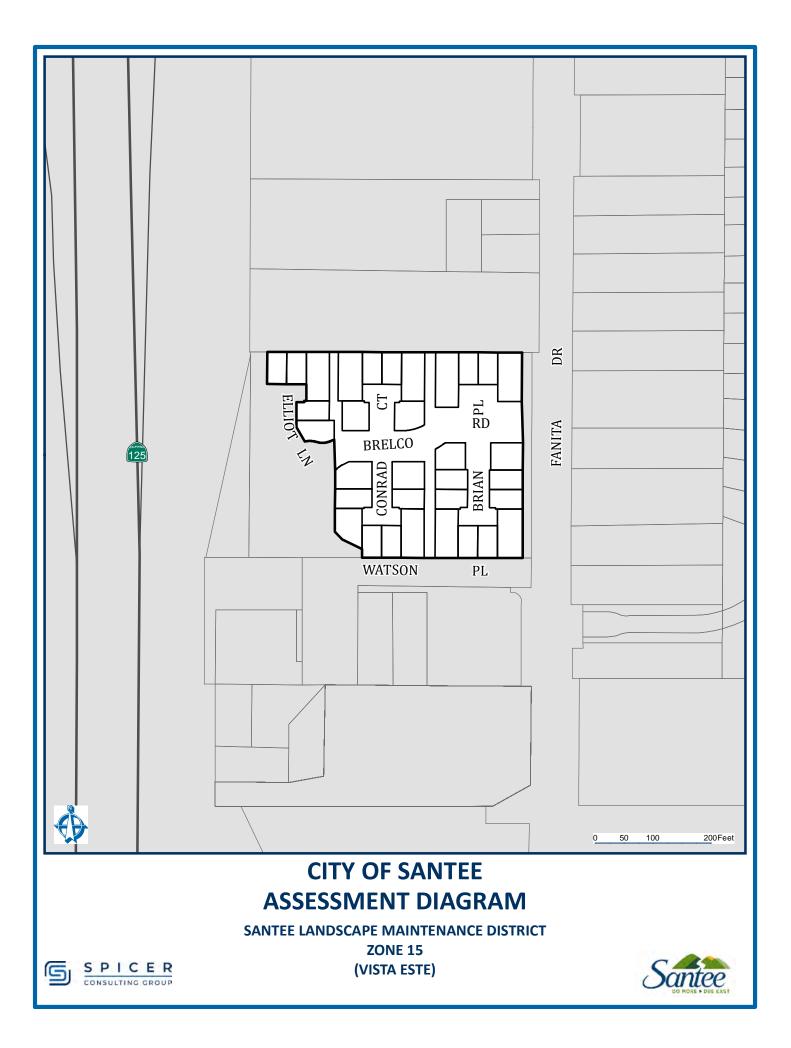


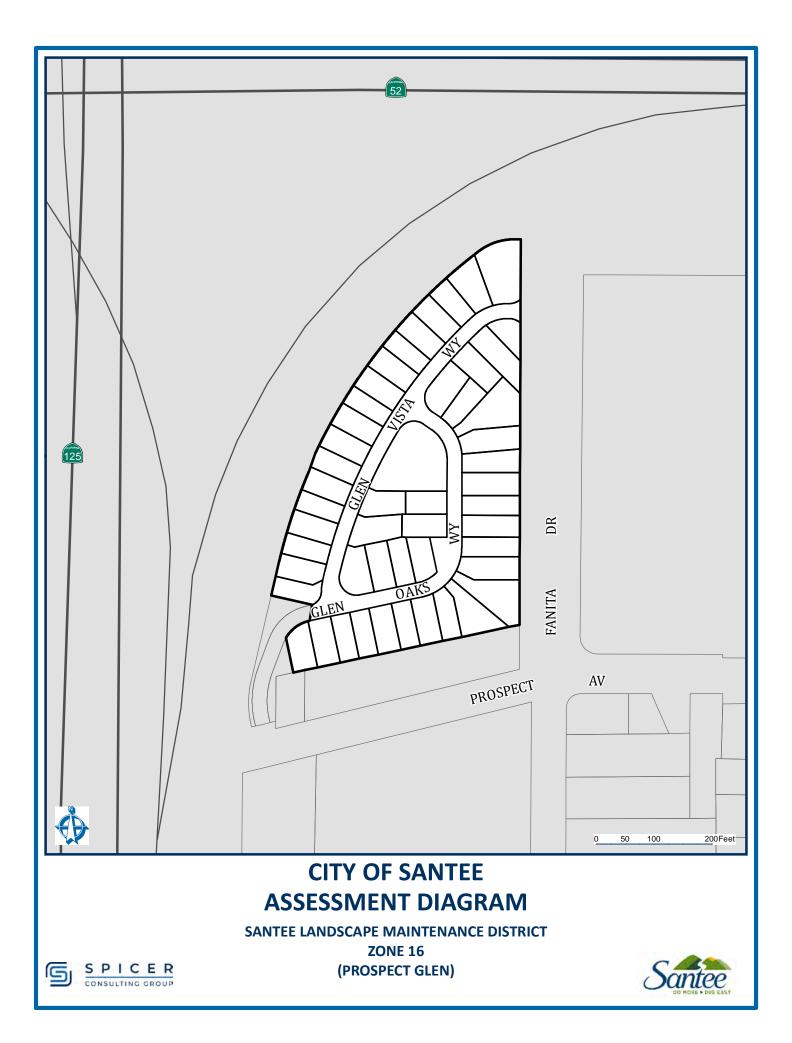


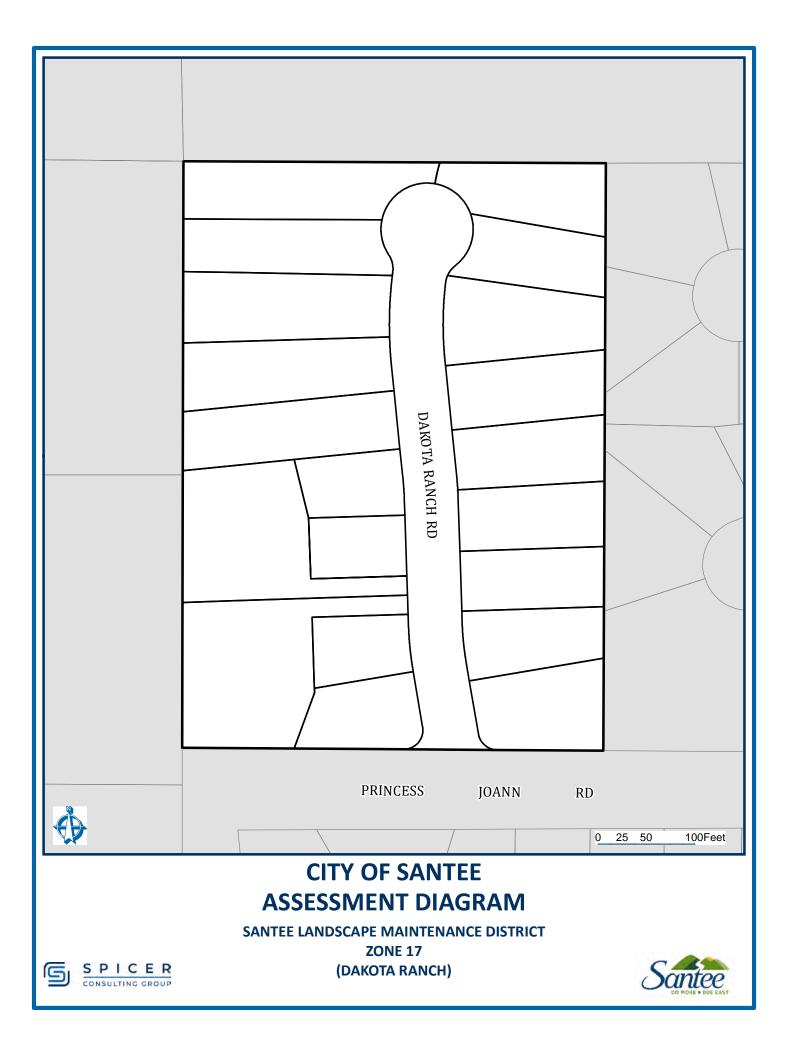


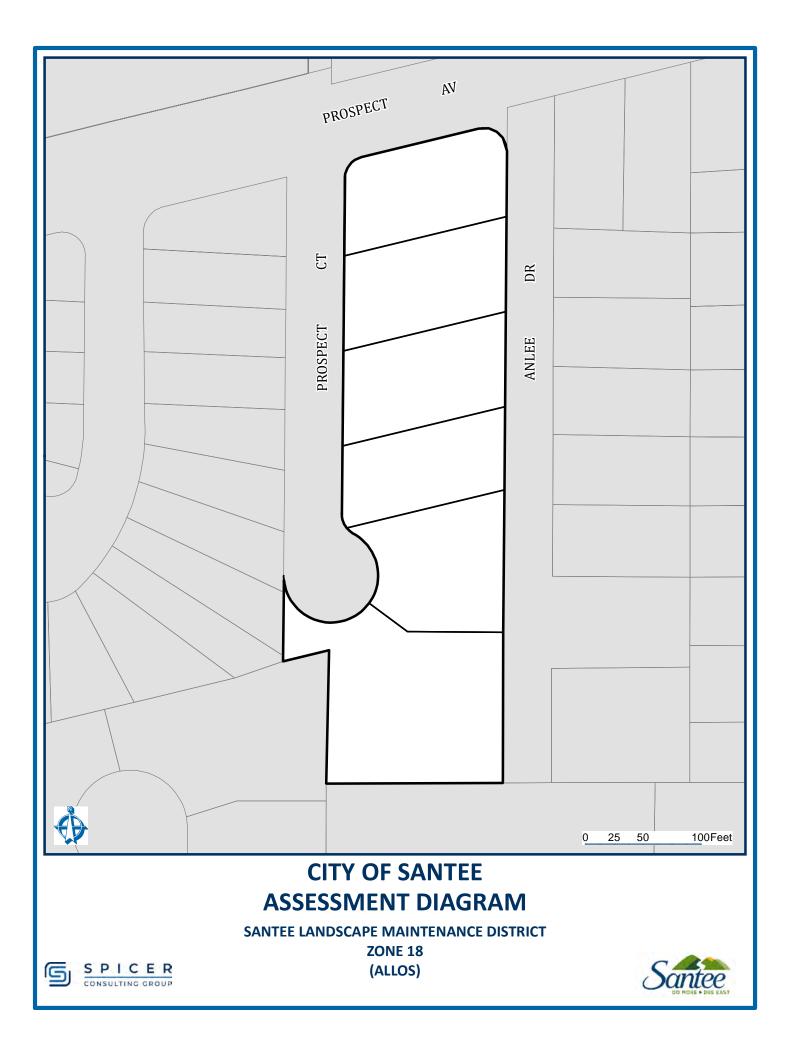


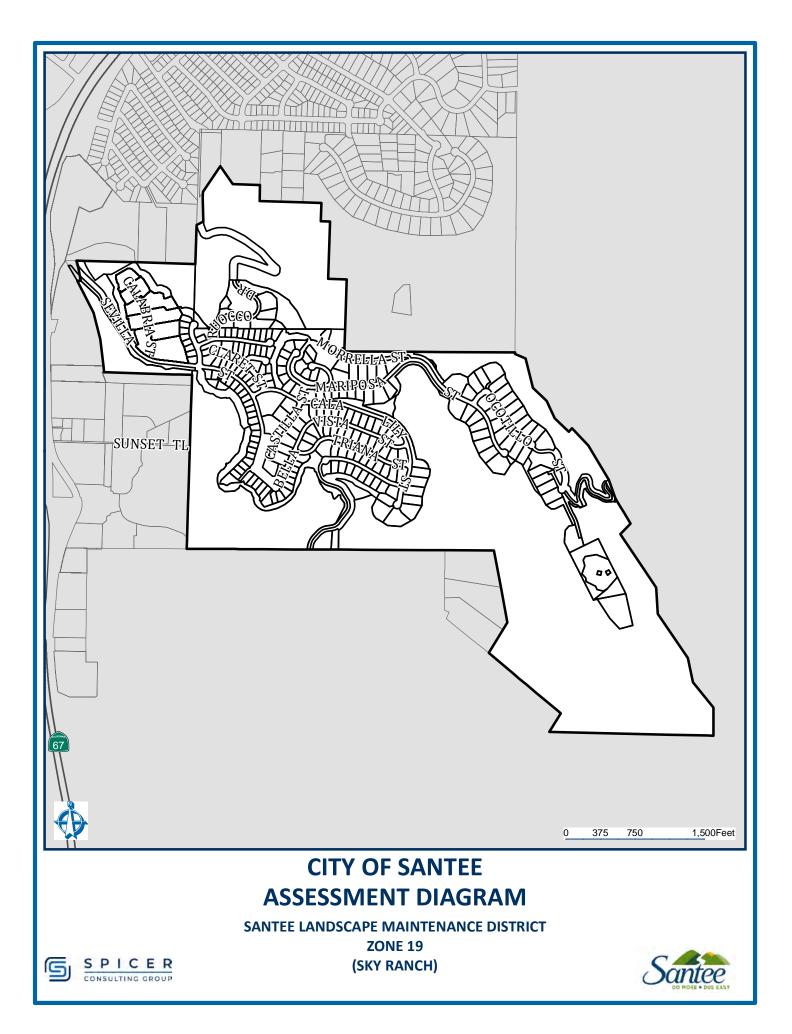












# Appendix D: Capital Improvement Projects

#### Appendix D Capital Improvement Projects

The Community Services Department is developing a maintenance plan for each zone that would include, operational activities, and revenue requirements to meet the objectives and service levels desired. Revenue requirements are set to cover annual operating costs and build reserves over time to perform focused capital replacements year over year, or large capital replacements in one anticipated year. Projects will be brought before City Council for approval as they are developed through the master plan. Zone specific projects are listed below:

#### Zone 12 Capital Project

For Fiscal Year 2025-26, the City budgeted \$3,500 for landscape/irrigation upgrades.

#### Zone 17 Capital Project

For Fiscal Year 2025-26, the City budgeted \$3,000 for landscape/irrigation upgrades.

#### Zone 18 Capital Project

For Fiscal Year 2025-26, the City budgeted \$1,500 for landscape/irrigation upgrades.



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#### A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTEE, CALIFORNIA, DECLARING ITS INTENTION TO PROVIDE FOR AN ANNUAL LEVY AND COLLECTION OF ASSESSMENTS FOR MAINTENANCE IN AN EXISTING DISTRICT, AND SETTING THE TIME AND PLACE FOR A PUBLIC HEARING THEREON FOR THE FY 2025-26SANTEE LANDSCAPE MAINTENANCE DISTRICT

WHEREAS, the City Council of the City of Santee, California has previously formed a street lighting and landscaping district pursuant to the terms and provisions of the "Landscaping and Lighting Act of 1972", being Division 15, Part 2 of the Streets and Highways Code of the State of California, Article XIII of the California Constitution , and the Proposition 218 Omnibus Implementation Act (commencing with California Government Code Section 53750) (collectively the "Law"), in what is known and designated as SANTEE LANDSCAPE MAINTENANCE DISTRICT ("District"); and,

**WHEREAS**, at this time, the facilities or improvements, as set forth in the Engineer's Report ("Report"), include landscaping within public streets, rights-of-ways and easements within various residential areas in the City; and

WHEREAS, at this time, this City Council desires to take proceedings to provide for the annual levy of assessments for the next ensuing fiscal year, to provide for the expenses necessary for continued maintenance of improvements within said District; and

WHEREAS, at this time there has been presented and approved by this City Council, a Report as required by law, and this City Council desires to move forth with the proceedings for said annual levy.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Santee, California, as follows:

**SECTION 1.** That the above recitals are all true and correct.

**SECTION 2.** The Report regarding the annual levy for said District, which Report is for maintenance for Fiscal Year 2025-26 that has been previously approved is directed to be filed in the Office of the City Clerk for public review. Reference is hereby made to the Report for a full and detailed description of the improvements, the boundaries of the District and any zones therein, and the proposed assessment.

**SECTION 3.** That the public interest and convenience requires, and it is the intention of this City Council to order, the annual assessment levy for the District as set forth and described in said Report, and further it is determined to be in the best public interest and convenience to levy and collect annual assessments to pay the costs and expenses of said maintenance of improvements as estimated in said Report.

**SECTION 4.** The assessments levied and collected shall be for the maintenance of certain improvements, as set forth in the Report, referenced and so incorporated herein.

**SECTION 5.** The assessment for Zone 1 - El Nopal Estates will increase from \$258.00 to \$265.15. Nine zones will have the same assessments in FY 2025-26 as in the prior year.

**SECTION 6.** There are no new improvements or any substantial changes to existing improvements.

**SECTION 7.** The County Auditor shall enter on the Assessment Roll the amount of the assessments, and shall collect said assessments at the same time and in the same manner as County taxes are collected. After collection, the net amount of the assessments, after the deduction of any compensation due to the County for collection, shall be paid to the Treasurer of the City of Santee for purposes of paying for the costs and expenses of said District.

**SECTION 8.** That all monies collected shall be deposited in a special fund known as: "SPECIAL FUND - SANTEE LANDSCAPE MAINTENANCE DISTRICT." Payment shall be made out of said fund only for the purpose provided for in this Resolution, and in order to expedite the making of this maintenance or improvement, the City Council may transfer into said special fund, from any available source, such funds as it may deem necessary to expedite the proceedings. Any funds shall be repaid out of the proceeds of the assessments provided for in this Resolution.

**SECTION 9.** Said maintenance work is, in the opinion of this City Council, of direct benefit to the properties within the boundaries of the District, and this City Council makes the costs and expenses of said maintenance chargeable upon a District, of which District this City Council hereby declares to be the District benefited by said improvements and their maintenance thereof, and to be further assessed to pay the costs and expenses thereof. Said District shall include each and every parcel of land within the boundaries of said District, as said District is shown within said Report, as approved by this City Council and on file in the Office of the City Clerk, and so designated by the name of the District.

**SECTION 10.** Any public properties, as defined in the Law, which are included within the boundaries of the District, shall be subject to any assessment to be made under these proceedings to cover any of the costs and expenses of said maintenance work.

**SECTION 11.** Notice is hereby given that a public hearing on this item will be held before the **SANTEE CITY COUNCIL** at 6:30 p.m., on Wednesday, July 9, 2025, regarding the annual levy of assessments, the extent of the maintenance, and any other matters contained within this resolution. Instructions for participating in the hearing will be posted by the City Clerk on the City's website at https://www.cityofsanteeca.gov. Any persons who wish to object to the proceedings for the annual levy should file a written protest with the City Clerk prior to the time set and scheduled for said public hearing.

**SECTION 12.** That the Finance Department is directed to publish a copy of this Resolution in a newspaper of general circulation within said City, said publication shall be not less than ten (10) days before the date set for said Public Hearing.

**SECTION 13**. This Resolution shall take effect immediately upon its adoption.

**ADOPTED** by the City Council of the City of Santee, California, at a Regular meeting thereof held this 14<sup>th</sup> day of May, 2025, by the following roll call vote to wit:

AYES:

NOES:

ABSENT:

APPROVED:

JOHN W. MINTO, MAYOR

ATTEST:

JAMES JEFFRIES, CITY CLERK



MEETING DATE May 14, 2025

ITEM TITLE RESOLUTIONS APPROVING THE ENGINEER'S REPORT AND DECLARING THE CITY COUNCIL'S INTENTION TO LEVY ASSESSMENTS AND SETTING A PUBLIC HEARING FOR THE FY 2025-26 TOWN CENTER LANDSCAPE MAINTENANCE DISTRICT ANNUAL LEVY OF ASSESSMENTS

# DIRECTOR/DEPARTMENT Heather Jennings, Finance

#### SUMMARY

Town Center Landscape Maintenance District ("TCLMD") was originally formed in 1987. It now comprises eight distinct zones, four of which have been historically assessed: Zone A - "Town Center Parkway," Zone B - "The Lakes," Zone C - "San Remo," and Zone D - the mixed-use project known as "Mission Creek." Contractors provide landscape and lighting maintenance services to the assessed zones. No assessment will be levied for Zones E through H for the Fiscal Year 2025-26 as the property owners' association has maintained the improvements to a level satisfactory to the City. Maps depicting each zone and the areas of maintenance are attached.

The City Council is required to take three distinct steps in order to proceed with the annual levy of assessments. The first step was taken on April 23, 2025 when the City Council formally initiated the proceedings and directed the preparation of an engineer's report, analyzing existing and proposed improvements to the District. The second step, which will be taken this evening, requires the City Council to take formal action to either approve or modify and approve the proposed engineer's report, declare its intention to provide for the annual levy of assessments and provide notice of a public hearing. Finally, on July 9, 2025, the City Council will take the final step and hold the public hearing and provide for the annual levy of assessments.

The attached Assessment Summary reflects TCLMD assessments, costs and available balances for FY 2025-26. There will be no change in the assessment for Zones A, B, C and D, as they are at the maximum assessment.

Due to inflationary increases, FY 2025-26 Maintenance and Administration budgets will exceed FY 2025-26 assessment revenues in all but one of the four maintenance zones. All four maintenance zones are currently being assessed at the maximum approved assessment amount allowed.

#### FINANCIAL STATEMENT

A total of \$321,780 is proposed to be assessed on property owners within Zones A, B, C and D of the TCLMD in FY 2025-26 for the cost of maintenance and administration.

#### CITY ATTORNEY REVIEW DN/A • Completed

### RECOMMENDATION

Adopt two Resolutions: 1) Approving the engineer's report, and 2) Declaring intention to levy assessments and setting a public hearing for July 9, 2025.

#### ATTACHMENT

Assessment Summary and Resolutions (Preliminary Engineer's Report and Assessment Diagrams)



#### ASSESSMENT SUMMARY FOR TOWN CENTER LANDSCAPE MAINTENANCE DISTRICT

#### FY 2025-26 FY 24-25 FY 25-26 Maximum **Benefit Unit** Maintenance & Reserves Levy Per Levy Per FY 25/26 Total Benefit Unit Zone Title Used Administration 7/1/2025 Benefit Unit **Total Levy** Levy \$1,627.00/ **Town Center** \$1,627.00/ А \$159,950.00 \$281,492.00 \$141,816.82 \$141,816.82 Acre \$2,973.00 \$2,973.00 Parkway (1) (1) SFH (2) \$17,960.00 \$84.48 \$84.48 \$7,518.72 \$7,518.72 В The Lakes \$34,692.00 SFH (2) \$15,060.00 \$29,921.00 \$7,855.92 \$7,855.92 С San Remo \$218.22 \$218.22 N/A D Mission Creek -Acre N/A \$5,481.35 \$5,481.35 \$46,749.08 \$46,749.08 Commercial SFH (2) \$117,832.00 Mission Creek -N/A \$286.00 \$286.00 N/A \$117,832.00 Residential Mission Creek -N/A \$163,220.00 \$175,371.00 N/A N/A \$164,581.08 \$164,581.08 All Uses

#### FY 2025-26 ASSESSMENTS VS. FY 2024-25 ASSESSMENTS AND APPROVED MAXIMUM ASSESSMENT

Notes:

(1) Based on a 1987 agreement with the RDA and The Price Company, the Costco parcel is levied a lower overall assessment. All other parcels are charged the second-shown rate.

(2) "SFH" means Single Family Home.

#### A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTEE, CALIFORNIA, APPROVING THE ENGINEER'S REPORT FOR THE ANNUAL LEVY OF ASSESSMENTS FOR FY 2025-26 FOR THE <u>TOWN CENTER LANDSCAPE MAINTENANCE DISTRICT</u>

WHEREAS, the City Council of the City of Santee, pursuant to the provisions of the "Landscaping and Lighting Act of 1972", being Division 15, Part 2 of the Streets and Highways Code of the State of California, Article XIII D of the California Constitution and the Proposition 218 Omnibus Implementation Act (commencing with California Government Code Section 53750) (collectively the "Law"), did by previous Resolution, order the preparation of an Engineer's Report for the annual levy of assessments, consisting of plans and specifications, an estimate of the costs, a diagram of the district, and an assessment of the costs relating to what is known and designated as: TOWN CENTER LANDSCAPE MAINTENANCE DISTRICT ("District"); and,

WHEREAS, the FY 2025-26 Assessment Engineer's Report ("Report") has been presented to this City Council as required by the Law and as previously directed by Resolution; and

WHEREAS, this City Council has examined and reviewed the Report as presented, and is satisfied with each and all of the items and documents as set forth therein, and is satisfied that the assessments, on a preliminary basis, have been spread in accordance with the benefits received from the maintenance to be performed, as set forth in said Report.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Santee, California, as follows:

- **SECTION 1.** That the above recitals are all true and correct.
- **SECTION 2.** That the Report as presented, consisting of:
  - A. plans and specifications of the maintenance of the improvements to be performed;
  - B. estimates of the cost of the maintenance of the improvements to be performed, including the cost of incidental expenses in connection therewith, and including that portion of the costs and expenses representing the special benefit to be conferred by such maintenance of the improvements on the parcels within the District;

- C. diagram of the District, which shows (i) the exterior boundaries of the District; (ii) the boundaries and zones within the District; and (iii) the lines and dimensions of each parcel of land within the District; provided, however, such diagram may refer to the county assessor's maps for a detailed description of such lines and dimensions, in which case such maps shall govern for all details concerning such lines and dimensions;
- D. a description of the maintenance of the improvements to be performed; and
- E. the assessment of the total amount of the cost and expenses of the maintenance of the improvements upon the several divisions of land in the District in proportion to the estimated special benefits to be conferred on such subdivisions, respectively, by such maintenance;

is hereby approved as filed, attached and on file in the Office of the City Clerk as a permanent record and is to remain open to public inspection.

**ADOPTED** by the City Council of the City of Santee, California, at a Regular meeting thereof held this 14<sup>th</sup> day of May, 2025, by the following roll call vote to wit:

AYES:

NOES:

ABSENT:

**APPROVED:** 

#### JOHN W. MINTO, MAYOR

ATTEST:

JAMES JEFFRIES, CITY CLERK

Exhibit A: Preliminary Engineer's Report



# CITY OF SANTEE

Preliminary Engineer's Report





# Fiscal Year 2025-26

Santee Town Center Landscape Maintenance District

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<b>Appendices</b>	

Table 3-1 Summary of Assessments

Appendices
Appendix A – Assessment Rolls
Appendix B – Assessment Diagrams
Appendix C – Capital Improvement Projects





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# AGENCY:CITY OF SANTEEPROJECT:SANTEE TOWN CENTER LANDSCAPE MAINTENANCE DISTRICTTO:CITY COUNCIL<br/>CITY OF SANTEE

#### STATE OF CALIFORNIA

#### REPORT PURSUANT TO "LANDSCAPING AND LIGHTING ACT OF 1972"

Pursuant to direction from the City Council, submitted herewith is the Engineer's Report (the "Report"), consisting of the following parts, pursuant to the provisions of Division 15, Part 2 of the Streets and Highways Code of the State of California, being the "Landscape and Lighting Act of 1972," as amended, commencing with Section 22500, and which is in accordance with Resolution No. 042-2025 adopted by the City of Santee, City Council, San Diego County, California ordering preparation of the Engineer's Report for Santee Town Center Landscape Maintenance District (the "District"). This Report is applicable for the ensuing 12-month period, being the Fiscal Year commencing July 1, 2025, to June 30, 2026. Please note that Spicer Consulting Group, LLC provides engineering advice and related consulting engineering services.

- Section 1 PLANS AND SPECIFICATIONS of the improvements to be maintained and/or improved for the Fiscal Year. The plans and specifications show and describe the existing improvements, and are sufficient in showing and describing the general nature, location and extent of the improvements.
- Section 2 A COST ESTIMATE of the improvements to be maintained and/or improved for the mentioned Fiscal Year.
- Section 3 A METHOD OF APPORTIONMENT OF ASSESSMENT calculates the receipt of special benefit and the general benefit derived from the installation and maintenance and servicing of the respective improvements located throughout the District, and the methodology used to apportion the total assessment to the properties within the District.
- Section 4 ASSESSMENT ROLLS showing the proportionate amount of the assessment to be charged in proportion to the benefits to be received by each lot or parcel within the boundaries as shown on the below-referenced Diagram. The Assessment Rolls can be found in Appendix A.
- Section 5 The ASSESSMENT DIAGRAMS of the District. Said Diagrams shall show the boundaries of the District and the boundaries of any zones within the District. Reference is made to the County Assessor's Maps for a detailed description of the lines and dimensions of any lots or parcels. The lines and dimensions of each lot shall conform to those shown on the County Assessor's Maps for the Fiscal Year to which the Report applies. The Assessment Diagrams can be found in Appendix B.





#### Description of the Boundaries and Improvement Services of Santee Town Center Maintenance District

Landscaping facilities or improvements are defined as landscaping within public streets and public right-of-way and easements, their appurtenances and the costs of installing, operating and maintaining them. Improvements to be performed generally consist of maintenance of median and right-of-way landscaping, including but not limited to personnel costs, electrical energy, water, materials, contracting services and other items necessary for the satisfactory delivery of these services.

#### Benefit Zone A – Town Center

- Town Center is located north of Mission Gorge Road and west of Cuyamaca Street, and all parcels along Town Center Parkway between Mission Gorge Road and Cuyamaca Street within the incorporated territory of the City of Santee. The zone consists of 30 commercial units with 54.04 acres of land.
- The primary improvements provided within Zone A may include but are not limited to: medians within Town Center Parkway, open space and landscape easements, public alleyways within the boundaries of the District, and public walkways and pathways within the District.

#### Benefit Zone B – The Lakes

- The Lakes is located north of Palm Glen Drive and west of Magnolia Avenue within the incorporated territory of the City of Santee. The zone consists of 89 residential units.
- The primary improvements provided within Zone B may include but are not limited to: public walkways and landscape easements, and walkways and parkway landscaping within the public right-of-way on Palm Glen Drive and Magnolia Avenue.

#### Benefit Zone C – San Remo

- San Remo is located south of Mast Boulevard with parcels along both sides of San Remo Court and Bilteer Court within the incorporated territory of the City of Santee. The zone consists of 36 residential units.
- The primary improvements provided within Zone C may include but are not limited to: public walkways and sound walls on Mast Boulevard, open space, landscape and drainage easements.

#### Benefit Zone D – Mission Creek

- Mission Creek is located west of Cuyamaca Street and all parcels on cul-de-sacs off of Mission Creek Drive and River Park Drive west of Cuyamaca Street within the incorporated territory of the City of Santee. The zone consists of 181 single family residential units, 231 multi-family residential units, 19 commercial units, and one exempt parcel.
- The primary improvements provided within Zone D may include but are not limited to: landscape easements, public access, walkways and parkways throughout the Mission Creek development, Western bike path, entrance monuments on the corners of Cuyamaca Street and River Park Drive, San Diego River Channel improvements (i.e., Linear Park, Pedestrian Bridge, Riparian Habitat, etc.), landscape easements, public access, walkways and parkways at Commercial Unit No. 3, landscape easements, public access, walkways and parkways at the Mission Creek Townhomes, and landscape easements, public access, walkways and parkways at the Mission Creek Townhomes, and landscape easements, public access, walkways and parkways at the Mission Creek Cluster Homes.

#### Benefit Zone E – Trolley Square

- Trolley Square is located north of Mission Gorge Road and south of Town Center Parkway, east of Cuyamaca Street and west
  of Civic Center Drive within the incorporated territory of the City of Santee. The zone consists of 12 commercial units with
  44.43 acres of land.
- The primary improvements provided within Zone E may include but are not limited to: landscape, maintenance and access easements, parkway landscaping and appurtenances within the public right-of-way on the north side of Mission Gorge Road between Cuyamaca Street and Civic Center Drive, parkway landscaping and appurtenances within the public right-of-way on the west side of Civic Center Drive between Mission Gorge Road and Street B, parkway landscaping and appurtenances within the public right-of-way on the south side of Street B between Civic Center Drive and Town Center Parkway, parkway landscaping and appurtenances within the public right-of-way on the south side of Street B between Civic Center Drive and Town Center Parkway, parkway landscaping and appurtenances within the public right-of-way on the south side of Town Center Parkway between Street B and Cuyamaca Street, parkway landscaping and appurtenances within the public right-of-way on the east side of Cuyamaca Street between Town Center Parkway and Mission Gorge Road, water feature at corner of Cuyamaca Street and Mission



#### 1. Plans and Specifications

Gorge Road, water feature at corner of Mission Gorge Road and Civic Center Drive, and water feature at the north end of the trolley station.

#### Benefit Zone F – Hartford Property

- Hartford Property is located east of Cuyamaca Street and Civic Center Drive and west of Cottonwood Avenue, south of River Park Drive and northeast of Town Center Parkway, and Street B Drive within the incorporated territory of the City of Santee. The zone consists of 1 commercial unit with 7.97 acres of land.
- The primary improvements provided within Zone F may include but are not limited to: landscape, maintenance and access easements, parkway landscaping and appurtenances within the public right-of-way on the north side of Mission Gorge Road between Willow Avenue and Civic Center Drive, parkway landscaping and appurtenances within the public right-of-way on the east side of Civic Center Drive between Mission Gorge Road and Street B.

#### Benefit Zone G – Riverwalk

- Riverwalk is located east of Cuyamaca Street and east of Park Center Drive, south of Mast Boulevard and along the north side of Riverwalk Drive within the incorporated territory of the City of Santee. The zone consists of 218 residential units.
- The primary improvements provided within Zone G may include but are not limited to: landscaping along Riverwalk Drive and Park Center Drive adjacent to the site and the entrance to the Riverwalk project (approximately 22,259 SF).

#### Benefit Zone H – Riverview

- Riverview is located east of Cuyamaca Street and west of Magnolia Avenue, southeast of Riverwalk Drive and north of Mission Gorge Road within the incorporated territory of the City of Santee. The zone has 6 units of commercial/residential property with 78.30 acres of land.
- The primary improvements provided within Zone H may include but are not limited to: landscaping along the east side of Cuyamaca Street, landscaping along the north side of Town Center Parkway, landscaping along the north side of Transit Way, landscaping along the west and north sides of Riverview Parkway, and landscaping along the north side of Mission Gorge Road, landscaping along the east and south sides of Riverview Parkway, landscaping along the north side of Riverview Parkway, landscaping along the north side of Riverview Parkway, landscaping along the north side of Riverview Parkway, landscaping along the west side of Magnolia Avenue, and pedestrian easement.



The 1972 Act provides that the total cost of installation, construction, maintenance and servicing of the public landscaping and park facilities that can be recovered by the District. Maintenance can include the repair and/or replacement of existing facilities. Servicing can include electrical and associated costs from a public utility. Incidental expenses, including administration of the District, engineering fees, legal fees, printing, posting, and mailing of notices, and all other costs associated with the formation and maintenance of the District can also be included. The estimated expenditures for maintenance and the assessments to be levied for Fiscal Year 2025-26 under consideration for this report have been provided by the City and are as follows for each zone.

#### Table 2-1 Benefit Zone A – Town Center

Description	Fiscal Year 2025-26 Estimated Through June 30, 2026
Revenues	
Assessments	\$141,820
Interest	\$6,950
City of Santee Contribution	\$25,820
Reserve Fund Contribution/(Collection)	(\$14,640)
Total Revenues	\$159,950
Expenditures	
Administration	\$2,820
Advertising	\$210
Electricity & Gas - Grounds	\$13,390
Water & Sewer - Grounds	\$50,930
Repair/Maintenance - Grounds	\$88,200
Irrigation Materials	\$0
Internal Service Charges	\$4,400
Total Expenditures/Proposed Budget	\$159,950

#### Table 2-2 Benefit Zone B – The Lakes

Description	Fiscal Year 2025-26 Estimated Through June 30, 2026
Revenues	
Assessments	\$7,520
Interest	\$990
Reserve Fund Contribution/(Collection)	\$9,450
Total Revenues	\$17,960
Expenditures	
Administration	\$150
Advertising	\$20
Water & Sewer - Grounds	\$5,270
Repair/Maintenance - Grounds	\$12,250
Internal Service Charges	\$270
Total Expenditures/Proposed Budget	\$17,960





#### Table 2-3 Benefit Zone C – San Remo

Description	Fiscal Year 2025-26 Estimated Through June 30, 2026
Revenues	
Assessments	\$7,860
Interest	\$970
Reserve Fund Contribution/(Collection)	\$6,230
Total Revenues	\$15,060
Expenditures	
Administration	\$160
Advertising	\$20
Water & Sewer - Grounds	\$4,200
Repair/Maintenance - Grounds	\$10,450
Internal Service Charges	\$230
Total Expenditures/Proposed Budget	\$15,060

# Table 2-4Benefit Zone D – Mission Creek

Description	Fiscal Year 2025-26 Estimated Through June 30, 2026
Description Revenues	Julie 30, 2020
	¢1/4 500
Assessments	\$164,580
Interest	\$5,100
Reserve Fund Contribution/(Collection)	(\$6,460)
Total Revenues	\$163,220
Expenditures	
Administration	\$3,280
Advertising	\$250
Electricity & Gas - Grounds	\$12,000
Water & Sewer - Grounds	\$96,000
Repair/Maintenance - Grounds	\$46,590
Irrigation Materials	\$0
Internal Service Charges	\$5,100
Total Expenditures/Proposed Budget	\$163,220

The maximum assessment rate per acre for Zones E, F and G may be increased by 2% by City Council approval each year. The maximum assessment rate per acre for Zone H may be increased by City Council approval each year by (i) the Consumer Price Index - all Urban Consumers for the San Diego Area or (ii) two percent (2%), whichever is greater.

No assessment will be levied for Zones E through H for the Fiscal Year 2025-26 as the property owners' association has maintained the improvements to a level satisfactory to the City.





#### Proposition 218 Compliance

On November 5, 1996, California voters approved Proposition 218 entitled "Right to Vote on Taxes Act" which added Article XIIID to the California Constitution. While its title refers only to taxes, Proposition 218 establishes new procedural requirements for the formation and administration of assessment districts. Proposition 218 also requires that with certain specified exception, which are described below, all existing assessment districts must be ratified by the property owners within the District using the new procedures.

Some of these exceptions include:

1) Any assessment imposed exclusively to finance the capital cost or maintenance and operation expenses for streets.

2) Any assessments levied pursuant to a petition signed by the persons owning all of the parcels subject to the assessment at the time the assessment was initially imposed.

However, even if assessments are initially exempt from Proposition 218, if the assessments are increased in the future, the City will need to comply with the provisions of Proposition 218 for that portion of the increased assessment formula (e.g., CPI increase).

Proposition 218 does not define this term "streets", however, based on the opinions of the public agency officials, attorneys, assessment engineers and Senate Bill 919, it has been determined that streets include all public improvements located within the street right-of-way. This would include median and parkway landscaping, traffic signals, safety lighting and street lighting.

Proposition 218 defines "assessment" as "any levy or charge upon real property by an agency for a special benefit conferred upon the real property." Cal. Const., art. XIIID, §2(b). A special assessment, sometimes called a "benefit assessment," is a charge generally levied upon parcels of real property to pay for benefits the parcels receive from local improvements. Special assessments are levied according to statutory authority granted by the Legislature or, in some instances, local charters. Distinguishing among taxes, fees and assessments can be difficult and often depends on the context in which the distinction is made. For example, taxes, assessments and property-related fees all may be imposed on property. The key feature that distinguishes an assessment from a tax, fee or charge is the existence of a special benefit to real property. Without identifying a special benefit, there can be no assessment.

#### Method of Apportionment

Pursuant to the Landscaping and Lighting Act of 1972 and Article XIII D of the Constitution of the State of California, all parcels that have special benefit conferred upon them as a result of the maintenance and operation of improvements shall be identified and the proportionate special benefit derived by each identified parcel shall be determined in relationship to the entire cost of the maintenance and operation of the improvements. Only parcels that receive direct special benefit are assessed, and each parcel is assessed in proportion to the estimated benefit received.

The Act also permits the designation of zones of benefit within any individual assessment district if "by reasons or variations in the nature, location, and extent of the improvements, the various areas will receive different degrees of benefit from the improvement" (S&H S22574). Thus, the 1972 Act requires the levy of a true "assessment" rather than a "special tax." Excepted from the assessment would be the area of all public streets and right-of-way; all public parks, greenbelts and parkways.

#### **Special Benefit Determination**

The City of Santee considers the maintenance and upkeep of parkways and adjacent slopes to be the responsibility of the adjacent development due to the added beautification of the local community which extends to the perimeter of the development.

Improvements that provide a special benefit to an isolated group of parcels of land located within the District are considered to be a localized benefit, and the costs associated with these improvements are assessed to all parcels receiving the localized benefit. Localized benefits include the construction, operation, servicing and maintenance of the improvements that only benefit the parcels located within the localized areas.

*Localized Landscaping* – Parcels that have localized landscaping such as entryway landscaping, parkway landscaping, etc. adjacent to or near their parcels directly benefit from the landscaping improvements and are assessed for the costs of the localized landscaping.



#### **General Benefit**

The landscape improvements maintained by each zone provide no general public benefit in that the improvements were installed for the sole benefit of the properties within each benefit zone. The landscape improvements do not extend beyond the perimeter of the boundary of each of those benefit zones. It is therefore determined that all properties within each zone benefit equally from the financed improvements and the costs and expenses for the landscaping maintenance and services are apportioned on a per parcel basis.

The actual assessment and the amount of the assessment for the Fiscal Year 2025-26 apportioned to each parcel as shown on the latest equalized roll at the County Assessor's office are listed in Appendix A of this Report. The description of each lot or parcel is part of the records of the County of San Diego Assessor's Office and such records are, by reference, made part of this Report.

#### **Special Benefit Zones**

The Santee Town Center Landscape Maintenance District has eight (8) special benefit zones.

*Zones "A Through H"* were established to accurately track and assess the costs associated with the localized landscaping improvements such as entryway landscaping and parkway landscaping, etc. for specific development sites. These improvements are only assessed to the parcels within the development sites that directly benefit from the improvements.

#### ZONE A – TOWN CENTER

The method of apportionment for Zone A is based upon the percentage of square footage of landscaping, maintained in the right-ofway, adjacent to an individual property owner's property. The actual adjacent values have been calculated and percentages have been determined to be as indicated in the following figure for the District. Individual parcels within a landscape district will receive benefits based on land use, size and location of landscaping. In the case of the Santee Town Center Landscape Maintenance District, Zone A, all parcels are zoned for commercial usage. Assessor Parcel 381-041-18 is designated as a public street and is exempt from assessment.

#### ZONE B – THE LAKES

The method of apportionment for Zone B is based upon the finding that each residential unit within the zone shares an equal benefit from landscaped areas to be maintained. The assessment for each unit will be determined by dividing the total assessment costs by the total number of units in Zone B. Individual parcels within a landscape district will receive benefits based on land use, size and location of landscaping. In the case of the Santee Town Center Landscape Maintenance District, Zone B, all parcels are zoned for residential usage. All parcels share an equal benefit in landscape areas that are adjacent to Palm Glen Drive and Magnolia Avenue.

#### ZONE C – SAN REMO

The method of apportionment for Zone C is based upon the finding that each residential unit within the zone shares an equal benefit from landscaped areas to be maintained. The assessment for each unit will be determined by dividing the total assessment costs by the total number of units in Zone C. Individual parcels within a landscape district will receive benefits based on land use, size and location of landscaping. In the case of the Santee Town Center Landscape Maintenance District, Zone C, all parcels are zoned for residential usage. All parcels share an equal benefit in landscaped areas and are accessible from Mast Boulevard.

#### ZONE D – MISSION CREEK

The methodology to be used to apportion the assessments to those parcels in Zone D, Mission Creek, will be based upon the special benefit received. Based upon a review of the proposed land uses for Tentative Map No. 87-01 (November 8, 1989) and Revised Illustrative Site Plan C (September 22, 1989), provided by City staff, it is recommended that the single-family parcel be used as the basic unit of calculation for the assessments. Single family residential parcels account for approximately 60% of the proposed residential development within the project. Individual parcels within a landscape district will receive benefits based on land use, size and location of landscaping. In the case of the Santee Town Center Landscape Maintenance District, Zone D, the property has been designated for single family residential, multi-family residential and commercial usage. All parcels will be assessed a fair and equitable portion of the landscape improvements benefiting the properties.

The following methodology has been developed to calculate the EDUs to be assigned to each lot or parcel within the Zone based on land use and parcel size:



#### 3. Method of Apportionment of Assessment

*Single Family Residential* - The single family parcel was selected as the basic unit of calculation for the assessments, and is defined as one Equivalent Dwelling Unit (EDU). A methodology has been developed to calculate the EDUs for other residential land uses and for commercial/industrial parcels as described below based on land use and parcel size.

*Multi-Family Residential* - The EDUs for land zones for multi-family uses would be assessed 1 EDU per dwelling unit, e.g., a parcel with 100 condominium units would be assigned 100 EDUs.

*Vacant Residential* - The EDUs for parcels defined as residential but having no dwelling unit on them are calculated based on 1.8 EDUs per acre or any portion thereof, with a minimum of 0.20 EDU. This allocation was developed by dividing the average residential lot size in this project of 4,700 sq.ft. into 43,560 sq.ft. (1 acre) and then assigning twenty (20) percent of the calculated EDUs to the parcel (twenty percent estimates the ratio of land value to land value plus improvement).

*Commercial* - The EDUs for land zoned for commercial uses would be assigned at the rate of nine (9) EDUs per acre. This allocation has been developed by dividing the average residential lot size in this project of 4,700 sq.ft. into 43,560 sq.ft. (1 acre).

*Vacant Commercial* - Parcels defined as vacant commercial parcels would be assigned EDUs at the allocated rate of 20% of the Commercial rate, which have structures or improvements on them.

The assessment per equivalent dwelling unit (cost per EDU) will be determined by dividing the total assessment to be levied by the total number of EDUs. The assessment for each parcel would be calculated by multiplying the parcel's number of EDUs by the cost per EDU.

#### ZONE D – BENEFIT ZONES

In order to determine charges or rates based on the benefit(s) received by each lot or parcel, it is recommended that two subzones be established within Zone D, Mission Creek. Based on review of the proposed improvements and facilities to be maintained and operated by Zone D, a Residential Subzone (including single family and multi-family residential parcels) and a Commercial Subzone should be established.

The Zone-wide improvements include the San Diego River Channel improvements, consisting of the Linear Park, Pedestrian Bridge and Riparian Habitat. The San Diego River Channel improvements provide a special benefit to all parcels in the zone since the improvements border the entire project and were required by the conditions of development for the entire project. Therefore, the maintenance costs for these improvements are spread to all parcels in the zone.

The improvements at Commercial Unit No. 3, consisting of the maintenance of monuments on Cuyamaca Street and River Park Drive, landscape easements, public access, walkways and parkways provide a special benefit to the parcels in the Commercial Subzone since the improvements front the Commercial Subzone and were required by the conditions of development for the project.

The parcels in the Residential Subzone receive a special benefit from the maintenance of the western bike path and the improvements for Residential Units 1 and 2, the Mission Creek Townhomes and the Cluster Homes, which consist of entrance monuments, landscape easements, public access, walkways and parkways, since the improvements front the Residential Subzone and were required by the conditions of development for the project.

#### ZONE E – TROLLEY SQUARE

The methodology to be used to apportion the assessments to those parcels in Zone E, Trolley Square, will be based upon the special benefit received. The following methodology has been developed to calculate the benefit to be assigned to each lot or parcel within the Zone based on land use and parcel size. Individual parcels within a landscape district will receive benefits based on land use, size and location of landscaping improvements to be installed, operated or maintained. In the case of the Santee Town Center Landscape Maintenance District, Zone E, all parcels are zoned for commercial usage. There are no public properties in Zone E that benefit from the improvements.

*Commercial* - The benefit for land zoned for commercial uses would be assigned on a per acre basis, where one acre of commercial land equals one adjusted acre of commercial land.

*Vacant Commercial* - Parcels defined as vacant commercial parcels would be assigned benefit at the allocated rate of 20% of the Commercial rate, which have structures or improvements on them. Therefore, one acre of vacant commercial land equals 0.20 adjusted acre of vacant commercial land.



The assessment per parcel will be determined by dividing the total assessment to be levied by the sum of the adjusted acreage. The assessment for each parcel would be calculated by multiplying the parcel's adjusted acreage by the cost per adjusted acre.

#### ZONE F – HARTFORD PROPERTY

The methodology to be used to apportion the assessments to those parcels in Zone F, Hartford Property, will be based upon the special benefit received. The following methodology has been developed to calculate the benefit to be assigned to each lot or parcel within the Zone based on land use and parcel size.

*Commercial* - The benefit for land used for developed commercial/public uses would be assigned on a per acre basis.

*Vacant Commercial* - Parcels defined as vacant commercial parcels would be assigned benefit at the allocated rate of 20% of the Commercial rate, which have structures or improvements on them, i.e. developed.

The assessment per parcel will be determined by dividing the total assessment to be levied by the sum of the acreage. The assessment for each parcel would be calculated by multiplying the parcel's acreage by the cost per acre.

#### ZONE G – RIVERWALK

The method of apportionment for Zone G is based upon the finding that each residential unit within the zone shares an equal benefit from landscaped areas to be maintained. The assessment for each unit will be determined by dividing the total assessment costs by the total number of units in Zone G.

#### ZONE H – RIVERVIEW

The methodology to be used to apportion the assessments to those parcels in Zone H (Riverview) will be based upon the special benefit received. The following methodology has been developed to calculate the benefit to be assigned to each lot or parcel within the Zone based on land use and parcel size.

*Residential* - The benefit for land used for developed residential uses would be assigned on a per acre basis and then converted to per unit cost based on the number of residential units.

*Commercial* - The benefit for land used for developed commercial/public uses would be assigned on a per acre basis.

*Vacant Commercial* - Parcels defined as vacant commercial parcels would be assigned benefit at the allocated rate of 20% of the Commercial rate, which have structures or improvements on them, i.e. developed.

The assessment per parcel will be determined by dividing the total assessment to be levied by the sum of the acreage. The assessment for each parcel would be calculated by multiplying the parcel's acreage by the cost per acre.

#### **Annual Assessment Rate Increases**

Based on an analysis of the projected operations and maintenance costs associated with existing and future public improvements within Zone A – Town Center, a maximum assessment of \$2,973 per acre has been established for the 71.1% portion and \$1,627 per acre for the Costco portion. Zones B and C were not established with a CPI escalator and cannot increase without a majority approval Proposition 218 Ballot process. Based on an analysis of the projected operations and maintenance costs associated with existing and future public improvements within Zone D – Mission Creek, a maximum cap of \$286 per EDU has been established for the Residential Subzone and \$5,480 per acre for the Commercial Subzone.

The maximum assessment rate per acre for Zones E, F and G may be increased by 2% by City Council approval each year. The maximum assessment rate per acre for Zone H may be increased by City Council approval each year by (i) the Consumer Price Index - all Urban Consumers for the San Diego Area or (ii) two percent (2%), whichever is greater. Annually, the City Council will determine the operations and maintenance budgeting needs for each zone and determine the annual assessment. The annual assessment amount will not exceed these maximum rates unless a balloting process in compliance with Proposition 218 is completed. Based on an analysis of the projected operations and maintenance costs associated with the public improvements within Zone E (Trolley Square), the maximum assessment rate for FY 2025-26 will be \$6,087.44 per adjusted acre. Based on an analysis of the projected operations and maintenance costs associated with the public improvements within Zone F (Hartford Property), the maximum assessment rate for FY 2025-26 will be \$4,329.53 per acre. Based on an analysis of the projected operations and maintenance costs associated with the public improvements within Zone F (Y 2025-26 will be \$4,329.53 per acre. Based on an analysis of the projected operations and maintenance costs associated with the public improvements within Zone F (Y 2025-26 will be \$170.58)



#### 3. Method of Apportionment of Assessment

per EDU. Based on an analysis of the projected operations and maintenance costs associated with existing and future public improvements within Zone H (Riverview), the maximum assessment rate for FY 2025-26 will be \$11,522.16 per acre for Commercial property and \$620.75 per unit for Residential property.

#### **Annual Assessment Rate Increases**

#### Zone A – Town Center

Cost x Percentage of Square Footage / Parcel Costco Portion Remaining Portion <b>Proposed Levy Amount</b>	\$1,627 per Acre \$2,973 per Acre <b>\$141,816.82</b>
Zone B – The Lakes	
Calculated Fiscal Year 2025-26 Assessment per Parcel Total Assessable Parcels Proposed Levy Amount	\$84.48 89 <b>\$7,518.72</b>
Zone C – San Remo	
Calculated Fiscal Year 2025-26 Assessment per Parcel Total Assessable Parcels Proposed Levy Amount	\$218.22 36 <b>\$7,855.92</b>

#### Zone D – Mission Creek

Improvements which benefit the entire zone include the San Diego River improvements, and have been allocated to all parcels.

#### **Total Assessment Cost/Total No. of EDUs**

\$80,743/488.76 EDUs = \$165.20/EDU

The Improvements for Commercial Unit No. 3 benefit the parcels in the Commercial Subzone, and have been spread to all parcels.

#### **Total Assessment Cost/Total No. of EDUs**

\$34,069/76.76 EDUs = \$443.84/EDU

The total assessment rate for parcels in the Commercial Subzone will be \$609.04 per EDU (including the improvements for Commercial Unit No. 3 and the improvements that benefit the entire zone).

The improvements for the Western Bike Path, Residential Units 1 and 2, the Townhouses and the Cluster Homes benefit the parcels in the Residential Subzone and have been spread to all parcels in the subzone.

#### Total Assessment Cost/Total No. of EDUs

\$49,770/412 EDUs = \$120.80/EDU

#### The total proposed levy amount for Zone D – Mission Creek is \$164,581.08.

The total assessment rate for parcels in the Residential Subzone will be \$286.00 per EDU (including the improvements for the Western Bike Path, Residential Units 1 and 2, the Townhomes, the Cluster Homes and the improvements that benefit the entire zone).

#### Zone E – Trolley Square

The maximum assessment rate for FY 2025-26 will be increased by 2% to \$6,087.44/adjusted acre. No assessment will be levied for the Fiscal Year 2025-26 as the property owners' association has maintained the improvements to a level satisfactory to the City. Individual parcels within a landscape district will receive benefits based on land use, size and location of landscaping improvements to be installed, operated or maintained. In the case of the Santee Town Center Landscape Maintenance District, Zone E, all parcels are zoned for commercial usage. There are no public properties in Zone E that benefit from the improvements.



#### Zone F – Hartford Property

The maximum assessment rate for FY 2025-26 will be increased by 2% to \$4,329.53/acre. No assessment will be levied for the Fiscal Year 2025-26 as the property owners' association has maintained the improvements to a level satisfactory to the City. Individual parcels within a landscape district will receive benefits based on land use, size and location of landscaping improvements to be installed, operated or maintained. In the case of the Santee Town Center Landscape Maintenance District, Zone F, all parcels, with the exception of one, are zoned for commercial usage. There is one (1) public property in Zone F that benefits from the improvements.

#### Zone G - Riverwalk

The maximum assessment rate for FY 2025-26 will be increased by 2% to \$170.58 per EDU. No assessment will be levied for the Fiscal Year 2025-26 as the property owners' association has maintained the improvements to a level satisfactory to the City. Individual parcels within a landscape district will receive benefits based on land use, size and location of landscaping improvements to be installed, operated or maintained. In the case of Zone G of the Santee Town Center Landscape Maintenance District, all parcels are zoned for residential usage for the current year. We have investigated the properties in Zone G and have determined that there are no public properties that benefit from the improvements. There are public streets, public rights-of-way, and easements within Zone G, but they do not benefit from the improvements.

#### Zone H – Riverview

The maximum assessment rate for FY 2025-26 will be increased by 2.77% (which represents the greater of the increase in the Consumer Price Index - all Urban Consumers for the San Diego Area or 2%) to \$11,522.16 per acre for Commercial property and \$620.75 per unit for Residential property. No assessment will be levied for the Fiscal Year 2025-26 as the management association has maintained the improvements to a level satisfactory to the City. Individual parcels within a landscape district will receive benefits based on land use, size and location of landscaping improvements to be installed, operated or maintained. In the case of the Santee Town Center Landscape Maintenance District, Zone H, all assessable parcels are zoned for commercial usage. We have investigated the properties in Zone H and have determined that there are currently five (5) public properties that benefit from the improvements.



#### 3. Method of Apportionment of Assessment

Whereas, on April 23, 2025, a Resolution of the City Council of the City of Santee, California, Initiating Proceedings and Ordering the Preparation of an Engineer's Report for the FY 2025-26 Town Center Landscape Maintenance District Annual Levy of Assessments was ordered;

Whereas, the Resolution Initiating Proceedings for the Annual Levy of Assessments and Ordering the Preparation of an Engineer's Report directed Spicer Consulting Group, LLC., to prepare and file a report presenting plans and specifications describing the general nature, location and extent of the improvements to be maintained, an estimate of the costs of the maintenance, operations and servicing of the improvements for the Santee Town Center Landscape Maintenance District for the referenced fiscal year, a diagram for the District showing the area and properties to be assessed, and an assessment of the estimated costs of the maintenance, operations and servicing the improvements, assessing the net amount upon all assessable lots and-or parcels within the District in proportion to the special benefit received;

Whereas, on May 14, 2025, the City Council of the City of Santee, State of California, under the Landscaping and Lighting Act of 1972, plans to adopt its Resolution of Intention for the Annual Levy of Assessments declaring its intention to levy assessments for the Santee Town Center Landscape Maintenance District and provide notice of the public hearing;

Now Therefore, the following assessment is made to cover the portion of the estimated costs of maintenance, operation and servicing of said improvements to be paid by the assessable real property within the District in proportion to the special benefit received.



#### Summary of Assessments

#### *Table 3-1 Summary of Assessments*

Description	Budgeted for FY 2025-26
Zone A - Town Center	
Total Assessment for FY 2025-26	\$141,820
Interest	\$6,950
City of Santee Contribution	\$25,820
Reserve Fund Contribution/(Collection)	(\$14,640)
Total Expenditures/Proposed Budget	\$159,950
Zone B - The Lakes	
Total Assessment for FY 2025-26	\$7,520
Interest	\$990
Reserve Fund Contribution/(Collection)	\$9,450
Total Expenditures/Proposed Budget	\$17,960
Zone C - San Remo	
	¢7.0/0
Total Assessment for FY 2025-26	\$7,860
	\$970
Reserve Fund Contribution/(Collection)	\$6,230
Total Expenditures/Proposed Budget	\$15,060
Zone D - Mission Creek	
Total Assessment for FY 2025-26	\$164,580
Interest	\$5,100
Reserve Fund Contribution/(Collection)	(\$6,460)
Total Expenditures/Proposed Budget	\$163,220
Total Proposed Budget for Fiscal Year 2025-26	\$356,190

Landscaping facilities or improvements are defined as landscaping within public streets and public rights-of-way and easements, their appurtenances and the costs of installing, operating and maintaining them.

Improvements to be performed generally consist of maintenance of median and right-of-way landscaping, including but not limited to personnel costs, electrical energy, water, materials, contracting services and other items necessary for the satisfactory delivery of these services.



Executed this	day of		2025.
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FRANCISCO MARTINEZ JR PROFESSIONAL CIVIL ENGINEER NO. 84640 ENGINEER OF WORK CITY OF SANTEE STATE OF CALIFORNIA

I HEREBY CERTIFY that the enclosed Engineer's Report, together with the Assessment Roll and Assessment Diagram thereto attached, was filed with me on the \_\_\_\_\_ day of \_\_\_\_\_, 2025, by adoption of Resolution No. \_\_\_\_2025 by City Council.

### CITY CLERK CITY OF SANTEE STATE OF CALIFORNIA

I HEREBY CERTIFY that the enclosed Engineer's Report, together with the Assessment Roll and Assessment Diagram thereto attached, was approved and confirmed by the City Council of the City of Santee, California on the \_\_\_\_\_day of \_\_\_\_\_, 2025.

CITY CLERK CITY OF SANTEE STATE OF CALIFORNIA





The actual assessment and the amount of the assessment for the Fiscal Year 2025-26 apportioned to each parcel as shown on the latest equalized roll at the County Assessor's office are listed in Appendix A of this Report. The description of each lot or parcel is part of the records of the County of San Diego Assessor's Office and such records are, by reference, made part of this Report.

The total assessment for Fiscal Year 2025-26 is \$321,780<sup>1</sup>.

<sup>&</sup>lt;sup>1</sup> The actual assessment roll amount might have a minimal variance due to rounding.



Assessment Diagrams for the Santee Town Center Landscape Maintenance District, Zones A – H have been submitted to the City of Santee in the format required under the provision of the Act. The lines and dimensions shown on maps of the County of San Diego Assessor's Office for the current year are incorporated by reference in Appendix B herein and made part of this Report.









\$2,051.36	3810410200	\$3,329.76	3810410300	\$2,824.34
\$2,854.08	3810410500	\$2,170.28	3810410700	\$624.32
\$1,010.82	3810411200	\$1,486.50	3810411300	\$1,159.46
\$25,924.56	3810411500	\$7,016.28	3810411900	\$22,778.00
\$1,010.82	3810412300	\$19,740.72	3810412400	\$6,005.46
\$1,724.34	3810412600	\$921.62	3810412700	\$3,508.14
\$6,183.84	3810412900	\$1,783.80	3810413000	\$1,902.72
\$2,556.78	3810413200	\$5,321.66	3810413300	\$4,221.66
\$743.24	3810413500	\$1,843.26	3810413600	\$2,051.36
\$4,102.74	3810413800	\$1,278.38	3810413900	\$3,686.52
	\$2,854.08 \$1,010.82 \$25,924.56 \$1,010.82 \$1,724.34 \$6,183.84 \$2,556.78 \$743.24	\$2,854.083810410500\$1,010.823810411200\$25,924.563810411500\$1,010.823810412300\$1,724.343810412600\$6,183.843810412900\$2,556.783810413200\$743.243810413500	\$2,854.083810410500\$2,170.28\$1,010.823810411200\$1,486.50\$25,924.563810411500\$7,016.28\$1,010.823810412300\$19,740.72\$1,724.343810412600\$921.62\$6,183.843810412900\$1,783.80\$2,556.783810413200\$5,321.66\$743.243810413500\$1,843.26	\$2,854.083810410500\$2,170.283810410700\$1,010.823810411200\$1,486.503810411300\$25,924.563810411500\$7,016.283810411900\$1,010.823810412300\$19,740.723810412400\$1,724.343810412600\$921.623810412700\$6,183.843810412900\$1,783.803810413000\$2,556.783810413200\$5,321.663810413300\$743.243810413500\$1,843.263810413600



Parcels 30

Levy \$141,816.82



60-9115 - TCLMD - Zone B Fiscal Year 2025-26



APN	Levy	APN	Levy	APN	Levy
3810321301	\$84.48	3810321302	\$84.48	3810321303	\$84.48
3810321304	\$84.48	3810321305	\$84.48	3810321306	\$84.48
3810321307	\$84.48	3810321308	\$84.48	3810321309	\$84.48
3810321310	\$84.48	3810321311	\$84.48	3810321312	\$84.48
3810321313	\$84.48	3810321314	\$84.48	3810321315	\$84.48
3810321316	\$84.48	3810321317	\$84.48	3810321318	\$84.48
3810321319	\$84.48	3810321320	\$84.48	3810321321	\$84.48
3810321322	\$84.48	3810321323	\$84.48	3810321324	\$84.48
3810321325	\$84.48	3810321326	\$84.48	3810321327	\$84.48
3810321328	\$84.48	3810321329	\$84.48	3810321330	\$84.48
3810321331	\$84.48	3810321332	\$84.48	3810321333	\$84.48
3810321334	\$84.48	3810321335	\$84.48	3810321336	\$84.48
3810321337	\$84.48	3810321338	\$84.48	3810321339	\$84.48
3810321340	\$84.48	3810321341	\$84.48	3810321342	\$84.48
3810321343	\$84.48	3810321344	\$84.48	3810321345	\$84.48
3810321346	\$84.48	3810321347	\$84.48	3810321348	\$84.48
3810321349	\$84.48	3810321350	\$84.48	3810321351	\$84.48
3810321352	\$84.48	3810321353	\$84.48	3810321354	\$84.48
3810321355	\$84.48	3810321356	\$84.48	3810321357	\$84.48
3810321358	\$84.48	3810321359	\$84.48	3810321360	\$84.48
3810321361	\$84.48	3810321362	\$84.48	3810321363	\$84.48
3810321364	\$84.48	3810321365	\$84.48	3810321366	\$84.48
3810321367	\$84.48	3810321368	\$84.48	3810321369	\$84.48
3810321370	\$84.48	3810321371	\$84.48	3810321372	\$84.48
3810321373	\$84.48	3810321374	\$84.48	3810321375	\$84.48
3810321376	\$84.48	3810321377	\$84.48	3810321378	\$84.48
3810321379	\$84.48	3810321380	\$84.48	3810321381	\$84.48
3810321382	\$84.48	3810321383	\$84.48	3810321384	\$84.48
3810321385	\$84.48	3810321386	\$84.48	3810321387	\$84.48
3810321388	\$84.48	3810321389	\$84.48		

Totals

Parcels 89

Levy \$7,518.72



60-9122 - TCLMD - Zone C Fiscal Year 2025-26



APN	Levy	APN	Levy	APN	Levy
3813110400	\$218.22	3813110600	\$218.22	3813110800	\$218.22
3813110900	\$218.22	3813111000	\$218.22	3813111100	\$218.22
3813111200	\$218.22	3813111300	\$218.22	3813111400	\$218.22
3813111500	\$218.22	3813111600	\$218.22	3813111700	\$218.22
3813111800	\$218.22	3813111900	\$218.22	3813112000	\$218.22
3813112100	\$218.22	3813112200	\$218.22	3813112300	\$218.22
3813112400	\$218.22	3813112500	\$218.22	3813112600	\$218.22
3813112700	\$218.22	3813112800	\$218.22	3813112900	\$218.22
3813113000	\$218.22	3813113100	\$218.22	3813113200	\$218.22
3813113300	\$218.22	3813113400	\$218.22	3813113500	\$218.22
3813113600	\$218.22	3813113800	\$218.22	3813114000	\$218.22
3813114200	\$218.22	3813114400	\$218.22	3813114600	\$218.22

Totals

Parcels 36

Levy \$7,855.92





APN	Levy	APN	Levy	APN	Levy
3816811301	\$286.00	3816811302	\$286.00	3816811303	\$286.00
3816811304	\$286.00	3816811305	\$286.00	3816811306	\$286.00
3816811307	\$286.00	3816811308	\$286.00	3816811309	\$286.00
3816811310	\$286.00	3816811311	\$286.00	3816811312	\$286.00
3816811313	\$286.00	3816811314	\$286.00	3816811315	\$286.00
3816811316	\$286.00	3816811317	\$286.00	3816811318	\$286.00
3816811319	\$286.00	3816811320	\$286.00	3816811321	\$286.00
3816811322	\$286.00	3816811323	\$286.00	3816811324	\$286.00
3816811325	\$286.00	3816811326	\$286.00	3816811327	\$286.00
3816811328	\$286.00	3816811329	\$286.00	3816811330	\$286.00
3816811331	\$286.00	3816811332	\$286.00	3816811333	\$286.00
3816811334	\$286.00	3816811335	\$286.00	3816811336	\$286.00
3816811337	\$286.00	3816811338	\$286.00	3816811339	\$286.00
3816811340	\$286.00	3816811341	\$286.00	3816811342	\$286.00
3816811343	\$286.00	3816811344	\$286.00	3816811345	\$286.00
3816811346	\$286.00	3816811347	\$286.00	3816811348	\$286.00
3816811349	\$286.00	3816811350	\$286.00	3816811351	\$286.00
3816811352	\$286.00	3816811353	\$286.00	3816811354	\$286.00
3816811355	\$286.00	3816811356	\$286.00	3816811357	\$286.00
3816811358	\$286.00	3816811359	\$286.00	3816811360	\$286.00
3816811361	\$286.00	3816811362	\$286.00	3816811363	\$286.00
3816811364	\$286.00	3816811365	\$286.00	3816811366	\$286.00
3816811367	\$286.00	3816811368	\$286.00	3816811369	\$286.00
3816811370	\$286.00	3816811371	\$286.00	3816811372	\$286.00
3816811373	\$286.00	3816811374	\$286.00	3816811375	\$286.00
3816811376	\$286.00	3816811377	\$286.00	3816811378	\$286.00
3816811379	\$286.00	3816811380	\$286.00	3816811381	\$286.00
3816811382	\$286.00	3816811383	\$286.00	3816811384	\$286.00
3816811385	\$286.00	3816811386	\$286.00	3816811387	\$286.00
3816811388	\$286.00	3816811389	\$286.00	3816811390	\$286.00
3816811701	\$286.00	3816811702	\$286.00	3816811703	\$286.00
3816811704	\$286.00	3816811705	\$286.00	3816811706	\$286.00
3816811707	\$286.00	3816811708	\$286.00	3816811709	\$286.00
3816811710	\$286.00	3816811711	\$286.00	3816811712	\$286.00
3816811713	\$286.00	3816811714	\$286.00	3816811715	\$286.00
3816811716	\$286.00	3816811717	\$286.00	3816811718	\$286.00
3816811719	\$286.00	3816811720	\$286.00	3816811721	\$286.00
3816811722	\$286.00	3816811723	\$286.00	3816811724	\$286.00
3816811725	\$286.00	3816811726	\$286.00	3816811727	\$286.00
3816811728	\$286.00	3816811729	\$286.00	3816811730	\$286.00
3816811731	\$286.00	3816811732	\$286.00	3816811733	\$286.00
3816811734	\$286.00	3816811735	\$286.00	3816811736	\$286.00
3816811737	\$286.00	3816811738	\$286.00	3816811739	\$286.00
3816811740	\$286.00	3816811741	\$286.00	3816811742	\$286.00
3816811743	\$286.00	3816811744	\$286.00	3816811745	\$286.00
3816811746	\$286.00	3816811747	\$286.00	3816811748	\$286.00
3816811749	\$286.00	3816811750	\$286.00	3816811751	\$286.00
3816811752	\$286.00	3816811753	\$286.00	3816811754	\$286.00





APN	Levy	APN	Levy	APN	Levy
3816811755	\$286.00	3816811901	\$286.00	3816811902	\$286.00
3816811903	\$286.00	3816811904	\$286.00	3816811905	\$286.00
3816811906	\$286.00	3816811907	\$286.00	3816811908	\$286.00
3816811909	\$286.00	3816811910	\$286.00	3816811911	\$286.00
3816811912	\$286.00	3816811913	\$286.00	3816811914	\$286.00
3816811915	\$286.00	3816811916	\$286.00	3816811917	\$286.00
3816811918	\$286.00	3816811919	\$286.00	3816811920	\$286.00
3816811921	\$286.00	3816811922	\$286.00	3816811923	\$286.00
3816811924	\$286.00	3816811925	\$286.00	3816811926	\$286.00
3816811927	\$286.00	3816811928	\$286.00	3816811929	\$286.00
3816811930	\$286.00	3816811931	\$286.00	3816811932	\$286.00
3816811933	\$286.00	3816811934	\$286.00	3816811935	\$286.00
3816811936	\$286.00	3816811937	\$286.00	3816811938	\$286.00
3816811939	\$286.00	3816811940	\$286.00	3816811941	\$286.00
3816811942	\$286.00	3816811943	\$286.00	3816811944	\$286.00
3816811945	\$286.00	3816811946	\$286.00	3816811947	\$286.00
3816811948	\$286.00	3816811949	\$286.00	3816811950	\$286.00
3816811951	\$286.00	3816811952	\$286.00	3816811953	\$286.00
3816812001	\$286.00	3816812002	\$286.00	3816812003	\$286.00
3816812004	\$286.00	3816812005	\$286.00	3816812006	\$286.00
3816812007	\$286.00	3816812008	\$286.00	3816812009	\$286.00
3816812010	\$286.00	3816812011	\$286.00	3816812012	\$286.00
3816812013	\$286.00	3816812014	\$286.00	3816812015	\$286.00
3816812016	\$286.00	3816812017	\$286.00	3816812018	\$286.00
3816812019	\$286.00	3816812020	\$286.00	3816812021	\$286.00
3816812022	\$286.00	3816812023	\$286.00	3816812024	\$286.00
3816812025	\$286.00	3816812026	\$286.00	3816812027	\$286.00
3816812028	\$286.00	3816812029	\$286.00	3816812030	\$286.00
3816812031	\$286.00	3816812032	\$286.00	3816812033	\$286.00
3816822100	\$30,688.00	3816822201	\$573.16	3816822202	\$573.16
3816822203	\$573.16	3816822204	\$573.16	3816822205	\$573.16
3816822206	\$573.16	3816822207	\$573.16	3816822208	\$573.16
3816822209	\$573.16	3816822210	\$573.16	3816822211	\$573.16
3816822212	\$573.16	3816822213	\$573.16	3816822214	\$573.16
3816822215	\$573.16	3816822300	\$4,383.98	3816822400	\$394.52
3816822500	\$2,685.18	3817000100	\$286.00	3817000200	\$286.00
3817000300	\$286.00	3817000400	\$286.00	3817000500	\$286.00
3817000600	\$286.00	3817000700	\$286.00	3817000800	\$286.00
3817000900	\$286.00	3817001000	\$286.00	3817001100	\$286.00
3817001200	\$286.00	3817001300	\$286.00	3817001400	\$286.00
3817001500	\$286.00	3817001600	\$286.00	3817001700	\$286.00
3817001800	\$286.00	3817001900	\$286.00	3817002000	\$286.00
3817002100	\$286.00	3817002200	\$286.00	3817002300	\$286.00
3817002400	\$286.00	3817002500	\$286.00	3817002600	\$286.00
3817002700	\$286.00	3817002800	\$286.00	3817002900	\$286.00
3817003000	\$286.00	3817003100	\$286.00	3817003200	\$286.00







APN	Levy	APN	Levy	APN	Levy
3817003300	\$286.00	3817003400	\$286.00	3817003500	\$286.00
3817003600	\$286.00	3817003700	\$286.00	3817003800	\$286.00
3817003900	\$286.00	3817004000	\$286.00	3817004100	\$286.00
3817004200	\$286.00	3817004300	\$286.00	3817004400	\$286.00
3817004500	\$286.00	3817004600	\$286.00	3817004700	\$286.00
3817010100	\$286.00	3817010200	\$286.00	3817010300	\$286.00
3817010400	\$286.00	3817010500	\$286.00	3817010600	\$286.00
3817010700	\$286.00	3817010800	\$286.00	3817010900	\$286.00
3817011000	\$286.00	3817011100	\$286.00	3817011200	\$286.00
3817011300	\$286.00	3817011400	\$286.00	3817011500	\$286.00
3817011600	\$286.00	3817011700	\$286.00	3817011800	\$286.00
3817011900	\$286.00	3817012000	\$286.00	3817012100	\$286.00
3817012200	\$286.00	3817012300	\$286.00	3817012400	\$286.00
3817012500	\$286.00	3817012600	\$286.00	3817012700	\$286.00
3817012800	\$286.00	3817012900	\$286.00	3817013000	\$286.00
3817013100	\$286.00	3817013200	\$286.00	3817013300	\$286.00
3817013400	\$286.00	3817013500	\$286.00	3817013600	\$286.00
3817013700	\$286.00	3817013800	\$286.00	3817013900	\$286.00
3817014000	\$286.00	3817014100	\$286.00	3817014200	\$286.00
3817014300	\$286.00	3817014400	\$286.00	3817014500	\$286.00
3817014600	\$286.00	3817014700	\$286.00	3817014800	\$286.00
3817014900	\$286.00	3817015000	\$286.00	3817015100	\$286.00
3817015200	\$286.00	3817015300	\$286.00	3817015400	\$286.00
3817015500	\$286.00	3817015600	\$286.00	3817015700	\$286.00
3817015800	\$286.00	3817015900	\$286.00	3817020100	\$286.00
3817020200	\$286.00	3817020300	\$286.00	3817020400	\$286.00
3817020500	\$286.00	3817020600	\$286.00	3817020700	\$286.00
3817020800	\$286.00	3817020900	\$286.00	3817021000	\$286.00
3817021100	\$286.00	3817021200	\$286.00	3817021300	\$286.00
3817021400	\$286.00	3817021500	\$286.00	3817021600	\$286.00
3817021700	\$286.00	3817021800	\$286.00	3817021900	\$286.00
3817022000	\$286.00	3817022100	\$286.00	3817022200	\$286.00
3817022300	\$286.00	3817022400	\$286.00	3817022500	\$286.00
3817022600	\$286.00	3817022700	\$286.00	3817022800	\$286.00
3817022900	\$286.00	3817023000	\$286.00	3817023100	\$286.00
3817023200	\$286.00	3817023300	\$286.00	3817023400	\$286.00
3817023500	\$286.00	3817023600	\$286.00	3817023700	\$286.00
3817023800	\$286.00	3817023900	\$286.00	3817024000	\$286.00
3817024100	\$286.00	3817024200	\$286.00	3817024300	\$286.00
3817024400	\$286.00	3817024500	\$286.00	3817024600	\$286.00
3817024700	\$286.00	3817024800	\$286.00	3817024900	\$286.00
3817025000	\$286.00	3817025100	\$286.00	3817025200	\$286.00
3817025300	\$286.00	3817025400	\$286.00	3817025500	\$286.00
3817025600	\$286.00	3817025700	\$286.00	3817025800	\$286.00
3817025900	\$286.00	3817026000	\$286.00	3817026100	\$286.00
3817026200	\$286.00	3817026300	\$286.00	3817026400	\$286.00



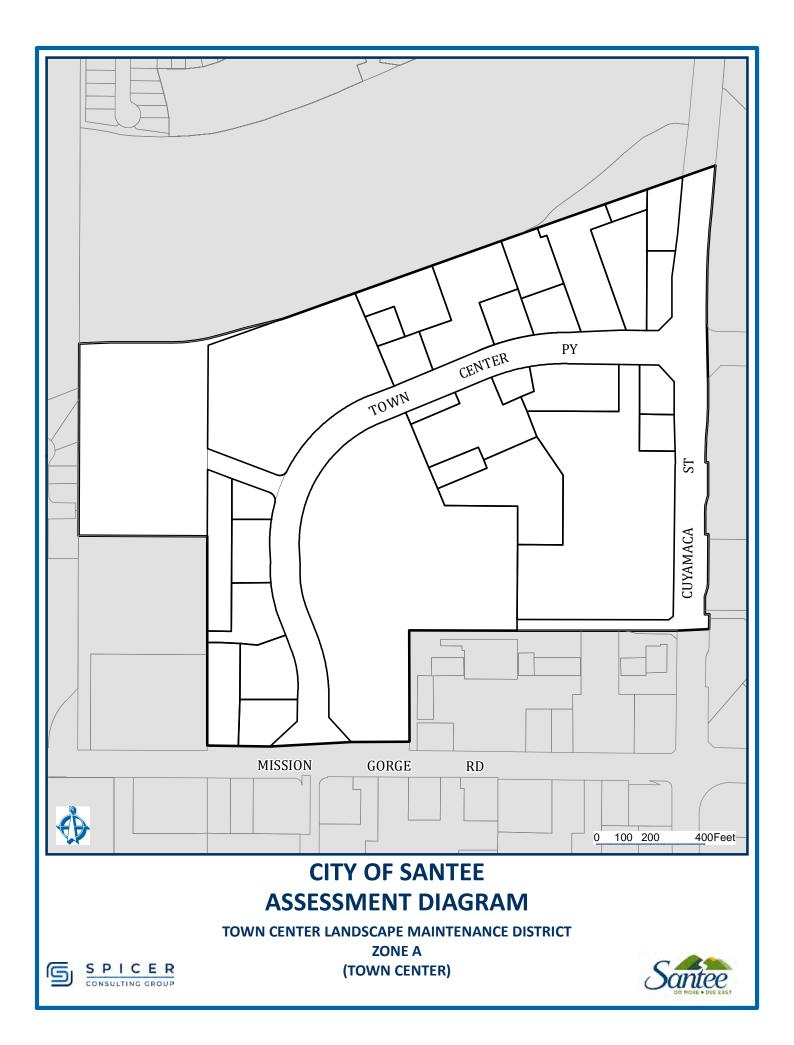


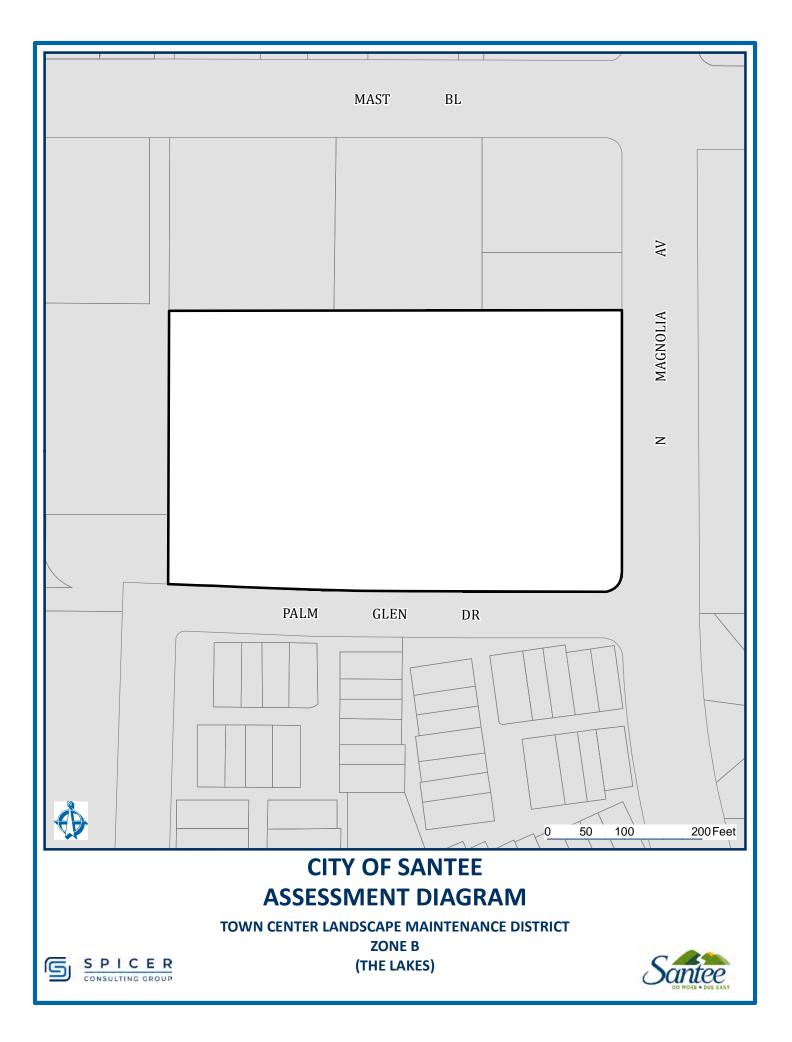


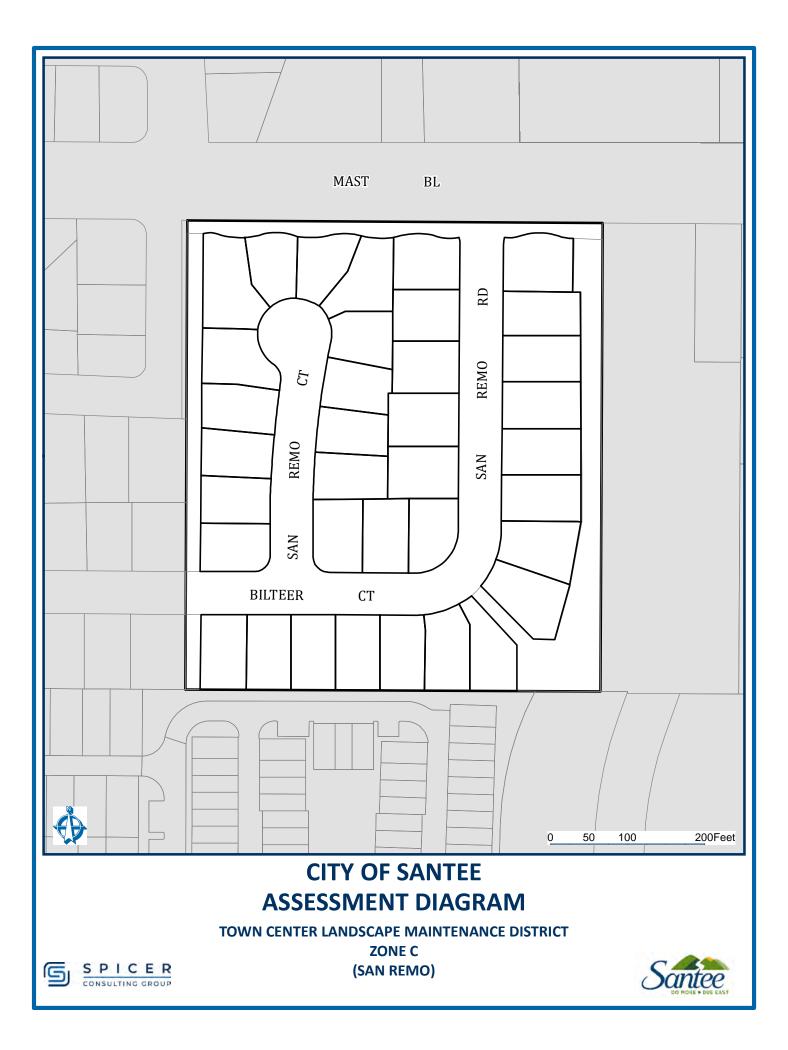
APN	Levy	APN	Levy	APN	Levy
3817026500 3817027300	\$286.00 \$286.00	3817026600 3817027400	\$286.00 \$286.00	3817026700 3817027500	\$286.00 \$286.00
3817027500 3817027600 3817027900	\$286.00 \$286.00 \$286.00	3817027400 3817027700 3817028000	\$286.00 \$286.00 \$286.00	3817027800	\$286.00
	φ200.00	3017020000	φ200.00		
Totals		Parcels	431	Levy	\$164,581.08

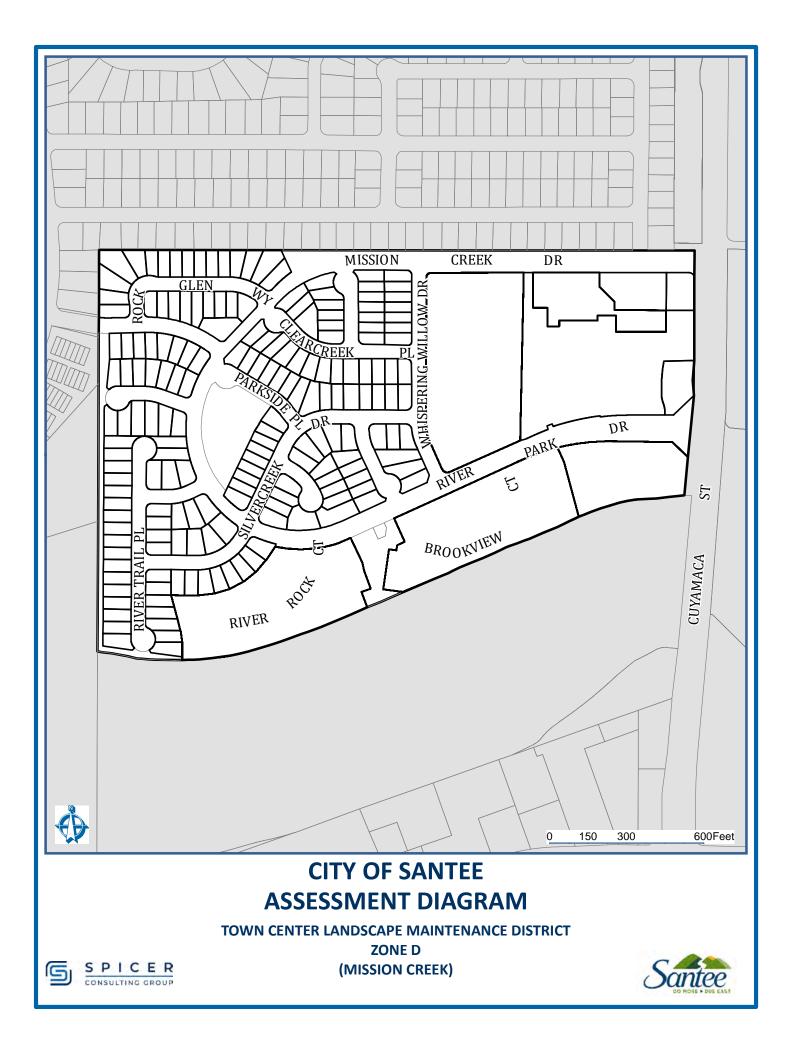


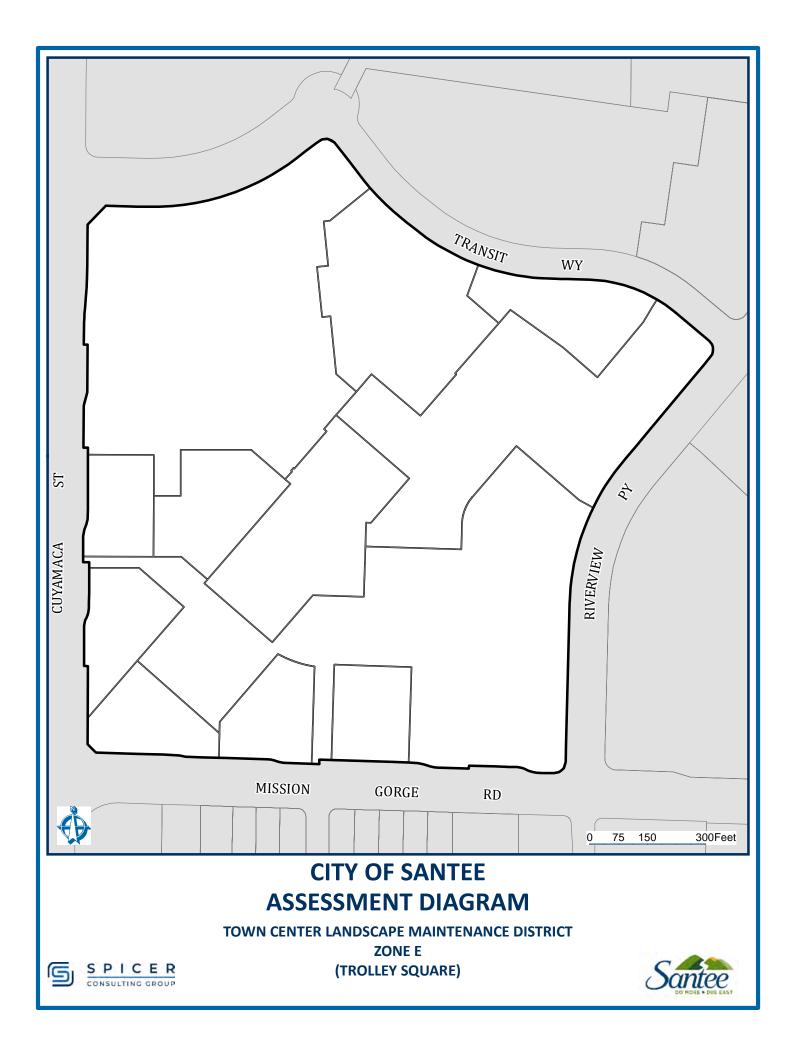
# Appendix B: Assessment Diagrams

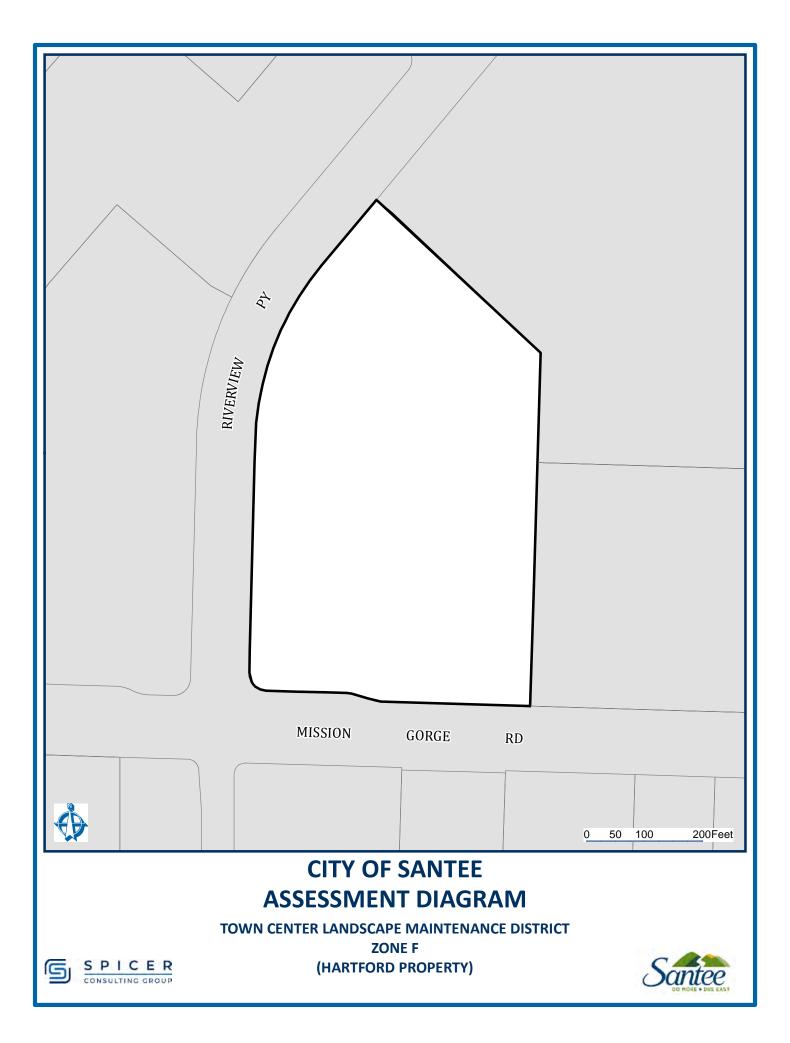


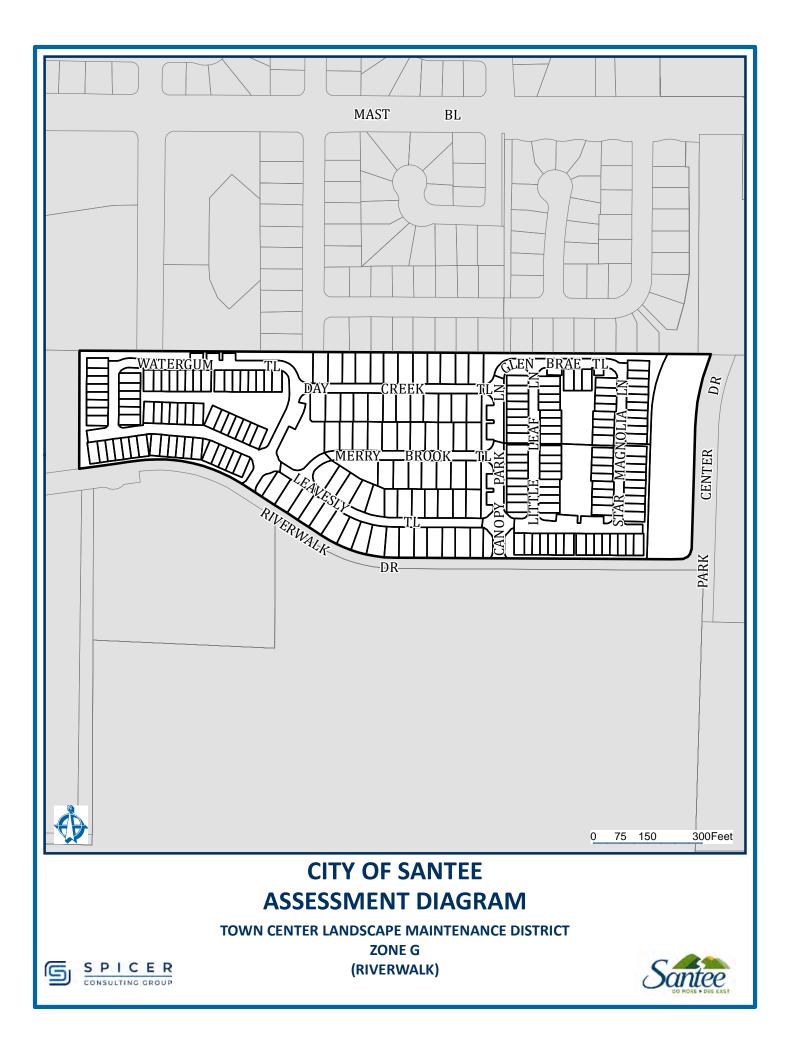


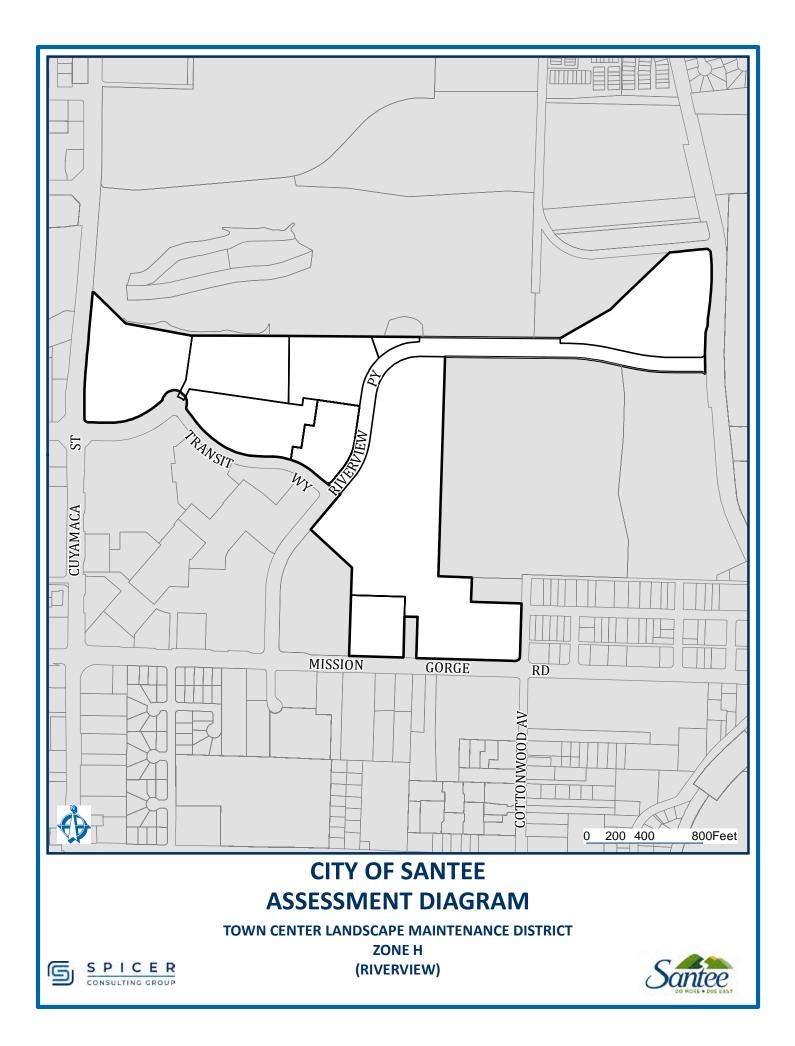












# Appendix C: Capital Improvement Projects

### Appendix C Capital Improvement Projects

The Community Services Department is developing a maintenance plan for each zone that would include, operational activities, and revenue requirements to meet the objectives and service levels desired. Revenue requirements are set to cover annual operating costs and build reserves over time to perform focused capital replacements year over year, or large capital replacements in one anticipated year. Projects will be brought before City Council for approval as they are developed through the master plan. Zone specific projects are listed below:

### Zone C Capital Project

For Fiscal Year 2025-26, the City budgeted \$5,000 for brush abatement in San Remo and \$5,000 for landscape/irrigation upgrades.





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### RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTEE DECLARING ITS INTENTION TO PROVIDE FOR AN ANNUAL LEVY AND COLLECTION OF ASSESSMENTS, AND SETTING A TIME AND PLACE FOR A PUBLIC HEARING THEREON FOR THE FY 2025-26 TOWN CENTER LANDSCAPE MAINTENANCE DISTRICT

WHEREAS, the City Council of the City of Santee, California has previously formed a street lighting and landscaping district pursuant to the terms and provisions of the "Landscaping and Lighting Act of 1972", being Division 15, Part 2 of the Streets and Highways Code of the State of California, Article XIII of the California Constitution, and the Proposition 218 Omnibus Implementation Act (commencing with California Government Code Section 53750) (collectively the "Law"), in what is known and designated as **TOWN CENTER LANDSCAPE MAINTENANCE DISTRICT** ("District"); and

WHEREAS, at this time, landscaping facilities or improvements, as set forth in the Engineer's Report ("Report"), include landscaping within public streets and public rights-ofways and easements including medians and right-of-way landscaping within the Town Center area of the City; and

WHEREAS, at this time, this City Council desires to take proceedings to provide for the annual levy of assessments for Fiscal Year 2025-26 to provide for the costs and expenses necessary for the continued maintenance of improvements within said District; and

WHEREAS, at this time there has been presented and approved by this City Council, a Report as required by law, and this City Council desires to move forth with the proceedings for said annual levy.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Santee, California, as follows:

**SECTION 1.** The above recitals are all true and correct.

**SECTION 2.** The Report regarding the annual levy for said District, which Report is for maintenance for Fiscal Year 2025-26 that has been previously approved is directed to be filed in the Office of the City Clerk. Reference is hereby made to the Report for a full and detailed description of the improvements, the boundaries of the District and any zones therein, and the proposed assessment.

**SECTION 3.** The public interest and convenience requires, and it is the intention of this City Council to order, the Fiscal Year 2025-26 annual assessment levy for the District as set forth and described in the Report, and it is further determined to be in the best public interest and convenience to levy and collect Fiscal Year 2025-26 annual assessments to pay the costs and expenses of the maintenance of the improvements as estimated in said Report.

**SECTION 4.** The assessments levied and collected shall be for the maintenance of certain improvements, as set forth in the Report, referenced and so incorporated herein.

**SECTION 5**. There will be no change in the assessment amounts for Zones A, B, C and D, as they are at the maximum assessment.

**SECTION 6.** Fiscal Year 2025-26 improvements include annual brush abatement and landscape/irrigation upgrades in Zone C.

**SECTION 7.** The County Auditor shall enter on the Assessment Roll the amount of the assessments, and shall collect said assessments at the same time and in the same manner as County taxes are collected. After collection, the net amount of the assessments, after the deduction of any compensation due to the County for collection, shall be paid to the Treasurer of the City of Santee for purposes of paying for the costs and expenses of said District.

**SECTION 8.** All monies collected shall be deposited in a special fund known as: "SPECIAL FUND – TOWN CENTER LANDSCAPE MAINTENANCE DISTRICT." Payment shall be made out of said fund only for the purpose provided for in this Resolution, and in order to expedite the execution of the maintenance, the City Council may transfer into said special fund, from any available source, such funds as it may deem necessary to expedite the proceedings. Any funds shall be repaid out of the proceeds of the assessments provided for in this Resolution.

**SECTION 9.** Said maintenance work is, in the opinion of this City Council, of direct special benefit to the properties within the boundaries of the District, and this City Council makes the costs and expenses of said maintenance chargeable upon a District, of which District this City Council hereby declares to be the District specially benefited by said improvements and their maintenance thereof, and to be further assessed to pay the costs and expenses thereof. Said District shall include each and every parcel of land within the boundaries of said District, as said District is shown within said Report, as approved by this City Council and on file in the Office of the City Clerk, and so designated by the name of the District.

**SECTION 10.** Any public properties, as defined in the Law, which are included within the boundaries of the District, shall be subject to any assessment to be made under these proceedings to cover any of the costs and expenses of said maintenance work.

**SECTION 11.** Notice is hereby given that a public hearing on this item will be held before the **SANTEE CITY COUNCIL** at 6:30 p.m., Wednesday on July 9, 2025, regarding the annual levy of assessments, the extent of the maintenance, and any other matters contained within this resolution. Instructions for participating in the hearing will be posted by the City Clerk on the City's website at https://www.cityofsanteeca.gov. Any persons who wish to object to the proceedings for the annual levy should file a written protest with the City Clerk prior to the time set and scheduled for said public hearing.

**SECTION 12.** The Finance Department is hereby authorized and directed to publish a copy of this Resolution in a newspaper of general circulation within said City, said publication and be not less than ten (10) days before the date set for said Public Hearing.

**SECTION 13.** This Resolution shall take effect immediately upon its adoption.

**ADOPTED** by the City Council of the City of Santee, California, at a Regular meeting thereof held this 14<sup>th</sup> day of May, 2025 by the following roll call vote to wit:

AYES:

NOES:

ABSENT:

**APPROVED:** 

JOHN W. MINTO, MAYOR

ATTEST:

JAMES JEFFRIES, CITY CLERK



MEETING DATE May 14, 2025

ITEM TITLE RESOLUTIONS APPROVING THE ENGINEER'S REPORT AND DECLARING THE CITY COUNCIL'S INTENTION TO LEVY ASSESSMENTS AND SETTING A PUBLIC HEARING FOR THE FY 2025-26 SANTEE ROADWAY LIGHTING DISTRICT ANNUAL LEVY OF ASSESSMENTS

# DIRECTOR/DEPARTMENT Heather Jennings, Finance

# SUMMARY

The Santee Roadway Lighting District ("SRLD") has two zones, each with separate funding sources. Zone A is contiguous with the City's boundaries; i.e., all properties in the City are within Zone A. Zone B comprises numerous areas throughout the City, and contains street lights defined as primarily having special benefit.

The funding of street light energy, maintenance and administrative costs for Zone A and Zone B is obtained from two sources: a portion of the ad valorem property tax designated for street lighting purposes (Zone A), and a special benefit assessment (Zone B). It is estimated that 20 new lights will be added within the SRLD in FY 2025-26.

The City Council is required to take three distinct steps in order to proceed with the annual levy of assessments. The first step was taken on April 25, 2025, when the City Council formally initiated proceedings and directed the preparation of an engineer's report, analyzing existing and proposed improvements to the District. The second step, which will be taken this evening, requires the City Council to take formal action to approve or modify and approve the proposed engineer's report, declare its intention to provide for the annual levy of assessments and provide notice of a public hearing. Finally, on July 9, 2025, the City Council will take the final step and hold the public hearing and provide for the annual levy of assessments.

The proposed assessment in Zone B will be \$16.00, the maximum assessment amount, per household/benefit unit in FY 2025-26. There will continue to be no assessment in Zone A.

## FINANCIAL STATEMENT

SRLD's FY 2025-26 operating budget totals \$744,880. The budget will be funded primarily by Zone A ad valorem property tax revenues of \$470,800 and Zone B assessments of \$416,710. Remaining reserve balances in both Zone A and Zone B will be used for future capital projects.

# CITY ATTORNEY REVIEW DN/A • Completed

# RECOMMENDATION

Adopt two Resolutions: 1) Approving the engineer's report and 2) Declaring intention to levy assessments and setting a public hearing for July 9, 2025.

# **ATTACHMENTS**

Resolutions (Preliminary Engineer's Report and Assessment Diagram)



### RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTEE, CALIFORNIA APPROVING THE ENGINEER'S REPORT FOR THE ANNUAL LEVY OF ASSESSMENTS FOR FISCAL YEAR 2025-26 FOR THE <u>SANTEE ROADWAY LIGHTING DISTRICT</u>

WHEREAS, the City Council of the City of Santee, pursuant to the provisions of the "Landscaping and Lighting Act of 1972", being Division 15, Part 2 of the Streets and Highways Code of the State of California, Article XIII D, section 4 of the California Constitution, and the Proposition 218 Omnibus Implementation Act (commencing with California Government Code Section 53750) (collectively the "Law"), did, by previous Resolution, order the preparation of an Engineer's Report for the annual levy of assessments, consisting of plans and specifications, an estimate of the cost, a diagram, and an assessment relating to what is known and designated as: SANTEE ROADWAY LIGHTING DISTRICT (hereinafter referred to as "District"); and

WHEREAS, the FY 2025-26 Assessment Engineer's Report ("Report") has been presented to this City Council as required by the Law and as previously directed by Resolution; and

WHEREAS, this City Council has now carefully examined and reviewed the Report as presented, and is satisfied with each and all of the items and documents as set forth therein, and is satisfied that the assessments, on a preliminary basis, have been spread in accordance with the benefits received from the maintenance to be performed, as set forth in said Report.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Santee, California, as follows:

**SECTION 1.** The above recitals are all true and correct.

**SECTION 2.** The Report as presented, consisting of:

- A. Plans and specifications of the improvements to be maintained and/or improved for the Fiscal Year;
- B. A cost estimate of the improvements to be maintained and/or improved;
- C. A method of apportionment of assessment showing the proportionate amount of the assessment to be charged in proportion to the benefits to be received by each lot or parcel within the District;

- D. Assessment rolls showing the proportionate amount of the assessment to be charged in proportion to the benefits by each lot or parcel within the boundaries of the District;
- E. Diagrams of the District showing the exterior boundaries of the District and the boundaries of any zones within the District. Reference is made to the County Assessor's Maps for a detailed description of the lines and dimensions of any lots or parcels, which shall govern for all details concerning such lines and dimensions.

is hereby approved on a preliminary basis, attached to this Resolution, and on file in the Office of the City Clerk as a permanent record and to remain open to public inspection.

**ADOPTED** by the City Council of the City of Santee, California, at a Regular meeting thereof held this 14<sup>th</sup> day of May, 2025, by the following roll call vote to wit:

AYES:

NOES:

ABSENT:

**APPROVED:** 

JOHN W. MINTO, MAYOR

ATTEST:

JAMES JEFFRIES, CITY CLERK

Exhibit A: Engineer's Report



# CITY OF SANTEE

Preliminary Engineer's Report





# Fiscal Year 2025-26

Santee Roadway Lighting District

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# **Appendices**

Appendix A – Assessment Diagram Appendix B – Land Use Factors



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### AGENCY: CITY OF SANTEE

PROJECT: SANTEE ROADWAY LIGHTING DISTRICT

TO: CITY COUNCIL CITY OF SANTEE STATE OF CALIFORNIA

### REPORT PURSUANT TO "LANDSCAPING AND LIGHTING ACT OF 1972"

Pursuant to direction from the City Council, submitted herewith is the Engineer's Report (the "Report"), consisting of the following parts, pursuant to the provisions of Division 15, Part 2 of the Streets and Highways Code of the State of California, being the "Landscape and Lighting Act of 1972," as amended, commencing with Section 22500, and which is in accordance with Resolution No. 043-2025 adopted by the City of Santee City Council, San Diego County, California ordering preparation of the Engineer's Report for Santee Roadway Lighting District (the "District"). This "Report" is applicable for the ensuing 12-month period, being the Fiscal Year commencing July 1, 2025, to June 30, 2026. Please note that Spicer Consulting Group, LLC provides engineering advice and related consulting engineering services.

- Section 1 PLANS AND SPECIFICATIONS of the improvements to be maintained and/or improved for the Fiscal Year. The plans and specifications show and describe the existing improvements, and are sufficient in showing and describing the general nature, location and extent of the improvements.
- Section 2 A COST ESTIMATE of the improvements to be maintained and/or improved for the mentioned Fiscal Year.
- Section 3 A METHOD OF APPORTIONMENT OF ASSESSMENT showing the proportionate amount of the assessment to be charged in proportion to the benefits to be received by each lot or parcel within the interior boundaries of the District.
- Section 4 ASSESSMENT ROLL showing the proportionate amount of the assessment to be charged in proportion to the benefits to be received by each lot or parcel within the boundaries as shown on the below-referenced Diagram.
- Section 5 The ASSESSMENT DIAGRAM of the District. Said Diagram shall show the exterior boundaries of the District and the boundaries of any zones within the District. Reference is made to the County Assessor's Maps for a detailed description of the lines and dimensions of any lots or parcels. The lines and dimensions of each lot shall conform to those shown on the County Assessor's Maps for the Fiscal Year to which the Report applies. The Assessment Diagram can be found in Appendix A.





### Description of the Boundaries and Improvement Services of Santee Town Center Maintenance District

The City of Santee (the "City") formed the Santee Roadway Lighting District (the "District") on May 24, 1982. The District is an Assessment District formed for the purpose of installing, operating, and maintaining public lighting facilities within the City. The boundaries of the District are coterminous with the boundaries of the City.

### Description of the Boundaries of Santee Roadway Lighting District

### Benefit Zone A

Properties located within Zone A are located throughout the City. Zone A funds generally pays for street lights located on major roadways (streets in the city's Mobility Element network). Within Zone A, there are five major roadway classifications (listed in Section 3 of this report) with street lights of both general benefit and special benefit. No assessment is proposed for Zone A for the general benefit portion of the costs of street light operation and maintenance as this benefit is financed by ad valorem taxes. The special benefit attributable from Zone A streetlights have been included with the Zone B costs and include all streetlights along streets classified by the City of Santee General Plan as prime arterial, major arterials, parkways, collectors, and industrials. A description of the Zone A streets is shown on page 4.

### Benefit Zone B

Properties located within Zone B are presently served by street lights of special benefit. There is a portion of Zone B benefit attributable to Zone A streetlights. Zone B consists of all parcels that have street lighting on the block (including intersections) of the street to which the parcel has frontage. These streets include not only local streets, but also include collectors, parkways, prime arterials, major arterials, residential collectors and industrial streets. This local lighting is of benefit as it increases property protection, personal safety, visibility, traffic safety, and specifically enhances those areas fronting upon the illuminated streets. Prior to the passage of Proposition 218, the maximum assessment was established at \$16.00 per benefit unit.

The areas in Zones A and B that contain the existing street lighting system consists of lights owned by both San Diego Gas and Electric Company and the District. There are a total of 3,456 lights in the Santee Roadway Lighting District with 1,184 owned by San Diego Gas and Electric Company, and 2,272 owned by the City.

### Description of Improvements and Services for Santee Roadway Lighting District

The improvements include the construction, operation, maintenance and servicing of all Street Lighting within the District.

### District Financing

The City has two sources of revenue to pay for the costs associated with streetlights within the City boundaries. The streetlights of special benefit are funded through the Assessment District; the streetlights of general benefit are funded through the ad valorem property tax collected on all properties throughout the City. Prior to the passage of Proposition 13, an ad valorem tax was established designating property tax revenues for the installation, operation, and maintenance of streetlights including funding the expenses of public streetlights within the City of Santee.

The general benefit portion of the lights in Zone A is financed from ad valorem tax revenues estimated at \$470,800. The special benefit portion of lights in Zone B is financed from a benefit assessment of \$416,710. As in prior years, for Fiscal Year 2025-26, no benefit assessment will be levied for the general benefit portion of Zone A street lighting.

It is recommended that the Zone B street lighting benefit assessment for a single family home be \$16.00 per year; i.e., one (1) Benefit Unit equals \$16.00 for Fiscal Year 2025-26. The benefit assessment will stay the same as to the prior Fiscal Year and is in accordance with the original methodology. A detail listing of these costs is included in Section 2 of this report.



The cost of servicing, maintaining, repairing and replacing the actual improvements as described in the Plans and Specifications are summarized as follows:

# Table 2-1Benefit Zone A and Zone B Budget

Description	Zone A	Zone B	Fiscal Year 2025-26
Estimated Revenue		Zone D	2023-20
Property Tax (Ad Valorem)	\$470,800.00	\$0.00	\$470,800.00
Assessment	\$0.00	\$416,710.00	\$416,710.00
Cost Recovery - Subrogation	\$0.00	\$0.00	\$0.00
Interest	\$43,700.00	\$20,300.00	\$64,000.00
Total Estimated Revenue	\$514,500.00	\$437,010.00	\$951,510.00
Estimated Expenditures			
Gas and Electricity	\$167,000.00	\$438,000.00	\$605,000.00
Repairs and Maintenance	\$68,000.00	\$42,000.00	\$110,000.00
Administration	\$3,000.00	\$6,410.00	\$9,410.00
Advertising	\$0.00	\$470.00	\$470.00
Debt Service Principal	\$0.00	\$0.00	\$0.00
Internal Service Charges	\$20,000.00	\$0.00	\$20,000.00
Total Estimated Operating Expenditures	\$258,000.00	\$486,880.00	\$744,880.00
Reserve Collection/(Contribution)	\$256,500.00	(\$49,870.00)	\$206,630.00
Capital Improvement Program Transfer	\$0.00	\$0.00	\$0.00
Beginning Reserve Balance	\$1,438,701.74	\$618,132.28	\$2,056,834.02
Total End of Year Reserves	\$1,695,201.74	\$568,262.28	\$2,263,464.02
End of Year Operation Reserves	\$129,000.00	\$243,440.00	\$372,440.00
End of Year Capital Improvement Reserve	\$1,566,201.74	\$324,822.28	\$1,891,024.02
Total End of Year Reserve Allocation	\$1,695,201.74	\$568,262.28	\$2,263,464.02





### Proposition 218 Compliance

On November 5, 1996, California voters approved Proposition 218, the so-called "Right to Vote on Taxes Act." Proposition 218 amended the California Constitution by adding Articles XIII C and XIII D ("Article XIII D"), which affect the ability of local governments to levy and collect existing and future taxes, assessments, and property-related fees and charges. Article XIII D, Section 4 established new majority ballot protest procedural requirements for levying any new or increasing any existing assessments and placed substantive limitations on the use of the revenues collected from assessments. Pursuant to Article XIII D, Section 5, however, any assessment existing on November 6, 1996, that falls within one of four exceptions is exempt from these majority ballot protest procedures. The four exceptions are as follows.

1) Any assessment imposed exclusively to finance the capital costs or maintenance and operation expenses for sidewalks, streets, sewers, water, flood control, drainage systems, or vector control. Subsequent increases in such assessments shall be subject to the procedures and approval process set forth in Section 4.

2) Any assessment imposed pursuant to a petition signed by the persons owning all of the parcels subject to the assessment at the time the assessment is initially imposed. Subsequent increases in such assessments shall be subject to the procedures and approval process set forth in Section 4.

3) Any assessment the proceeds of which are exclusively used to repay bonded indebtedness of which the failure to pay would violate the Contract Impairment Clause of the Constitution of the United States.

4) Any assessment that previously received majority voter approval from the voters voting in an election on the issue of the assessment. Subsequent increases in those assessments shall be subject to the procedures and approval process set forth in Section 4.

In Howard Jarvis Taxpayers Association v. City of Riverside, 73 Cal. App. 4th 679, 685-86 (1999), the court of appeals concluded that street lights fall within the definition of "streets" for purposes of Article XIII D, Section 5(a), which exempts an assessment imposed solely for "street purposes."

As previously noted, the District was formed in 1982, prior to the adoption of Proposition 218, and assessments are imposed for the purpose of operating and maintaining streetlights. Pursuant to Government Code Section 53753.5, because the assessments levied within the District fall within the first exception identified above, the assessments imposed within the District are not subject to the procedural and substantive requirements of Article XIII D, Section 4 in subsequent fiscal years unless: (1) the assessment methodology is changed to increase the assessment; or (2) the amount of the assessments are proposed to exceed an assessment formula or range of assessments adopted by the City in accordance with Article XIII D, Section 4 or Government Code Section 53753.

The City is not proposing to change the assessment methodology and the assessments are not proposed to exceed the assessment formula or range of assessment as adopted by the City prior to November 6, 1996. Based on the forgoing, the assessments to be imposed in Fiscal Year 2025-26 are not subject to Article XIII D, Section 4.

### Method of Apportionment

As previously stated the District was formed in 1982 for the purpose of installing, operating, and maintaining public lighting facilities within the City of Santee. The benefit charge formula established the amount of the estimated assessment on each lot or parcel of land in the District in proportion to the estimated benefit to be received by each such lot or parcel of land from the use of the streets and their appurtenances, such as street lights. An evaluation of the major roadways consistent with the method of apportionment of the District was conducted to determine the portion of general and special benefit conferred on real property within the City. Each lot or parcel of land in the District has been determined to have a specific land use by the City of Santee Department of Development Services. The use or benefit of a public street is best determined by the use of the land adjacent to the public street. Each type of actual land use was assigned a land use factor derived from trip generation rates, developed by the Transportation Planning Division of the City of San Diego's Planning Department. These factors are based on a compilation of trip generation studies done in San Diego and other Western U.S. locations. Please refer to Appendix B for the assigned land use factors.

Previously, the streetlights were split into Zones with streetlights being designated as either general benefit or special benefit. However, the majority of streetlights provide both general and special benefit. Therefore, based on the results of a traffic study completed in 2014 and on file with the City of Santee Department of Development Services, the percent of special benefit is estimated by taking the total measured Average Daily Traffic (ADT) volumes and comparing this amount to the estimated ADT volumes



### 3. Method of Apportionment of Assessment

generated from the parcels fronting the roadway. The percentage of traffic that is from the parcels fronting the roadway is defined to be the percentage of local benefit. The percentage of traffic that is not from the parcels fronting the roadway is considered to be general benefit. All properties within the District are being assessed the estimated benefit received from the public lighting facilities within the City of Santee.

In 2017, the City updated the General Plan's Mobility Element which was intended to provide a framework for the development of the City's transportation network through the year 2035 and to comply with current state laws and codes. As a result of these changes, a new traffic study was needed which affected the classification of the roadways within the City as well as the special benefit and general benefit provided by each roadway classification. The information below reflects the changes determined by the traffic study completed July 2019.

The streetlights along major roadways provide both general and special benefit. Based on the City's 2017 Mobility Element and the July 2019 traffic study, the streets below have been classified as prime arterials, collectors, major arterials, parkways, or industrial.

#### **Prime Arterials**

- 1. Cuyamaca Street
- 2. Mission Gorge Road
- 3. Magnolia Avenue

#### Major Arterials

- 1. Mission Gorge Road
- 2. Woodside Avenue
- 3. Mast Boulevard
- 4. Carlton Hills Boulevard
- 5. Cuyamaca Street
- 6. Magnolia Avenue
- 7. Fanta Drive

#### Parkways

- 1. Town Center Parkway
- 2. Riverview Parkway
- 3. Park Center Drive
- 4. Fanita Parkway
- Industrial

### 1. Railroad Avenue

- 2. Buena Vista Avenue
- 3. Pathway Street
- 4. Hartley Road
- 5. Isaac Street
- 6. Abraham Way
- 7. Wheatlands Avenue
- 8. Wheatlands Court
- 9. Wheatlands Road

#### Collectors

- 1. Fanita Parkway
- 2. Carlton Oaks Drive
- 3. Halberns Boulevard
- 4. El Nopal
- 5. Mesa Road
- 6. Prospect Avenue
- 7. Olive Lane
- 8. Cottonwood Avenue
- 9. Graves Avenue
- 10. Carlton Hills Boulevard
- 11. N. Woodside Avenue
- 12. S. Woodside Avenue
- 13. Mast Boulevard

The distinction between special benefit and general benefit for each road classification, as shown in the table below, is utilized by the City to determine the cost breakdown for electricity and repairs associated with each light.

### Special and General Benefit for each Roadway Classification

Road Classification	% Special Benefit	% General Benefit
Prime	27%	73%
Major	16%	84%
Parkway	34%	66%
Collector	37%	63%
Industrial	89%	11%

Each property subject to the District assessment is assigned a land use factor. The land use factor is multiplied by the number of dwelling units for parcels classified as residential, or the number of acres for other land use classifications. The product of this multiplication is the number of benefit units for each lot or parcel of land to be assessed. The amount per benefit unit is then multiplied by the number of benefit units for each of the lots or parcels of land to establish the benefit charge for that lot or parcel of land.

This local lighting is of benefit to abutting parcels as it provides increased property protection, personal safety, visibility, traffic safety, and specifically enhances those areas fronting upon the illuminated street, in addition to providing the appearance of a progressive and illuminated city.



The recommended assessment this year is \$16.00 per Benefit Unit for parcels in Zone B. The benefit assessment will stay the same as to the prior Fiscal Year and is in accordance with the original methodology. The latest Assessor's information related to parcel size and parcel number (available in mid-July 2025) will be used to determine the final assessment.

#### Land Use Factors

1. Each parcel of land in the lighting district was determined to have a specific land use by the City of Santee Department of Development Services.

2. Each type of land use was assigned a land use factor determined by trip generation rates by land use as they relate to a single-family residential land use. The trip generation rates by land use were prepared by the City of San Diego Transportation, Planning Division and are a compilation of trip generation studies done in San Diego and other western U.S. locations.

3. If a land use was not included in the study, the City of Santee Department of Development Services made a determination as to its probable trip generation compared to single family residential and assigned a land use factor on that basis.

4. Single family residential land use was assigned a land use factor of 1.0, notwithstanding its size. The theory is that all singlefamily residences, notwithstanding parcel size, generate approximately the same number of trips, and therefore, receive the same benefit from the use of the streets, and their appurtenances such as street lights.

5. Determination of the land use factors other than single family residential are based upon the average number of trips generated per acre or per dwelling unit for a specific land use divided by the average number of trips generated per acre or per dwelling unit for a single-family residential dwelling.

A complete listing of these land use factors can be found in Appendix B.



#### 3. Method of Apportionment of Assessment

Whereas, on April 23, 2025, a Resolution of the City Council of the City of Santee, California, Initiating Proceedings and Ordering the Preparation of an Engineer's Report for the FY 2025-26 Santee Roadway Lighting District Annual Levy of Assessments was adopted;

Whereas, the Resolution Initiating Proceedings for the Annual Levy of Assessments and Ordering the Preparation of an Engineer's Report directed Spicer Consulting Group, LLC, to prepare and file a report presenting plans and specifications describing the general nature, location and extent of the improvements to be maintained, an estimate of the costs of the maintenance, operations and servicing of the improvements for the City of Santee Roadway Lighting District for the referenced Fiscal Year, a diagram for the District showing the area and properties to be assessed, and an assessment of the estimated costs of the maintenance, operations and servicing the improvements, assessing the net amount upon all assessable lots and-or parcels within the District in proportion to the special benefit received;

Whereas, on May 14, 2025, the City Council of the City of Santee, State of California, under the Landscaping and Lighting Act of 1972, plans to adopt its Resolution of Intention for the Annual Levy of Assessments declaring its intention to levy assessments for the Santee Roadway Lighting District and provide notice of the public hearing;

Now Therefore, the following assessment is made to cover the portion of the estimated costs of maintenance, operation and servicing of said improvements to be paid by the assessable real property within the District in proportion to the special benefit received.

#### Summary of Assessments by Zone

Table 3-1 Summary of Assessments

Description	Fiscal Year 2025-26
Zone A	\$0
Zone B	\$416,710
Total	\$416,710



Executed this	day of	2025.
PROF	ESSION	



FRANCISCO MARTINEZ JR PROFESSIONAL CIVIL ENGINEER NO. 84640 ENGINEER OF WORK CITY OF SANTEE STATE OF CALIFORNIA

I HEREBY CERTIFY that the enclosed Engineer's Report and Assessment Diagram thereto attached, was filed with me on the \_\_\_\_\_ day of \_\_\_\_\_\_, 2025, by adoption of Resolution No. \_\_\_\_2025 by City Council.

#### CITY CLERK CITY OF SANTEE STATE OF CALIFORNIA

I HEREBY CERTIFY that the enclosed Engineer's Report and Assessment Diagram thereto attached, was approved and confirmed by the City Council of the City of Santee, California on the \_\_\_\_\_day of \_\_\_\_\_\_, 2025.

CITY CLERK CITY OF SANTEE STATE OF CALIFORNIA



The actual assessment and the amount of the assessment for the Fiscal Year 2025-26 apportioned to each parcel as shown on the latest equalized roll at the County Assessor's office are listed under separate cover. The description of each lot or parcel is part of the records of the County of San Diego Assessor's Office and such records are, by reference, made part of this Report.

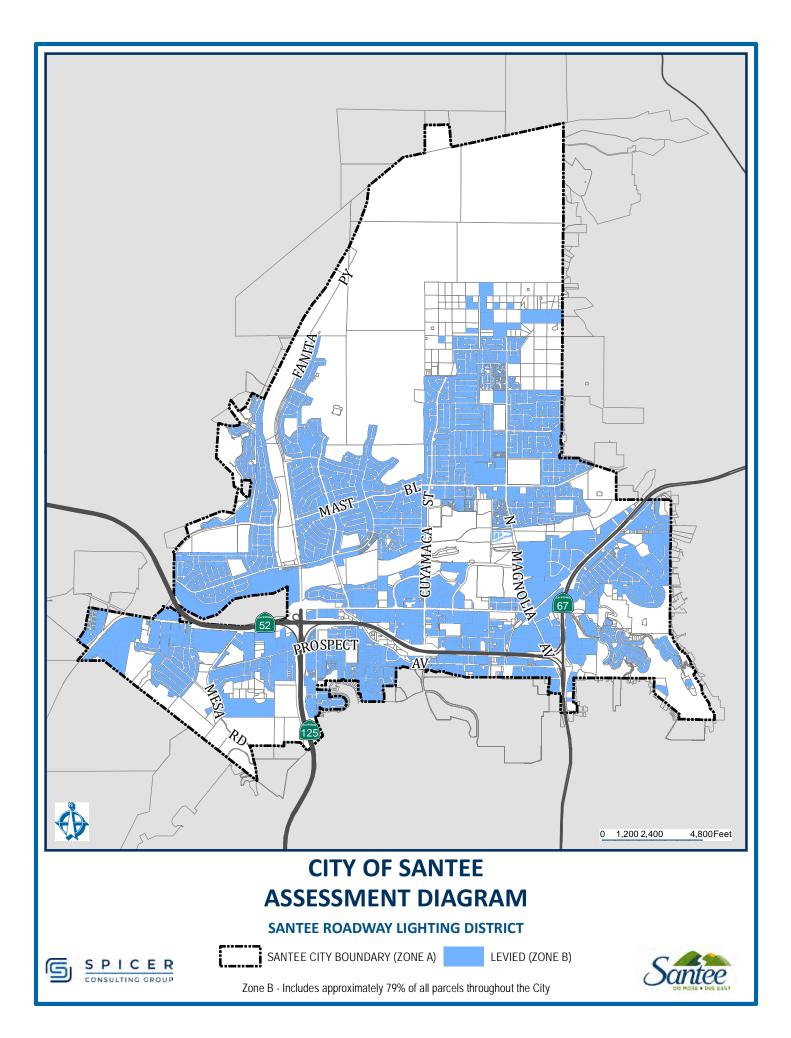


An Assessment Diagram for Santee Roadway Lighting District has been submitted to and is on file with the City Clerk in the format required under the provision of the Act.



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# Appendix A: Assessment Diagram





## CITY OF SANTEE

### **BENEFIT UNITS / LAND USE CODES**

	LAND			LAND	
BENEFIT UNITS	USE	DESCRIPTION	BENEFIT		DESCRIPTION
		DESCRIPTION	UNITS		DESCRIPTION
0.0	00	Unzoned	1.0	46	Small automotive garages
0.1	07	Timeshare	2.0	47	Industrial condominiums
0.0	09	Mobilehome (Force)	2.0	49	Special/misc. industrial
0.0	10	Vacant Residential	0.0	50	Vacant irrigated
1.0	11	Single Family Residence	0.1	51	Citrus
1.0	12	Duplex or Double	0.1	52	Avocados
1.0	13	Residential 2-4 Units/2 Houses	0.2	53	Vines
1.0	14	Residential 5-15 Units	0.1	54	Miscellaneous trees
1.0	15	Residential 16-60 Units	0.1	55	Livestock
1.0	16	Residential 61 units and up	0.1	56	Poultry
1.0	17	Condominium	0.1	57	Misc. irrigated crops
1.0	18	Со-ор	0.1	58	Growing houses
1.0	19	Miscellaneous residential	0.1	59	Special/misc. irrigated
0.0	20	Vacant commercial	0.1	61	Non-irrigated 1-10 Ac.
10.0	21	1-3 story misc. store buildings	0.1	62	Non-irrigated 11-40 Ac.
10.0	22	4 story & up office/store buildings	0.1	63	Non-irrigated 41-160 Ac.
14.0	23	Regional shopping center	0.1	64	Non-irrigated 161-360 Ac.
22.0	24	Community shopping center	0.1	65	Non-irrigated 361 Ac. & up
33.0	25	Neighborhood shopping center	0.0	70	Vacant Institutional
22.0	26	Hotel, motel	2.0	71	Church
33.0	27	Service station	1.0	72	Church parking/related
25.0	28	Medical, dental, animal hospital	0.1	73	Cemetery
6.0	29	Conv. Hospital, rest home	0.1	74	Mausoleum
10.0	30	Office condominiums	0.1	75	Mortuary
22.0	31	Parking lot, garage, used car lot	1.0	76	Public building (fire, school, library)
0.5	32	Trailer park (Force # spaces)	6.0	77	Hospital
22.0	33	Theater	1.0	79	Special/misc. institutional
22.0	34	Bowling alley	0.0	80	Vacant recreational
22.0	35	Restaurant	2.0	81	Meeting hall, gym
22.0	36	Car wash	0.2	82	Golf course
22.0	37	Large chain grocery/drug store	0.4	83	Marina, dock
11.0	38	Auto sales & service agency	1.0	84	Recreational camps
11.0	39	Misc. commercial, radio station, bank, et al	0.0	85	Non-tax recreational
0.0	40	Vacant industrial	0.0	86	Open space easements
1.0	41	Factory - light manufacturing	0.1	87	Agr. preserve (no contract)
3.0	42	Factory - heavy manufacturing	0.1	88	Agr. preserve (contract)
2.0	43	Warehouse - process or storage	1.0	89	Special/misc. recreational
2.0	44	Bulk Storage (tanks, etc.)	0.0	90	Vacant taxable government property
3.0	45	Extractive & Mining	1.0	91	Improved taxable government property



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#### RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTEE, CALIFORNIA DECLARING ITS INTENTION TO PROVIDE FOR AN ANNUAL LEVY AND COLLECTION OF ASSESSMENTS FOR CERTAIN MAINTENANCE IN AN EXISTING DISTRICT, AND SETTING A TIME AND PLACE FOR A PUBLIC HEARING THEREON FOR THE FY 2025-26 SANTEE ROADWAY LIGHTING DISTRICT

WHEREAS, the City Council of the City of Santee, California has previously formed a street lighting and landscaping district pursuant to the terms and provisions of the "Landscaping and Lighting Act of 1972", being Division 15, Part 2 of the Streets and Highways Code of the State of California, Article XIII D of the California Constitution, and the Proposition 218 Omnibus Implementation Act (commencing with California Government Code Section 53750) (collectively the "Law"), in what is known and designated as SANTEE ROADWAY LIGHTING DISTRICT ("District"); and

WHEREAS, at this time, the District contains two zones, as set forth in the Engineer's Report ("Report"), Zone A containing all the street lights of primarily general benefit located within the City limits of Santee, and Zone B containing street lights defined as primarily having special benefit to the assessed properties located in various areas throughout the City; and

WHEREAS, at this time, this City Council desires to take proceedings to set the annual levy of assessments for the ensuing fiscal year, to provide for the costs and expenses necessary for the continued maintenance of improvements within said District; and

WHEREAS, at this time there has been presented and approved by this City Council a Report as required by law, and this City Council desires to move forth with the proceedings for said annual levy.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Santee, California, as follows:

**SECTION 1.** The above recitals are all true and correct.

**SECTION 2.** The Report regarding the annual levy for said District, which Report is for maintenance of certain improvements for Fiscal Year 2025-26 that has been previously approved is directed to be filed in the Office of the City Clerk. Reference is hereby made to the Report for a full and detailed description of the improvements, the boundaries of the District and any zones therein, and the proposed assessment.

**SECTION 3.** The public interest and convenience requires, and it is the intention of this City Council to order, the annual assessment levy for the District as set forth and described in the Report, and it is further determined to be in the best public interest and convenience to levy and collect annual assessments to pay the costs and expenses of the maintenance of the improvements as estimated in said Report.

**SECTION 4.** The assessments levied and collected shall be for the maintenance of certain improvements, as set forth in the Report, referenced and so incorporated herein.

**SECTION 5**. The proposed assessment in Zone B will be \$16.00, the maximum assessment amount per household/benefit unit in FY 2025-26. There will continue to be no assessment in Zone A.

**SECTION 6**. It is estimated that 20 new lights will be added within the District in Fiscal Year 2025-26.

**SECTION 7.** The County Auditor shall enter on the Assessment Roll the amount of the assessments, and shall collect said assessments at the same time and in the same manner as County taxes are collected. After collection, the net amount of the assessments, after the deduction of any compensation due to the County for collection, shall be paid to the Treasurer of the City of Santee for purposes of paying for the costs and expenses of said District.

**SECTION 8.** All monies collected shall be deposited in a special fund known as: "SPECIAL FUND - SANTEE ROADWAY LIGHTING DISTRICT." Payment shall be made out of said fund only for the purpose provided for in this Resolution, and in order to expedite the execution of the maintenance, the City Council may transfer into said special fund, from any available source, such funds as it may deem necessary to expedite the proceedings. Any funds shall be repaid out of the proceeds of the assessments provided for in this Resolution.

**SECTION 9.** Said maintenance work is, in the opinion of this City Council, of direct benefit to the properties within the boundaries of the District, and this City Council makes the costs and expenses of said maintenance chargeable upon a District, of which District this City Council hereby declares to be the District benefited by said improvements and their maintenance thereof, and to be further assessed to pay the costs and expenses thereof. Said District shall include each and every parcel of land within the boundaries of said District, as said District is shown within said Report, as approved by this City Council and on file in the Office of the City Clerk, and so designated by the name of the District.

**SECTION 10.** Any public properties, as defined in the Law, which are included within the boundaries of the District, shall be subject to any assessment to be made under these proceedings to cover any of the costs and expenses of said maintenance work.

**SECTION 11.** Notice is hereby given that a public hearing on this item will be held before the **SANTEE CITY COUNCIL** at 6:30 p.m., Wednesday on July 9, 2025, regarding the annual levy of assessments, the extent of the maintenance, and any other matters contained within this Resolution. Instructions for participating in the hearing will be posted by the City Clerk on the City's website at https://www.cityofsanteeca.gov. Any persons who wish to object to the proceedings for the annual levy should file a written protest with the City Clerk prior to the time set and scheduled for said public hearing.

**SECTION 12.** The Finance Department is hereby authorized and directed to publish a copy of this Resolution in a newspaper of general circulation within said City, said publication and be not less than ten (10) days before the date set for said Public Hearing.

**SECTION 13.** This Resolution shall take effect immediately upon its adoption.

**ADOPTED** by the City Council of the City of Santee, California, at a Regular meeting thereof held this 14<sup>th</sup> day of May, 2025 by the following roll call vote to wit:

AYES:

NOES:

ABSENT:

**APPROVED:** 

JOHN W. MINTO, MAYOR

ATTEST:

JAMES JEFFRIES, CITY CLERK



MEETING DATE May 14, 2025

**ITEM TITLE** RESOLUTION DECLARING THE CITY COUNCIL'S INTENTION TO LEVY, AS A SUCCESSOR AGENCY TO COUNTY SERVICES AREA (CSA) 69, A SPECIAL TAX WITHIN THE SANTEE-LAKESIDE EMERGENCY MEDICAL SERVICES AUTHORITY BOUNDARY FOR FY 2025-2026 AND SETTING A PUBLIC HEARING

DIRECTOR/DEPARTMENT Heather Jennings, Finance

**SUMMARY** Upon the dissolution of County Service Area No. 69 ("CSA 69") on January 1, 2023, the Santee-Lakeside Emergency Medical Services Authority ("SLEMSA") assumed responsibility for the administrative oversight and funding of emergency medical services provided within the boundaries of former County Service Area No. 69 ("CSA 69") and certain additional areas identified by the Local Agency Formation Commission as within the CSA No. 69 Reorganization jurisdictional boundary ("CSA 69 Reorganization Boundary"). The City of Santee and Lakeside Fire Protection District are the successor agencies to CSA 69 within their respective territories, and are subject to any previously authorized taxes, benefit assessments, fees or charges of CSA 69, which they are authorized to assess, levy and/or collect within their respective boundaries, as successors to CSA 69.

The special tax was previously set each year based on the formula established by the County of San Diego, but is now set by the City of Santee and Lakeside Fire Protection District. There is an annual adjustment based on the increase in the consumer price index for the San Diego area as determined by the United States Department of Labor. For Fiscal Year 2025-26, the increase in the consumer price index in the San Diego area is 3.11%. The annual assessment is included on the Property Tax bill for each affected parcel and was previously collected and transferred to CSA 69, but now is collected and transferred, in part, to the City of Santee on the same schedule as the normal property tax payments.

A Public Hearing must be conducted to complete the process of establishing the annual special tax to be levied on parcels within the CSA 69 Reorganization Boundary for the Fiscal Year 2025-26.

On file with the City Clerk is a preliminary copy of specific parcels and charges within the City's territory within the CSA 69 Reorganization Boundary elucidating the number of parcels subject to the special tax and the amount of the proposed tax.

The attached Resolution will set a Public Hearing to be held on July 9, 2025, to complete the annual process.

# FINANCIAL STATEMENT

The total combined levy for the special tax levied on parcels within the CSA 69 Reorganization Boundary will be approximately \$3,571,921, of which \$1,581,747 will be levied from parcels with the city limits of the City of Santee and \$1,990,174 will be levied within the limits of Lakeside Fire Protection District. Amounts will be included in the Fiscal Year 2025-26 SLEMSA budget.





# CITY ATTORNEY REVIEW □ N/A • ⊠ Completed

# RECOMMENDATION

Adopt the Resolution declaring intention to levy, as a successor agency to CSA 69, a special tax within the CSA 69 Reorganization Boundary for FY 2025-26 and setting a public hearing for July 9, 2025.

### **ATTACHMENT**

Resolution



#### A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTEE DECLARING ITS INTENTION TO LEVY, AS A SUCCESSOR AGENCY TO COUNTY SERVICE AREA (CSA) 69, A SPECIAL TAX WITHIN THE <u>SANTEE-LAKESIDE EMERGENCY MEDICAL SERVICES AUTHORITY</u> BOUNDARY FOR FY 2025-2026 AND SETTING A PUBLIC HEARING

WHEREAS, upon the dissolution of County Service Area No. 69 (hereinafter "CSA 69") on January 1, 2023, the Santee-Lakeside Emergency Medical Services Authority ("SLEMSA") assumed the responsibility for the administrative oversight and funding of emergency medical services provided within the boundaries of former CSA 69, and certain additional areas identified by the Local Agency Formation Commission as within the CSA 69 Reorganization jurisdictional boundary (hereinafter "CSA 69 Reorganization Boundary"); and

**WHEREAS**, the City and Lakeside Fire Protection District are the successor agencies to the CSA 69 within their respective territories, and are subject to any previously authorized taxes, benefit assessments, fees or charges of CSA 69, which they are authorized to assess, levy and/or collect within their respective boundaries, as successors to CSA 69; and

**WHEREAS,** the City of Santee is now responsible for levying a special tax within its territory located within the CSA 69 Reorganization Boundary; and

WHEREAS, the special tax levied within the CSA 69 Reorganization Boundary provides funding for enhanced advanced life support ambulance transport services within the CSA 69 Reorganization Boundary; and

**WHEREAS**, the City of Santee has determined that it is necessary to continue to levy this special tax within the CSA 69 Reorganization Boundary in order to continue to provide such extended services; and

WHEREAS, there is an annual special tax levied against the parcels contained within the CSA 69 Reorganization Boundary. The special tax was previously set each year based on the formula established by the County of San Diego. The City of Santee will set this tax for its territory moving forward. There will also be an annual adjustment based on the increase in the consumer price index for the San Diego area as determined by the United States Department of Labor. For Fiscal Year 2025-26, the increase in the consumer price index in the San Diego area is 3.11%. The annual special tax is assessed and included on the Property Tax bill for each affected parcel and previously was collected and transferred to CSA 69, but now will be collected and transferred, in part, to the City of Santee on the same schedule as the normal property tax payments; and

WHEREAS, in light of the CSA 69 Reorganization, it is required that both of SLEMSA's Members, the City of Santee and the Lakeside Fire Protection District annually cause to be prepared and filed internally the specific parcels and special tax to be levied within their territory within the CSA 69 Reorganization Boundary for the upcoming Fiscal Year; and

WHEREAS, the City of Santee shall cause to be noticed and thereafter conduct a public hearing to hear and consider testimony regarding the levy of special tax for such extended service within the former CSA 69 Reorganization Boundary; and

**WHEREAS**, on file with the City Clerk of the City of Santee is a copy of specific parcels and special tax to be levied within the City's territory within the CSA 69 Reorganization Boundary elucidating the number of parcels being levied and the amount of the proposed charges; and

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Santee, California, as follows:

**SECTION 1.** City Council adopts the Recitals set forth above as true and correct and accepts the parcels and special tax for the CSA 69 Reorganization Boundary service areas on file with the City Clerk of the City of Santee.

**SECTION 2.** The City Council directs the City Clerk of the City of Santee to publish notice of a public hearing to be conducted on July 9, 2025 by the City Council of the City of Santee. The Public Hearing shall take place at 10601 Magnolia Ave., Santee, CA for the purpose of allowing public testimony regarding the enactment of the continuation and receipt of proposed Fiscal Year 2025-26 special tax on parcels within the City's territory within the CSA 69 Reorganization Boundary.

**SECTION 3.** The City Council directs the City Clerk of the City of Santee to publish a Notice of Public Hearing once a week for two weeks pursuant to Government Code Section 6066. Any person affected by the proposed special tax may submit written comments or protest to the City Clerk of the City of Santee at any time before the conclusion of the Public Hearing or may appear in support of, or opposition to, the proposals at the time of the Public Hearing. For additional information, any interested person may contact the City Clerk at (619) 258-4100 Ext. 114 during the hours of 8:00am – 5:00pm, Mon-Thurs.

**ADOPTED** by the City Council of the City of Santee, California, at a Regular meeting thereof held this 14<sup>th</sup> day of May, 2025 by the following roll call vote to wit:

AYES:

NOES:

ABSENT:

**APPROVED:** 

JOHN W. MINTO, MAYOR

ATTEST:

JAMES JEFFRIES, CITY CLERK

Item 8



MEETING DATE May 14, 2025

ITEM TITLE **RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTEE,** CALIFORNIA AUTHORIZING THE CITY MANAGER TO EXECUTE A PROFESSIONAL SERVICES AGREEMENT WITH **INFRASTRUCTURE** MANAGEMENT SERVICES (IMS) FOR THE PREPARATION OF THE PAVEMENT CONDITION REPORT 2026 AND FINDING THIS ACTION IS NOT A PROJECT UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) PURSUANT **TO CEQA GUIDELINES SECTION 15060 AND 15378** 

DIRECTOR/DEPARTMENT Carl Schmitz, Engineering

### SUMMARY

This item requests the authorization for the City Manager to execute a professional services agreement with Infrastructure Management Services (IMS) for the preparation of the Pavement Condition Report 2026 (Report). This Report is updated every 3 to 5 years and was last updated in 2022. The 2022 Report calculated an overall City Pavement Condition Index (PCI) of 65. The Report is used and required for the programming of TransNet funds with SANDAG through the Regional Transportation Improvement Program (RTIP) and Roadway Maintenance and Rehabilitation Account (RMRA). The Report will provide recommendations over a 5-year period for a street resurfacing program for the Citywide Pavement Repair and Rehabilitation Program and Citywide Slurry Seal and Roadway Maintenance Program based on current funding from TransNet and RMRA funds.

The consultant will visually assess every street within the City and determine a Pavement Condition Index (PCI) number based on the existing pavement condition of all 509 public streets and an overall City PCI. The Report will also calculate an annual street resurfacing budget required to maintain the City's overall PCI and also the annual street resurfacing budget required to increase the overall City PCI from the Report to a 70 and a 75.

On March 7, 2025, staff issued a request for proposals from engineering consulting firms for the preparation of the Report and on April 15, 2025, three proposals were submitted. Proposals were reviewed and ranked based upon the qualifications and experience with similar projects. IMS was selected as the most qualified and cost-effective consultant based upon the scope of services for their design fee which will provide the City with a high-quality Report. The final Report is anticipated to be completed by November 2025. The Report will be used for future annual street resurfacing projects starting in FY 2026-27.

Staff has negotiated a scope of work and fee totaling \$54,409.00 with IMS. Staff requests authorization for the City Manager to execute a professional services agreement with IMS on behalf of the City and authorization for the Director of Engineering to approve amendments in a total amount not to exceed \$5,591.00 for unforeseen items and additional qualifying





CITY OF SANTEE COUNCIL AGENDA STATEMENT

services as necessary. The project budget for the Pavement Condition Report 2026 Project is \$60,000.00.

### ENVIRONMENTAL REVIEW

The adoption of this resolution does not constitute a "Project" under the California Environmental Quality Act pursuant to 15060(c)(3) and 15378(b)(5) because design work will not result in any direct or indirect physical change to the environment.

# FINANCIAL STATEMENT

Funding for this project is provided by Paving Program General Funds in the amount of \$60,000.00 and is included in the adopted FY 2024-28 Capital Improvement Program budget.

CITY ATTORNEY REVIEW D N/A SCompleted

# RECOMMENDATION

Adopt the Resolution authorizing the City Manager to execute a professional services agreement with IMS in the amount of \$54,409.00 for the preparation of a Pavement Condition Report and authorizing the Director of Engineering to approve amendments in a total amount not to exceed \$5,591.00.

# ATTACHMENTS

Resolution



#### RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTEE, CALIFORNIA, AUTHORIZING THE CITY MANAGER TO EXECUTE A PROFESSIONAL SERVICES AGREEMENT WITH INFRASTRUCTURE MANAGEMENT SERVICES (IMS) FOR THE PREPARATION OF A PAVEMENT CONDITION REPORT 2026

**WHEREAS,** the preparation of a Pavement Condition Report is required for the programming of TransNet funds with SANDAG through the Regional Transportation Improvement Program (RTIP) and Roadway Maintenance and Rehabilitation Account (RMRA); and

**WHEREAS,** the preparation of a Pavement Condition Report is necessary for the Citywide Pavement Repair and Rehabilitation Program and Citywide Slurry Seal and Roadway Maintenance Program; and

**WHEREAS,** staff issued a request for proposals (RFP) for the preparation of the Pavement Condition Report; and

WHEREAS, staff received three proposals in response to the RFP; and

**WHEREAS**, staff reviewed the proposals and selected IMS as the most qualified and cost-effective firm to perform the work as required; and

**WHEREAS**, staff recommends City Council authorize the City Manager to execute a professional services agreement with IMS for the preparation of the Pavement Condition Report 2026 in the amount of \$54,409.00; and

WHEREAS, staff requests authorization for the Director of Engineering to approve amendments in a total amount not to exceed \$5,591.00 for unforeseen items and additional qualifying necessary work; and

**WHEREAS,** funding for the professional services is included in the adopted FY 2024-28 Capital Improvement Program budget will be provided by the Paving Program General Funds.

**NOW, THEREFORE BE IT RESOLVED** by the City Council of the City of Santee, California, as follows:

<u>SECTION 1</u>: The Recitals provided above are true and correct and are hereby incorporated into this Resolution.

<u>SECTION 2</u>: The City Manager is authorized to execute a professional services agreement with IMS in the amount of \$54,409.00 for the preparation of the Pavement Condition Report 2026.

**SECTION 3:** The Director of Engineering is authorized to approve amendments orders in a total amount not to exceed \$5,591.00 for unforeseen items and additional qualifying necessary work.

**<u>SECTION 4</u>**: The project is categorically exempt from environmental review under State CEQA Guidelines Section 15301(c), Existing Facilities.

<u>SECTION 5</u>: The documents and materials associated with this Resolution that constitute the record of proceedings on which these findings are based are located at Santee City Hall, 10601 Magnolia Avenue, Santee, CA 92071. The City Clerk is the custodian of record of those proceedings.

**<u>SECTION 6</u>**: This Resolution shall take effect immediately upon its passage.

**ADOPTED** by the City Council of the City of Santee, California, at a Regular meeting thereof held this 14<sup>th</sup> day of May, 2025, by the following roll call vote to wit:

AYES:

NOES:

ABSENT:

APPROVED:

JOHN W. MINTO, MAYOR

ATTEST:

JAMES JEFFRIES, CITY CLERK



MEETING DATE May 14, 2025

**ITEM TITLE** RESOLUTION AUTHORIZING APPROPRIATION AND EXPENDITURE OF FY 2024 STATE HOMELAND SECURITY GRANT FUNDS IN ACCORDANCE WITH ALL PROGRAM REQUIREMENTS AND APPROVE PURCHASE OF SELF CONTAINED BREATHING APPARATUS (SCBA) AND SCBA ACCESSORIES

# DIRECTOR/DEPARTMENT Harley Wallace, Deputy Fire Chief

# **SUMMARY**

On April 29, 2025, the San Diego County Office of Emergency Services approved Santee's 2024 State Homeland Security Grant Program (SHSGP) request in the amount of \$17,916 toward the purchase of Self-Contained Breathing Apparatus (SCBA) and SCBA accessories.

# FINANCIAL STATEMENT

FY2024 State Homeland Security Grant funds will reimburse the City \$17,916 toward the purchase of SCBAs and SCBA accessories. The performance period for the grant ends on May 31, 2026.

# **<u>CITY ATTORNEY REVIEW</u>** □ N/A • ⊠ Completed

# RECOMMENDATION

Adopt Resolution:

- 1. Authorizing the appropriation and expenditure of 2024 SHSGP Funds in accordance with all program requirements to purchase SCBAs and SCBA accessories; and
- 2. Authorizing the Director of Fire and Life Safety (Fire Chief) to execute all necessary grant documents by May 31, 2026, for the purposes of obtaining reimbursement and complying with the SHSGP.

# **ATTACHMENT**

Resolution Notification of Federal Funding Award Standard Assurances for Cal OES Federal Non-Disaster Preparedness Grant Form



#### RESOLUTION AUTHORIZING APPROPRIATION AND EXPENDITURE OF FY 2024 STATE HOMELAND SECURITY GRANT FUNDS IN ACCORDANCE WITH ALL PROGRAM REQUIREMENTS

WHEREAS, on April 29, 2025, the San Diego County Office of Emergency Services approved the City of Santee's ("City") FY 2024 State Homeland Security Grant Program ("SHSGP") grant request in the amount of \$17,916.00; and

**WHEREAS,** any liability arising out of the performance of the SHSGP agreement shall be the responsibility of the City of Santee and the City Council; and

WHEREAS, FY 2024 SHSGP grant funds will reimburse the City \$17,916.00 toward the purchase of Self-Contained Breathing Apparatus (SCBA) and SCBA accessories.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Santee, California as follows:

- 1. Authorizes the appropriation and expenditure of FY 2024 State Homeland Security Program grant funds is hereby authorized in accordance with all program requirements for the purchase SCBAs and SCBA accessories; and
- 2. Authorizes the Director of Fire and Life Safety (Fire Chief) to execute all necessary grant documents by May 31, 2026, for the purpose of obtaining reimbursement and complying with SHSGP.

**ADOPTED** by the City Council of the City of Santee, California, at a Regular Meeting thereof held this 14<sup>th</sup> day of May 2025, by the following roll call vote, to wit:

AYES:

NOES:

ABSENT:

APPROVED:

JOHN W. MINTO, MAYOR

ATTEST:

JAMES JEFFRIES, CITY CLERK



County of San Diego Office of Emergency Services 5580 Overland Ave., Suite 100 San Diego, CA 92123 -1251 Phone: (858) 565-3490 Fax: (858) 565-3499



April 29, 2025

City of Santee 10601 Magnolia Ave Santee, CA 92071

#### SUBJECT: NOTIFICATION OF FEDERAL FUNDING AWARD FY 2024 Homeland Security Grant Program (HSGP) Subaward #2024-0088, Cal OES ID #073-00000

The purpose of this letter is to notify you that the County of San Diego Office of Emergency Services has approved your **FY2024 SHSP** award in the amount of **\$17,916** as listed below:

Subrecipient Name:	City of Santee
Subrecipient UEI:	K2JDHACCELC7
Federal Award ID (FAIN)	EMW-2024-SS-05088
Subaward Period of Performance:	09/01/24 to 05/31/26
Subrecipient Award Amount:	\$17,916
Federal Award Project Description:	Implementation of homeland security management grant to support state, local, tribal and territorial efforts to prevent terrorism and other catastrophic events.
Federal Awarding Agency:	US Department of Homeland Security
CFDA Number:	97.067/Homeland Security Grant Program
Research & Development Award (Y/N):	No
Indirect Cost Rate:	N/A
Match Requirement:	N/A

This grant award is subject to all provisions of Uniform Guidance (2 CFR Part 200), which can be accessed at <u>www.ecfr.gov</u>. Non-federal entities that expend \$1,000,000 or more annually in Federal Awards must have a Single Audit performed each year. Please forward a copy of your most current Single Audit report to the contact below.

Subrecipients are to comply with all applicable federal, state, and local Environmental Planning and Historic Preservation (EHP) requirements. Additionally, Aviation/Watercraft requests, Establish/Enhance Emergency Operations Center projects, projects requiring EHP review, and Noncompetitive Procurement requests require additional approvals. Subrecipients must obtain written approval for these activities prior to incurring any costs, in order to be reimbursed for any related costs under this Grant Subaward. Subrecipients are also required to obtain a Performance Bond prior to the purchase of any equipment item over \$250,000, including any Aviation or Watercraft financed with Homeland Security dollars. Performance Bonds must be submitted to the contact below no later than the time of reimbursement.

Please complete and return the attached OES Grant Management Assessment Questionnaire, 2024 Grant Assurances and Signature Authorization Form, current Procurement Policies and Salvage Guidelines.



County of San Diego Office of Emergency Services 5580 Overland Ave., Suite 100 San Diego, CA 92123 -1251 Phone: (858) 565-3490 Fax: (858) 565-3499



Your performance period ends May 31, 2026. Please submit your reimbursement requests no later than June 30, 2026.

For further assistance, please contact Stephanie Han at (619) 708-1824, <u>Stephanie.Han@sdcounty.ca.gov</u> or Ron Cacho at (619) 806-9077, <u>Ronjuliang.Cacho@sdcounty.ca.gov</u>.

Sincerely,

Martin.Kurian@ Digitally signed by Martin.Kurian@sdcounty.ca.gov Date: 2025.04.29 08:33:12 -0700'

Martin Kurian, Finance Officer County of San Diego, Office of Emergency Services

Attachments: OES Grant Management Assessment Questionnaire 2024 Grant Assurances SHSP 2024 Approved FMFW



As the duly authorized representative of the Applicant, I hereby certify that the Applicant has the legal authority to apply for federal assistance and the institutional, managerial, and financial capability (including funds sufficient to pay any non-federal share of project cost) to ensure proper planning, management, and completion of the project described in this application, within prescribed timelines.

The requirements outlined in these assurances apply to Applicant and any of its subrecipients.

I further acknowledge that the Applicant is responsible for reviewing and adhering to all requirements within the:

- (a) Applicable Federal Regulations (see below);
- (b) Federal Program Notice of Funding Opportunity (NOFO);
- (c) Federal Preparedness Grants Manual;
- (d) California Supplement to the NOFO; and
- (e) Federal and State Grant Program Guidelines.

### Federal Regulations

Government cost principles, uniform administrative requirements, and audit requirements for federal grant programs are set forth in Title 2, Part 200 of the Code of Federal Regulations (C.F.R.) and adopted by the Department of Homeland Security (DHS) at 2 C.F.R. Part 3002.10. Updates are issued by the Office of Management and Budget (OMB) and can be found at http://www.whitehouse.gov/omb/.

In the event Cal OES determines that changes are necessary to the subaward after a subaward has been made, including changes to period of performance or terms and conditions, Applicants will be notified of the changes in writing. Once notification has been made, any subsequent request for funds will indicate Applicant acceptance of the changes to the subaward.

State and federal grant award requirements are set forth below. The Applicant hereby agrees to comply with the following:

### 1. Proof of Authority

The Applicant will obtain proof of authority from the city council, governing board, or authorized body in support of this project. This written authorization must specify that the Applicant and the city council, governing board, or authorized body agree:

Initials \_\_\_\_\_



- (a) To provide all matching funds required for the grant project and that any cash match will be appropriated as required;
- (b) Any liability arising out of the performance of this agreement shall be the responsibility of the Applicant and the city council, governing board, or authorized body;
- (c) Grant funds shall not be used to supplant expenditures controlled by the city council, governing board, or authorized body;
- (d) The Applicant is authorized by the city council, governing board, or authorized body to apply for federal assistance, and the institutional, managerial and financial capability (including funds sufficient to pay the non-federal share of project cost, if any) to ensure proper planning, management and completion of the project described in this application; and
- (e) The official executing this agreement is authorized by the Applicant.

This Proof of Authority must be maintained on file and readily available upon request.

2. Period of Performance

The period of performance is specified in the Award. The Applicant is only authorized to perform allowable activities approved under the award, within the period of performance.

3. Lobbying and Political Activities

As required by Section 1352, Title 31 of the United States Code (U.S.C.), for persons entering into a contract, grant, loan, or cooperative agreement from an agency or requests or receives from an agency a commitment providing for the United States to insure or guarantee a loan, the Applicant certifies that:

(a) No federal appropriated funds have been paid or will be paid, by or on behalf of the undersigned, to any person for influencing or attempting to influence an officer or employee of an agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with the awarding of any Federal contract, the making of any federal grant, the making of any federal loan, the entering into of any cooperative agreement, and the extension, continuation, renewal, amendment, or modification of any federal contract, grant, loan, or cooperative agreement.



- (b) If any funds other than federal appropriated funds have been paid or will be paid to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with this federal contract, grant, loan, or cooperative agreement, the undersigned shall complete and submit Standard Form-LLL, "Disclosure Form to Report Lobbying", in accordance with its instructions.
- (c) The Applicant shall require that the language of this certification be included in the award documents for all subawards at all tiers (including subcontracts, subgrants, and contracts under grants, loans, and cooperative agreements) and that all subrecipients shall certify and disclose accordingly.

The Applicant will also comply with provisions of the Hatch Act (5 U.S.C. §§ 1501-1508 and §§ 7324-7328) which limit the political activities of employees whose principal employment activities are funded in whole or in part with federal funds.

Finally, the Applicant agrees that federal funds will not be used, directly or indirectly, to support the enactment, repeal, modification or adoption of any law, regulation, or **policy without the express written approval from the California Governor's Office of** Emergency Services (Cal OES) or the federal awarding agency.

### 4. Debarment and Suspension

As required by Executive Orders 12549 and 12689, and 2 C.F.R. § 200.214 and codified in 2 C.F.R. Part 180, Debarment and Suspension, the Applicant will provide protection against waste, fraud, and abuse by debarring or suspending those persons deemed irresponsible in their dealings with the federal government. The Applicant certifies that it and its subrecipients:

- (a) Are not presently debarred, suspended, proposed for debarment, declared ineligible, or voluntarily excluded from covered transactions by any federal department or agency;
- (b) Have not within a three-year period preceding this application been convicted of or had a civil judgment rendered against them for commission of fraud or a criminal offense in connection with obtaining, attempting to obtain, or performing a public (federal, state, or local) transaction or contract under a public transaction; violation of federal or state antitrust statutes or commission of embezzlement, theft, forgery, bribery, falsification or destruction of records, making false statements, or receiving stolen property;



- (c) Are not presently indicted for or otherwise criminally or civilly charged by a governmental entity (federal, state, or local) with commission of any of the offenses enumerated in paragraph (4)(b) of this certification; and
- (d) Have not within a three-year period preceding this application had one or more public transaction (federal, state, or local) terminated for cause or default.

Where the Applicant is unable to certify to any of the statements in this certification, he or she shall attach an explanation to this application.

- **5.** Non-Discrimination and Equal Employment Opportunity The Applicant will comply with all state and federal statutes relating to nondiscrimination, including:
  - (a) Title VI of the Civil Rights Act of 1964 (Public Law (P.L.) 88-352 and 42 U.S.C. § 2000d et. seq.) which prohibits discrimination on the basis of race, color, or national origin and requires that recipients of federal financial assistance take reasonable steps to provide meaningful access to persons with limited English proficiency (LEP) to their programs and services;
  - (b) Title IX of the Education Amendments of 1972, (20 U.S.C. §§ 1681-1683, and 1685-1686), which prohibits discrimination on the basis of sex in any federally funded educational program or activity;
  - (c) Section 504 of the Rehabilitation Act of 1973, (29 U.S.C. § 794), which prohibits discrimination against those with disabilities or access and functional needs;
  - (d) Americans with Disabilities Act (ADA) of 1990 (42 U.S.C. § 12101et seq.), which prohibits discrimination on the basis of disability and requires buildings and structures be accessible to those with disabilities and access and functional needs;
  - (e) Age Discrimination Act of 1975, (42 U.S.C. §§ 6101-6107), which prohibits discrimination on the basis of age;
  - (f) Public Health Service Act of 1912 (42 U.S.C. §§ 290 dd—2), relating to confidentiality of patient records regarding substance abuse treatment;
  - (g) Title VIII of the Civil Rights Act of 1968 (42 U.S.C. § 3601 et seq.), relating to nondiscrimination in the sale, rental or financing of housing as implemented by the Department of Housing and Urban Development at 24 C.F.R. Part100. The prohibition on disability discrimination includes the requirement that new multifamily housing with four or more dwelling units — i.e., the public and common use areas and individual apartment units (all units in buildings with elevators and ground-floor units in buildings without elevators) — be designed and constructed with certain accessible features (See 24 C.F.R. § 100.201); Page 4 of 15



- (h) Executive Order 11246, which prohibits federal contractors and federally assisted construction contractors and subcontractors, who do over \$10,000 in Government business in one year from discriminating in employment decisions on the basis of race, color, religion, sex, sexual orientation, gender identification or national origin;
- (i) Executive Order 11375, which bans discrimination on the basis of race, color, religion, sex, sexual orientation, gender identification, or national origin in hiring and employment in both the United States federal workforce and on the part of government contractors;
- (j) California Public Contract Code § 10295.3, which prohibits discrimination based on domestic partnerships and those in same sex marriages;
- (k) DHS policy to ensure the equal treatment of faith-based organizations, under which the Applicant must comply with equal treatment policies and requirements contained in 6 C.F.R. Part 19;
- (I) The California's Fair Employment and Housing Act (FEHA) (California Government Code §§12940-12957), as applicable. FEHA prohibits harassment and discrimination in employment because of ancestry, familial status, race, color, religious creed (including religious dress and grooming practices), sex (which includes pregnancy, childbirth, breastfeeding and medical conditions related to pregnancy, childbirth or breastfeeding), gender, gender identity, gender expression, sexual orientation, marital status, national origin, ancestry, mental and physical disability, genetic information, medical condition, age, pregnancy, denial of medical and family care leave, or pregnancy disability leave, military and veteran status, and/or retaliation for protesting illegal discrimination related to one of these categories, or for reporting patient abuse in tax supported institutions;
- (m)Any other nondiscrimination provisions in the specific statute(s) under which application for federal assistance is being made; and
- (n) The requirements of any other nondiscrimination statute(s) that may apply to this application.

<u>Civil Rights Policies for Program Beneficiaries and Subrecipients</u> of DHS funding,

- pertaining to the following are available on the Cal OES website:
  - Non-discrimination in Programs & Services
  - Reasonable Accommodation for Program Beneficiaries
  - Language Access Policy



6. Drug-Free Workplace

As required by the Drug-Free Workplace Act of 1988 (41 U.S.C. § 701 et seq.), the Applicant certifies that it will maintain a drug-free workplace and a drug-free awareness program as outlined in the Act.

**7.** Environmental Standards

The Applicant will comply with state and federal environmental standards, including:

- (a) The California Environmental Quality Act (CEQA) (California Public Resources Code §§ 21000-21177), to include coordination with the city or county planning agency;
  - (b) CEQA Guidelines (California Code of Regulations, Title 14, Division 6, Chapter 3, §§ 15000-15387);
  - (c) The Federal Clean Water Act (CWA) (33 U.S.C. § 1251 et seq.), which establishes the basic structure for regulating discharges of pollutants into the waters of the United States and regulating quality standards for surface waters;
  - (d) The Federal Clean Air Act of 1955 (42 U.S.C. § 7401) which regulates air emissions from stationary and mobile sources;
  - (e) Institution of environmental quality control measures under the National Environmental Policy Act (NEPA) of 1969 (P.L. 91-190); the Council on Environmental Quality Regulations for Implementing the Procedural Provisions of NEPA; and Executive Order 12898 which focuses on the environmental and human health effects of federal actions on minority and low-income populations with the goal of achieving environmental protection for all communities;
  - (f) Evaluation of flood hazards in floodplains in accordance with Executive Order 11988;
  - (g) Executive Order 11514 which sets forth national environmental standards;
  - (h) Executive Order 11738 instituted to assure that each federal agency empowered to enter into contracts for the procurement of goods, materials, or services and each federal agency empowered to extend federal assistance by way of grant, loan, or contract shall undertake such procurement and assistance activities in a manner that will result in effective enforcement of the Clean Air Act and the Federal Water Pollution Control Act Executive Order 11990 which requires preservation of wetlands;
  - (i) The Safe Drinking Water Act of 1974, (P.L. 93-523);
  - (j) The Endangered Species Act of 1973, (P.L. 93-205);

Initials \_\_\_\_\_



- (k) Assurance of project consistency with the approved state management program developed under the Coastal Zone Management Act of 1972 (16 U.S.C. §§1451 et seq.);
- (I) Conformity of Federal Actions to State (Clear Air) Implementation Plans under Section 176(c) of the Clean Air Act of 1955, as amended (42 U.S.C. §§7401 et seq.); and
- (m)The Wild and Scenic Rivers Act of 1968 (16 U.S.C. § 1271 et seq.) related to protecting components or potential components of the national wild and scenic rivers system.

The Applicant shall not be: 1) in violation of any order or resolution promulgated by the State Air Resources Board or an air pollution district; 2) subject to a cease-and-desist order pursuant to section 13301 of the California Water Code for violation of waste discharge requirements or discharge prohibitions; or 3) determined to be in violation of federal law relating to air or water pollution.

8. Audits

For subrecipients expending \$1,000,000 or more in federal grant funds annually, the Applicant will perform the required financial and compliance audits in accordance with the Single Audit Act Amendments of 1996 and C.F.R., Part 200, Subpart F Audit Requirements.

9. Cooperation and Access to Records

The Applicant must cooperate with any compliance reviews or investigations conducted by DHS. In accordance with 2 C.F.R. § 200.337, the Applicant will give the awarding agency, the Comptroller General of the United States and, if appropriate, the state, through any authorized representative, access to and the right to examine all records, books, papers, or documents related to the award. The Applicant will require any subrecipients, contractors, successors, transferees and assignees to acknowledge and agree to comply with this provision.

### 10. Conflict of Interest

The Applicant will establish safeguards to prohibit the **Applicant's** employees from using their positions for a purpose that constitutes or presents the appearance of personal or organizational conflict of interest, or personal gain.

### 11. Financial Management

<u>False Claims for Payment</u> - The Applicant will comply with 31 U.S.C §§ 3729-3733 which provides that Applicant shall not submit a false claim for payment, reimbursement, or advance.



### 12. Reporting - Accountability

The Applicant agrees to comply with applicable provisions of the Federal Funding Accountability and Transparency Act (FFATA) (P.L. 109-282), including but not limited to (a) the reporting of subawards obligating \$30,000 or more in federal funds, and (b) executive compensation data for first-tier subawards as set forth in 2 C.F.R. Part 170, Appendix A. The Applicant also agrees to comply with the requirements set forth in the government-wide financial assistance award term regarding the System for Award Management and Universal Identifier Requirements located at 2 C.F.R. Part 25, Appendix A.

#### **13.** Whistleblower Protections

The Applicant must comply with statutory requirements for whistleblower protections at 10 U.S.C. § 2409, 41 U.S.C. § 4712, and 10 U.S.C. § 2324, 41 U.S.C. § 4304 and § 4310.

### 14. Human Trafficking

The Applicant will comply with the requirements of Section 106(g) of the <u>Trafficking</u> <u>Victims Protection Act of 2000</u>, as amended (22 U.S.C. § 7104) which prohibits the Applicant or its subrecipients from: (1) engaging in trafficking in persons during the period of time that the award is in effect; (2) procuring a commercial sex act during the period of time that the award is in effect; or (3) using forced labor in the performance of the award or subawards under the award.

#### **15.** Labor Standards

The Applicant will comply with the following federal labor standards:

- (a) The <u>Davis-Bacon Act</u> (40 U.S.C. §§ 276a to 276a-7), as applicable, and the <u>Copeland Act</u> (40 U.S.C. § 3145 and 18 U.S.C. § 874) and the <u>Contract Work</u> <u>Hours and Safety Standards Act</u> (40 U.S.C. §§ 327-333), regarding labor standards for federally-assisted construction contracts or subcontracts, and
- (b) The <u>Federal Fair Labor Standards Act</u> (29 U.S.C. § 201 et seq.) as they apply to employees of institutes of higher learning (IHE), hospitals and other non-profit organizations.

### 16. Worker's Compensation

The Applicant must comply with provisions which require every employer to be insured to protect workers who may be injured on the job at all times during the performance of the work of this Agreement, as per the workers compensation laws set forth in California Labor Code §§ 3700 et seq.



### **17.** Property-Related

If applicable to the type of project funded by this federal award, the Applicant will:

- (a) Comply with the requirements of Titles II and III of the <u>Uniform Relocation</u> <u>Assistance and Real Property Acquisition Policies Act of 1970</u> (P.L. 91-646) which provide for fair and equitable treatment of persons displaced or whose property is acquired as a result of federal or federally-assisted programs. These requirements apply to all interests in real property acquired for project purposes regardless of federal participation in purchase;
- (b) Comply with flood insurance purchase requirements of Section 102(a) of the <u>Flood Disaster Protection Act of 1973</u> (P.L. 93-234) which requires federal award subrecipients in a special flood hazard area to participate in the program and to purchase flood insurance if the total cost of insurable construction and acquisition is \$10,000 or more;
- (c) Assist the awarding agency in assuring compliance with Section 106 of the <u>National Historic Preservation Act of 1966</u>, as amended (16 U.S.C. § 470), Executive Order 11593 (identification and protection of historic properties), and the Archaeological and Historic Preservation Act of 1974 (16 U.S.C. § 469a-1 et seq.); and
- (d) Comply with the <u>Lead-Based Paint Poisoning Prevention Act</u> (42 U.S.C. § 4831 and 24 CFR Part 35) which prohibits the use of lead-based paint in construction or rehabilitation of residence structures.
- **18.** Certifications Applicable Only to Federally-Funded Construction Projects For all construction projects, the Applicant will:
  - (a) Not dispose of, modify the use of, or change the terms of the real property title or other interest in the site and facilities without permission and instructions from the awarding agency. Will record the federal awarding agency directives and will include a covenant in the title of real property acquired in whole or in part with federal assistance funds to assure nondiscrimination during the useful life of the project;
  - (b) Comply with the requirements of the awarding agency with regard to the drafting, review and approval of construction plans and specifications; and
  - (c) Provide and maintain competent and adequate engineering supervision at the construction site to ensure that the complete work conforms with the approved plans and specifications and will furnish progressive reports and such other information as may be required by the assistance awarding agency or State.



**19.** Use of Cellular Device While Driving is Prohibited

The Applicant is required to comply with California Vehicle Code sections 23123 and 23123.5. These laws prohibit driving motor vehicle while using an electronic wireless communications device to write, send, or read a text-based communication. Drivers are also prohibited from the use of a wireless telephone without hands-free listening and talking, unless to make an emergency call to 911, law enforcement, or similar services.

20. California Public Records Act and Freedom of Information Act

The Applicant acknowledges that all information submitted in the course of applying for funding under this program, or provided in the course of an entity's grant management activities that are under Federal control, is subject to the Freedom of Information Act (FOIA), 5 U.S.C. § 552, and the California Public Records Act, California Government Code §7920.000 et seq. The Applicant should consider these laws and consult its own State and local laws and regulations regarding the release of information when reporting sensitive matters in the grant application, needs assessment, and strategic planning process.

**21.** Acknowledgment of Federal Funding from DHS

The Applicant must acknowledge its use of federal funding when issuing statements, press releases, requests for proposals, bid invitations, and other documents describing projects or programs funded in whole or in part with federal funds.

22. Activities Conducted Abroad

The Applicant must coordinate with appropriate government authorities when performing project activities outside the United States and obtain all appropriate licenses, permits, or approvals.

23. Best Practices for Collection and Use of Personally Identifiable Information (PII) DHS defines PII as any information that permits the identity of an individual to be directly or indirectly inferred, including any information that is linked or linkable to that individual. If the Applicant collects PII, the Applicant is required to have a publicly-available privacy policy that describes standards on the usage and maintenance of the PII they collect. The Applicant may refer to the DHS Privacy Impact Assessments: Privacy Guidance and Privacy Template as a useful resource.



#### **24.** Copyright

Recipients must affix the applicable copyright notices of 17 U.S.C. §§ 401 or 402 to any work first produced under federal awards and also include an acknowledgement that the work was produced under a federal award (including the federal award number and federal awarding agency). As detailed in 2 C.F.R. § 200.315, a federal awarding agency reserves a royalty-free, nonexclusive, and irrevocable right to reproduce, publish, or otherwise use the work for federal purposes and to authorize others to do so.

#### 25. Duplicative Costs

Applicants are prohibited from charging any cost to this federal award that will be included as a cost or used to meet cost sharing or matching requirements of any other federal award in either the current or a prior budget period. (See 2 C.F.R. § 200.403(f)). However, recipients may shift costs that are allowable under two or more federal awards where otherwise permitted by federal statutes, regulations, or the federal financial assistance award terms and conditions.

#### 26. Energy Policy and Conservation Act

The Applicant must comply with the requirements of 42 U.S.C. § 6201 which contain policies relating to energy efficiency that are defined in the state energy conservation plan issued in compliance with this Act.

#### 27. Federal Debt Status

The Applicant is required to be non-delinquent in its repayment of any federal debt. Examples of relevant debt include delinquent payroll and other taxes, audit disallowances, and benefit overpayments. See OMB Circular A-129.

#### 28. Fly America Act of 1974

The Applicant must comply with Preference for United States Flag Air Carriers: (a list of certified air carriers can be found at: Certificated Air Carriers List | US Department of Transportation, <u>https://www.transportation.gov/policy/aviation-policy/certificated-air-carriers-list</u>) for international air transportation of people and property to the extent that such service is available, in accordance with the International Air Transportation Fair Competitive Practices Act of 1974 (49 U.S.C. § 40118) and the interpretative guidelines issued by the Comptroller General of the United States in the March 31, 1981, amendment to Comptroller General Decision B-138942.

Initials \_\_\_\_\_



29. Hotel and Motel Fire Safety Act of 1990

In accordance with Section 6 of the Hotel and Motel Fire Safety Act of 1990, the Applicant must ensure that all conference, meeting, convention, or training space funded in whole or in part with federal funds complies with the fire prevention and control guidelines of the Federal Fire Prevention and Control Act of 1974, as amended, 15 U.S.C. § 2225a.

#### **30.** Non-supplanting Requirement

If the Applicant receives federal financial assistance awards made under programs that prohibit supplanting by law, the Applicant must ensure that federal funds do not replace (supplant) funds that have been budgeted for the same purpose through non-federal sources.

#### **31.** Patents and Intellectual Property Rights

Recipients are subject to the Bayh-Dole Act, 35 U.S.C. § 200 et seq. and applicable regulations governing inventions and patents, including the regulations issued by the Department of Commerce at 37 C.F.R. Part 401 (Rights to Inventions Made by Nonprofit Organizations and Small Business Firms under Government Awards, Contracts, and Cooperative Agreements) and the standard patent rights clause set forth at 37 C.F.R. § 401.14.

#### 32. SAFECOM

If the Applicant receives federal financial assistance awards made under programs that provide emergency communication equipment and its related activities, the Applicant must comply with the SAFECOM Guidance for Emergency Communication Grants, including provisions on technical standards that ensure and enhance interoperable communications.

#### **33.** Terrorist Financing

The Applicant must comply with Executive Order 13224 and United States law that prohibit transactions with, and the provisions of resources and support to, individuals and organizations associated with terrorism. The Applicant is legally responsible for ensuring compliance with the Order and laws.

**34.** Reporting of Matters Related to Recipient Integrity and Performance

If the total value of the Applicant's currently active grants, cooperative agreements, and procurement contracts from all federal assistance offices exceeds \$10,000,000 for any period of time during the period of performance of this federal financial assistance award, the Applicant must comply with the requirements set forth in the

Initials \_\_\_\_\_



government-wide Award Term and Condition for Recipient Integrity and Performance Matters located at 2 C.F.R. Part 200, Appendix XII, the full text of which is incorporated here by reference in the award terms and conditions.

#### 35. USA Patriot Act of 2001

The Applicant must comply with requirements of the Uniting and Strengthening America by Providing Appropriate Tools Required to Intercept and Obstruct Terrorism Act (USA PATRIOT Act), which amends 18 U.S.C. §§ 175–175c.

36. Use of DHS Seal, Logo, and Flags

The Applicant must obtain written permission from DHS prior to using the DHS seals, logos, crests, or reproductions of flags, or likenesses of DHS agency officials. This includes use of DHS component (e.g., FEMA, CISA, etc.) seals, logos, crests, or reproductions of flags, or likenesses of component officials.

**37.** Performance Goals (HSGP and NSGP)

In addition to the Biannual Strategy Implementation Report submission requirements outlined in the Preparedness Grants Manual, the Applicant must demonstrate how the grant-funded project addresses the core capability gap associated with each project. The capability gap reduction must be addressed in the Project Description of the BSIR for each project.

#### **38.** Applicability of DHS Standard Terms and Conditions to Tribes

The DHS Standard Terms and Conditions are a restatement of general requirements imposed upon the Applicant and flow down to any of its subrecipients as a matter of law, regulation, or executive order. If the requirement does not apply to Indian tribes or there is a federal law or regulation exempting its application to Indian tribes, then the acceptance by Tribes of, or acquiescence to, DHS Standard Terms and

Conditions does not change or alter its inapplicability to an Indian tribe. The execution of grant documents is not intended to change, alter, amend, or impose additional liability or responsibility upon the Tribe where it does not already exist.

**39.** Required Use of American Iron, Steel, Manufactured Products, and Construction Materials

The Applicant must comply with the "Build America, Buy America" Act (BABAA), enacted as part of the Infrastructure Investment and Jobs Act and Executive Order 14005. Applicants receiving a federal award subject to BABAA requirements may not use federal financial assistance funds for infrastructure projects unless:



- (a) All iron and steel used in the project are produced in the United States this means all manufacturing processes, from the initial melting stage through the application of coatings, occurred in the United States;
- (b) All manufactured products used in the project are produced in the United States – this means the manufactured product was manufactured in the United States; and the cost of the components of the manufactured product that are mined, produced, or manufactured in the United States is greater than 55 percent of the total cost of all components of the manufactured product, unless another standard for determining the minimum amount of domestic content of the manufactured product has been established under applicable law or regulation; and
- (c) All construction materials are manufactured in the United States this means that all manufacturing processes for the construction material occurred in the United States.

The "Buy America" preference only applies to articles, materials, and supplies that are consumed in, incorporated into, or affixed to an infrastructure project. It does not apply to tools, equipment, and supplies, such as temporary scaffolding, brought to the construction site and removed at or before the completion of the infrastructure project. Nor does a Buy America preference apply to equipment and furnishings, such as movable chairs, desks, and portable computer equipment, that are used at or within the finished infrastructure project but are not an integral part of the structure or permanently affixed to the infrastructure project.

Per section 70914(c) of BABAA, FEMA may waive the application of a Buy America preference under an infrastructure program in certain cases.

40. E.O. 14074 – Advancing Effective, Accountable Policing and Criminal Justice Practices to Enhance Public Trust and Public Safety
 Recipient State, Tribal, local, or territorial law enforcement agencies must comply with the requirements of section 12(c) of E.O. 14074. Recipient State, Tribal, local, or territorial law enforcement agencies are also encouraged to adopt and enforce policies consistent with E.O. 14074 to support safe and effective policing.



**IMPORTANT** 

The purpose of these assurances is to obtain federal and state financial assistance, including any and all federal and state grants, loans, reimbursement, contracts, etc. Applicant recognizes and agrees that state financial assistance will be extended based on the representations made in these assurances. These assurances are binding on Applicant, its successors, transferees, assignees, etc. as well as any of its subrecipients. Failure to comply with any of the above assurances may result in suspension, termination, or reduction of grant funds.

All appropriate documentation, as outlined above, must be maintained on file by the Applicant and available for Cal OES or public scrutiny upon request. Failure to comply with these requirements may result in suspension of payments under the grant or termination of the grant or both and the Applicant may be ineligible for award of any future grants if Cal OES determines that the Applicant: (1) has made false certification, or (2) violates the certification by failing to carry out the requirements as noted above.

All of the language contained within this document must be included in the award documents for all subawards at all tiers. Applicants are bound by the DHS Standard Terms and Conditions 2024, Version 2, hereby incorporated by reference, which can be found at: https://www.dhs.gov/publication/fy15-dhs-standard-terms-and-conditions.

The undersigned represents that he/she is authorized to enter into this agreement for and on behalf of the Applicant.

Applicant:			

Signature of Authorized Agent:

Printed Name of Authorized Agent:

Title:\_\_\_\_\_Date: \_\_\_\_\_

Initials \_\_\_\_\_



COUNCIL AGENDA STATEMENT CITY OF SANTEE

Item 10

MEETING DATE May 14, 2025

#### **ITEM TITLE** RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTEE, CALIFORNIA APPROVING THE FIFTH AMENDMENT TO THE AGREEMENT WITH PARADIGM MECHANICAL CORP. FOR HVAC MAINTENANCE AND REPAIRS

## DIRECTOR/DEPARTMENT Nicolas Chavez, Community Services

**SUMMARY** On May 11, 2022, the City Council approved an agreement with Paradigm Mechanical Corp. ("Contractor") for HVAC Maintenance and Repairs for Fiscal Year 2022-23 in the amount of \$26,336.00 ("Agreement") after a formal bid process was completed per RFB #22/23-20061. Over the ensuring years, four amendments to the agreement have been approved.

Staff obtained a quote from our current HVAC contractor for needed maintenance to City Hall, Buildings 1, 2 & 3 HVAC units. Santee City Hall moved to its current location in1994. The HVAC duct work has not been cleaned in that time. HVAC contractors recommend cleanings take place every five to ten years, depending on usage. Staff is requesting City Council to authorize an additional \$30,100.00 to clean the duct work in buildings 1, 2 and 3. This will increase the total not-to-exceed amount for Fiscal Year 2024-25 from \$28,948.42 to \$59,048.42.

Staff recommends that the City Council adopt the Resolution approving the Fifth Amendment to the Agreement, which will increase the not-to-exceed amount for Fiscal Year 2024-25 by \$30,100.00, from \$28,948.92 to \$59,048.42.

#### **ENVIRONMENTAL IMPACT**

This action is categorically exempt from the California Environmental Quality Act ("CEQA") pursuant to section 15301 (maintenance of existing structures, facilities or mechanical equipment).

## FINANCIAL STATEMENT

Funding for this contract is provided in the Fiscal Year 2024-25 Community Services Department operating budget.

#### <u>CITY ATTORNEY REVIEW</u> □ N/A • ⊠ Completed

## RECOMMENDATION 6

Approve Resolution:

- 1. Approving Fifth Amendment to Contract with Paradigm Mechanical Corp. for HVAC Maintenance and Repairs Fiscal Year 2024-25, which will increase the contract sum by \$30,100.00 from \$28,948.42 to \$59,048.42 for Fiscal Year 2023-24.
- 2. Authorizing the Interim City Manager to execute all necessary documents.



Resolution



#### RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTEE, CALIFORNIA APPROVING THE FIFTH AMENDMENT TO THE AGREEMENT WITH PARADIGM MECHANICAL CORP. FOR HVAC MAINTENANCE AND REPAIRS

WHEREAS, on May 11, 2022, the City Council approved an agreement with Paradigm Mechanical Corp. ("Contractor") for HVAC Maintenance and Repairs for Fiscal Year 2022-23 in the not-to-exceed amount of \$26,336.00 ("Agreement"); and

WHEREAS, on February 22, 2023, the City approved the First Amendment to the Agreement to increase Extra Work to perform emergency replacement of a failed heating and air unit at Fire Station #5 in the amount of \$17,035.41, increasing the not-to-exceed amount from \$26,336.00 to \$43,371.41 for Fiscal Year 2022-23 ("First Amendment"); and

WHEREAS, on July 1, 2023, the City exercised its option to extend the Agreement for 12 months through June 30, 2024, in accordance with Section 6 of the Agreement and increased the not-to-exceed amount to \$27,942.50 for Fiscal Year 2023-24 to reflect a 6.1% increase in the Consumer Price Index in accordance with Section 7 of the Agreement; and

WHEREAS, on August 23, 2023, the City approved the Second Amendment to the Agreement to increase Extra Work to perform replacement of a failed HVAC unit at Fire Station #5, in the amount of \$16,428.50 maximum, increasing the total not-to-exceed amount from \$27,942.50 to \$44,371.00 for Fiscal Year 2023-24 ("Second Amendment"); and

WHEREAS, on November 6, 2023, the City approved the Third Amendment to the Agreement to increase Extra Work to perform replacement of a failed HVAC unit at Fire Station #4 in the amount of \$14,685.00 maximum, increasing the total not-to-exceed amount from \$27,942.50 to \$44,371.00 for Fiscal Year 2023-24 ("Third Amendment"); and

WHEREAS, on June 12, 2024, the City approved the Fourth Amendment to the Agreement to add additional funding to cover unanticipated extra work through the end of Fiscal Year 2023-24, increasing the Agreement total not to exceed amount by \$2,600.00 from \$59,056.00 to \$61,656.00; and

WHEREAS, on July 1, 2024, the City exercised its option to extend the Agreement, increasing the Agreement amount by \$1,005.92 from \$27,942.50 to \$28,948.42 for Fiscal Year 2024-25 to reflect an increase in the Consumer Price Index by 3.6%; and

WHEREAS, Santee City Hall moved to its current location in1994. The HVAC duct work has not been cleaned in that time. HVAC contractors recommend cleanings take place every five to ten years, depending on usage; and

WHEREAS, staff is requesting City Council authorize an additional \$30,100.00 which will increase the total not-to-exceed amount for Fiscal Year 2024-25 from \$28,948.92 to \$59,048.42; and

**WHEREAS,** this item is categorically exempt from the California Environmental Quality Act ("CEQA") pursuant to section 15301 (maintenance of existing structures, facilities or mechanical equipment).

**NOW THEREFORE BE IT RESOLVED** by the City Council of the City of Santee, California, as follows:

Section 1. The above recitals are hereby incorporated as though fully set forth herein.

**Section 2**. The City Council Authorizes the Interim City Manager to execute the Fifth Amendment to the Agreement with Paradigm Mechanical Corp. for HVAC Maintenance and Repairs, which will increase the not-to-exceed amount by \$30,100.00, from \$28,948.92 to \$59,048.42 for Fiscal Year 2024-25.

**Section 3.** This action is categorically exempt from the California Environmental Quality Act ("CEQA") pursuant to section 15301 (maintenance of existing structures, facilities or mechanical equipment).

**Section 4**. If any provision of this Resolution, to any person or circumstance is held invalid, such invalidity shall not affect other provisions or applications of the Resolution which can be given effect without the invalid provision or application, and to this end the provisions of this Resolution are severable. The City Council hereby declares that it would have adopted this Resolution irrespective of the invalidity of any particular portion thereof.

Section 5. This Resolution shall take effect immediately upon its passage

**ADOPTED** by the City Council of the City of Santee, California, at a Regular Meeting thereof held this 14<sup>th</sup> day of May 2025, by the following roll call vote to wit:

AYES:

NOES:

ABSENT:

APPROVED:

JOHN W. MINTO, MAYOR

ATTEST:

JAMES JEFFRIES, CITY CLERK





COUNCIL AGENDA STATEMENT CITY OF SANTEE

MEETING DATE May 14, 2025

ITEM TITLE REPORT REGARDING THE DECISION BY THE SAN DIEGO COUNTY SHERIFF'S DEPARTMENT TO RECORD FOOTAGE FROM CAMERAS AT CITY INTERSECTIONS

#### **DIRECTOR/DEPARTMENT** Captain Aldo Hernandez, Sheriff's Department

#### **SUMMARY**

In April 2022, the City of Santee ("City") and the San Diego County Sheriff's Department ("Sheriff") entered into a Memorandum of Understanding ("MOU") to authorize a video-sharing program known as "Safe Streets/Safe Santee." Since that time, the Sheriff has been able to monitor traffic in real-time via cameras posted at the intersections of Magnolia and Mission Gorge, Mast Blvd. and Carlton Hills, Mast Blvd. and Highway 52, and Cuyamaca and Mission Gorge. To date, however, the Sheriff has not recorded footage from these cameras.

The purpose of this agenda item is to notify City Council that the Sheriff would like to begin doing so now. The Sheriff wants to share this change before its implementation.

The Sheriff's website posts comprehensive and helpful information about the Safe Santee program at www.safesantee.com. As a reminder, the MOU essentially serves two functions. First, it allows residents and businesses the opportunity to voluntarily share content from personal cameras (like Ring devices) that already record and store video. Second, it allows the Sheriff to post and utilize cameras that it owns and operates in public areas (currently, the major intersections mentioned). By augmenting the use of these public cameras to begin recording and storing video, the Sheriff's ability to investigate and address crime will be greatly enhanced. Video from these cameras, like video recorded on residential cameras, can have evidentiary value that would otherwise be lost since the public cameras in trail areas, as has been contemplated, the Sheriff would also record footage of those views and be able to access them to promote and further protect public safety.

The City will not have access to or utilize these recordings. The Sheriff will remain responsible for the administration and operation of Safe Santee. No revisions to the original Memorandum of Understanding are necessary.

## FINANCIAL STATEMENT

There will be no additional costs to the City. The Safe Santee Program remains exclusively operated and administered by the Sheriff.

## CITY ATTORNEY REVIEW DN/A Completed

## RECOMMENDATION

Receive report regarding decision by the Sheriff to commence recording of footage on Sheriff operated cameras at City intersections.

## ATTACHMENTS

None.





MEETING DATE May 14, 2025

**ITEM TITLE** PUBLIC HEARING AND RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTEE, CALIFORNIA ADOPTING GENERAL PLAN AMENDMENT (GPA2019-4) TO UPDATE THE SAFETY ELEMENT OF THE SANTEE GENERAL PLAN AND NEGATIVE DECLARATION (AEIS2019-8) UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA)

## DIRECTOR/DEPARTMENT Sandi Sawa, AICP, Planning & Building

**SUMMARY** The Safety Element update will incorporate a new Environmental Justice component and will address a number of statutory requirements to update existing conditions for flood hazards, airport hazards, geologic/seismic hazards, disaster preparedness, urban/wildland fire hazards, hazardous materials, crime, and traffic hazards. New hazard topic areas included in the Element are light-rail transit hazards and emergency evacuation.

At the January 22, 2025 City Council (Council) meeting, Council continued its consideration of the Safety Element update to allow staff additional time to address Council comments. In response, the staff report includes proposed revisions and recommended actions based on the public review draft, intended to clarify the document and incorporate feedback received during the prior hearing.

**ENVIRONMENTAL REVIEW** A Negative Declaration (ND) dated October 25, 2024, has been prepared in accordance with the California Environmental Quality Act (CEQA) and is recommended for approval and adoption by the City Council. The Draft ND (State Clearinghouse Number 2024101127) was made available for a 30-day public review and comment period commencing on October 25, 2024, and ending on November 25, 2024. One comment letter was received during this period, which did not raise any new environmental issues requiring substantial revisions to the Negative Declaration or further environmental review.

## FINANCIAL STATEMENT

The City Council appropriated \$96,045.00 to fund a Professional Services Agreement with Harris and Associates to assist staff in the preparation of the Safety and Environmental Justice Element and Negative Declaration.

## CITY ATTORNEY REVIEW DN/A Completed

## RECOMMENDATION

- 1. Open and close the Public Hearing; and
- 2. Adopt the Resolution adopting the Negative Declaration (AEIS2019-6) pursuant to CEQA and adopt the Safety and Environmental Justice Element





#### ATTACHMENTS Staff Report

Staff Report Resolution January 22, 2025 Staff Report Draft Public Review Safety and Environmental Justice Element Final Safety and Environmental Justice Element Final Negative Declaration/Initial Study Response to Comment Errata Figure 4.0 City of Santee Flood Way Maps



#### STAFF REPORT

#### PUBLIC HEARING AND RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTEE, CALIFORNIA ADOPTING GENERAL PLAN AMENDMENT (GPA2019-4) TO UPDATE THE SAFETY ELEMENT OF THE SANTEE GENERAL PLAN AND NEGATIVE DECLARATION (AEIS2019-8) UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) CITY COUNCIL MEETING MAY 14, 2025

#### A. BACKGROUND

The Safety Element update will incorporate a new Environmental Justice component and will address a number of statutory requirements to update existing conditions for flood hazards, airport hazards, geologic/seismic hazards, disaster preparedness, urban/wildland fire hazards, hazardous materials, crime, and traffic hazards. New hazard topic areas included in the Element are light-rail transit hazards and emergency evacuation.

At the January 22, 2025 City Council (Council) meeting, Council continued its consideration of the Safety Element update to allow staff additional time to address Council comments. In response, the staff report includes proposed revisions and recommended actions based on the public review draft, intended to clarify the document and incorporate feedback received during the prior hearing.

#### B. OVERVIEW

The current City of Santee General Plan Safety Element (Element), adopted by City Council in 2003 and amended in 2011, is designed to include safety considerations in the planning and decision-making process by establishing policies related to development that will minimize pollution, the risk of personal injury, loss of life, property damage, and environmental damage associated with natural and human-made hazards.

The updates to the Element will incorporate a new Environmental Justice component and will address a number of statutory requirements imposed by state legislation, updating existing conditions, as well as planning and best fire practices addressing flooding, wildfires, emergency evacuation, climate change, and environmental justice.

As required by state mandates, the Element updates existing conditions for all hazard topics areas in the adopted Element listed below:

• Flood Hazards (existing conditions for flood hazards were updated, including the flood hazard zones, historical floods, and risk of dam failure).

- Airport Hazards (updated to discuss airport operations and land use compatibility plans).
- Geologic/Seismic Hazards (updated to incorporate the updated Geotechnical/Seismic Hazard Study).
- Disaster Preparedness (updated to include emergency operations organizations, plans, and programs).
- Urban/Wildland Fire Hazards (updated to include historic wildfires within the City, the Very High FHSZs location, and capacity of the Santee Fire Department).
- Hazardous Materials (updated to include hazardous materials sites in Santee and applicable regulations).
- Crime (updated the summary of needs to address crime including Crime Prevention through Environmental Design (CPTED)).
- Traffic Hazards (updated summary of needs to address traffic hazards and traffic projects).

New hazard topic areas included in the Element include light-rail transit hazards and emergency evacuation. The emergency evacuation section was informed by the Emergency Evacuation Route Analysis prepared to support the Element in accordance with Senate Bill 99, Assembly Bill 747, and Assembly Bill 1409.

#### C. FIRE

The Element is required to be reviewed by the State Board of Forestry and Fire Protection (BOF) and updated as necessary to address the risk of fire for land classified as very high fire hazard severity zones. On December 8, 2023, the State Board of Forestry and Fire Protection approved the Element which included requirements on goals, policies, and objectives that protect the community from the unreasonable risk of wildfire.

On March 25, 2025, the BOF updated the fire hazard severity zone map for communities across the state. The maps identify areas as Moderate, High, and Very High fire hazard based on the average hazard across the area included in the zone. These zones are based on factors such as fuel, slope, and fire weather. The recommended changes below include adding a statement that the BOF updated the FHSZ map in March 2025 and designated new very high fire hazard safety zones within the City which was published before adoption of the Element update. The updated map, is required to be adopted by the Santee City Council and would be incorporated by reference.

#### D. PUBLIC OUTREACH

In order to solicit feedback on new potential goals and policies, a community survey was conducted and made available on the City's website in June and July of 2021 to identify what environmental justice issues were of greatest concern to residents. Also, two stakeholder meetings were held in 2021 and 2022 to elicit feedback. Stakeholders included places of worship, mobile home parks, educational facilities, health care facilities, local non-profit agencies, the Community Oriented Policy Committee (COMPOC), and other east county organizations.

#### E. STATE LEGISLATION

In addition to developing policies to address community input, the following are key legislative mandates that require local agencies to adopt policies for the safety and environmental justice components of the Element.

#### SB 1241 (2012) Wildland and Urban Fire Hazards

Addresses the risk of fire for land classified as very high fire hazard severity zones including policy requirements from the Department of Forestry and Fire Protection.

#### SB 379 (2015) – Climate Change Adaptation and Resiliency

Addresses climate change and adaptation and resiliency through the preparation of a vulnerability assessment and comprehensive hazard mitigation and emergency response strategy to identify which aspects of the community, including people, infrastructure, and services, are most vulnerable to climate change's effects.

#### SB 1000 (2016) - Environmental Justice

Addresses environmental justice to mitigate existing and potential hazards, reduce health risks, and prioritize improvements that address the needs of disadvantaged communities. An existing conditions assessment was prepared to identify areas with greater pollution exposure and reduced access to public goods and services that improve quality of life for residents. The findings were used to develop policies.

#### F. RECOMMENDED CHANGES

Below are items that Council requested clarification on at the January 22, 2025 City Council meeting and include staff recommended changes to be incorporated in the Element.

#### **Executive Summary**

#### Section 1 Proposed Track Changes

The current Santee General Plan was adopted in 2003 by Resolution 63-2003 to guide new development in the City of Santee (City) through the year 2020. This document serves as an update to the Santee General Plan's Safety Element and incorporates a new Environmental Justice Element. <u>All referenced maps and reports are intended to be incorporated into the application of the Safety Element and may be subject to periodic amendments.</u> The Safety and Environmental Justice Element (Element) is integral to guiding future development in Santee as it addresses public safety concerns and provides goals and policies to minimize public safety hazards. Land use planning, implemented through the Santee Municipal Code and General Plan, is an important component of both hazard mitigation and environmental injustice prevention. Site selection that avoids proximity to natural hazards or hazardous facilities and building construction techniques designed for fire protection, life safety and temporary systems failure can reduce hazard risks in the built environment and promote quality of life.

#### Flood Hazards

The Federal Emergency Management Agency (FEMA) publishes maps, called Flood Insurance Rate Maps (FIRMs), that show flood zones. FIRMs are the result of engineering studies that are performed by engineering companies, other federal agencies, or the community and are reviewed and approved by FEMA.

In 1992, BSI Consultants, Inc. prepared the San Diego River Floodplain Study which includes maps that define special flood hazard areas. The study is based on a flood event in Santee and is Santee's standard for development within the floodplain / floodway.

Government Code Section 65302(g)(6) authorizes local governments to adopt regulations designed to minimize public and private losses due to flood conditions. The City's Flood Damage Prevention Ordinance (Santee Municipal Code Chapter 11.36) provides requirements to promote the public health, safety, and general welfare.

Section 4.1 Proposed Track Changes:

In 2019, the City completed a comprehensive update of the City's Municipal Code that included updates to the Flood Damage Prevention Ordinance (Santee Municipal Code, Chapter 11.36) to minimize the public and private losses due to flooding. The intent of the ordinance is to reduce the risks to residents and public and private improvements from flooding. The ordinance precludes development in flood-prone floodway areas and requires all new development to be designed to

be above the height of the 100-year flood. <u>Development is subject to the Flood</u> <u>Damage Prevention Ordinance and the floodway maps in Figure 4.0.</u> The ordinance establishes a basis for the areas deemed special flood hazard, incorporating an engineering analysis entitled San Diego River Flood Study (1992) and the City's Flood Insurance Study from 1983. The studies identify the amended 100-year peak discharge for six locations and are on file at the City Engineer's office. The City's Flood Damage Prevention Ordinance is incorporated into this Safety and Environmental Justice Element by reference.

#### Fire Hazard Severity Zone Map

#### Section 4.3 Proposed Track Changes

The location of SRAs and FHSZs are identified using the California Department of Forestry and Fire Protection's (CAL FIRE's) Fire and Resources Assessment Program (FRAP). According to FRAP data, no SRAs are within the City boundary; therefore, the City has sole local financial responsibility for fire protection. There are, however, Very High FHSZs within the City boundary (Figure 4.6, Fire Hazard Map). The identification of FHSZs is used to implement WUI building standards for new construction, real estate disclosure at time of sale, 100-foot defensible space clearance requirements around buildings, and property development standards, such as road widths, water supply, and signage. Areas identified as a Very High FHSZs are primarily in the northern section of Santee. Much of the FHSZ covers undeveloped land. However, the zone also covers land along the western and eastern borders. Figure 4.6 identifies Santee's critical facilities (e.g., City operations, fire stations, police departments, schools, medical facilities, utilities) in the Moderate, High, and Very High FHSZs. The State Board of Forestry and Fire Protection updated the FHSZ map in March 2025 and designated new very high fire hazard safety zones within the City. This map was published before adoption of this Safety and Environmental Justice Element update. The updated map, as adopted by the Santee City Council via Ordinance is incorporated into this Safety and Environmental Justice Element by reference.

#### <u>Crime</u>

The changes below provide the correct acronym for Crime Prevention through Environmental Design (CPTED).

#### Section 4.4 Track Changes

One of the proactive strategies used by the County Sheriff's Department to address thefts and other crimes in the community is the Crime Prevention through Environmental Design (<u>CPTEDCEPTD</u>) program. This program emphasizes the application of preventative measures in new construction and existing spaces. To reduce potential incidents of crime, <u>CPTEDCEPTD</u> emphasizes the importance of the physical environment of a building or neighborhood related to four primary concepts—natural surveillance, territoriality, access control, and maintenance.

Safety & Environmental Justice Element May 14, 2025 Page 6

Site design, landscaping, and lighting are major components of the four concepts. Decisions made by local governments including planners, designers, and law enforcement officials can influence resident and business conditions and behavior. The <u>CPTED CEPTD</u> program is incorporated into Section 13.10.040(M) of the Santee Municipal Code, by establishing the minimum site and building standards, including defined entrances, landscaping, architectural design, lighting; natural surveillance through visibility and lighting; defined site boundaries and territorial reinforcement through landscaping and decorative fencing; designed wayfinding signage; and maintenance requirements.

The County Sheriff's Department COPPS and Crime Prevention Units review all new development proposals as part of the City development review process to incorporate safety recommendations and <u>CPTEDCEPTD</u> principles into the design of new developments.

#### Light-Rail Transit Hazards

In September 2024, the San Diego Metropolitan Transit System (MTS) created the Copper Line to replace the Green and Orange Line trolley service between the Gillespie Field station and Santee.

Section 4.6 Proposed Track Changes:

From the Grossmont Trolley Station in La Mesa, both the Orange and Green Lines head northeast to the Arnele Avenue station in El Cajon where the Orange line terminates. From there, the <u>Copper Green</u> Line continues into Santee.

Proposed Policy Track Changes:

Promote and support the continued expansion of the San Diego Trolley system that benefits residents of Santee, especially in higher-density areas. Work with the San Diego Metropolitan Transit System to ensure that public transportation is provided from disadvantaged communities to commercial and recreational facilities. Work with the San Diego Metropolitan Transit System to increase frequency of the Green and Copper Lines, particularly during weekends, which provides access to and from the City of Santee and the City of San Diego.

#### Policy 4.7

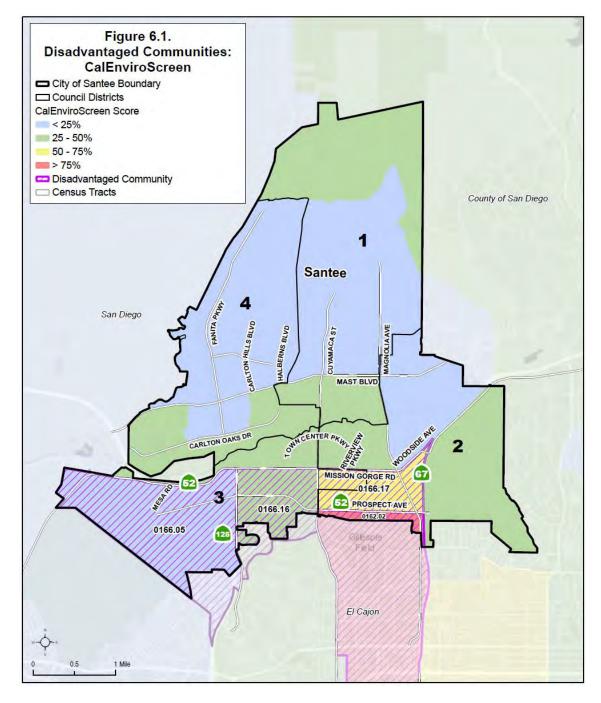
The County of San Diego is not pursuing the relocation of the Las Colinas Detention Facility. Therefore, the policy below is recommended to be removed.

#### Proposed Track Change:

Support the County of San Diego's efforts to relocate existing Las Colinas as part of a state-of-the-art consolidated justice facility to be located elsewhere on the County's Town Center Property.

#### Figure 6.1

The Council districts have been added to the City of Santee Disadvantaged Communities figure. This figure (below) shows the disadvantaged communities within the southernmost portion of Santee, west of SR-67, south of Mission Gorge Road, and bounded by the city boundary to the west and east. In addition, the figure has been revised to clearly identify the different communities. Safety & Environmental Justice Element May 14, 2025 Page 8



#### G. ENVIRONMENTAL REVIEW

A Negative Declaration (ND) dated October 25, 2024, has been prepared in accordance with the California Environmental Quality Act (CEQA) and is recommended for approval and adoption by the City Council. The Draft ND (State Clearinghouse Number 2024101127) and Safety Element were made available for a 30-day public review and comment period commencing on October 25, 2024, and ending on November 25, 2024. One comment letter was received during this period, which did not raise any new environmental issues requiring substantial revisions to the Negative Declaration or further environmental review.

#### H. STAFF RECOMMENDATION

- 1. Open and close the Public Hearing; and
- 2. Adopt the Resolution adopting the Negative Declaration (AEIS2019-6) pursuant to CEQA and adopt the Safety and Environmental Justice Element

#### RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTEE, CALIFORNIA, APPROVING GENERAL PLAN AMENDMENT GPA2019-4 TO AMEND THE SAFETY ELEMENT OF THE SANTEE GENERAL PLAN AND ADOPTION OF A NEGATIVE DECLARATION (AEIS2019-8) UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA)

**WHEREAS,** the Santee General Plan includes a Safety Element with an overall goal "to minimize injuries, loss of life, and property damages resulting from natural and human-induced safety hazards;" and

**WHEREAS,** the Safety Element, adopted by City Council in 2003 and amended in 2011, is a planning and policy document that does not approve, permit, or entitle any development project; and

WHEREAS, Senate Bill (SB) 1035 requires the update of the Safety Element upon adoption or revision of the Housing Element or Local Hazard Mitigation Plan (LHMP) to identify new information not available during the previous revision relating to flood and fire hazards and climate adaptation and resiliency strategies; and

**WHEREAS,** SB 1000 requires local governments to identify environmental justice communities (called "disadvantaged communities") in their jurisdictions and address environmental justice to mitigate existing and potential hazards, reduce health risks, and prioritize improvements that address the needs of disadvantaged communities; and

**WHEREAS,** environmental justice will be integrated with the Safety Element, therefore, renamed to the Safety and Environmental Justice Element; and

**WHEREAS,** SB 1241 requires local governments to address the risk of fire for land classified as very high fire hazard severity zones, as defined in Section 51177 of the Government Code; and

**WHEREAS,** SB 99 requires the City to identify residential developments in hazard areas that do not have at least two emergency evacuation routes (i.e., neighborhoods or households within a hazard area that have limited accessibility); and

**WHEREAS,** Assembly Bill (AB) 747 requires the City to update the Safety Element of its General Plan to identify evacuation routes and assess the capacity, safety, and viability of those routes under a range of emergency scenarios; and

**WHEREAS,** SB 379 requires the City to address climate change and adaptation and resiliency through the preparation of a vulnerability assessment and comprehensive hazard mitigation and emergency response strategy; and

**WHEREAS,** the Safety and Environmental Justice Element required review by the California Geological Survey of the Department of Conservation and the State Board of Forestry and Fire Protection; and

**WHEREAS,** on December 8, 2023, the State Board of Forestry and Fire Protection approved the Safety and Environmental Justice Element; and

**WHEREAS,** on December 19, 2024, the California Geological Survey of the Department of Conservation provided "no comment on the project"; and

**WHEREAS,** pursuant to the requirements of the California Environmental Quality Act ("CEQA"), an Initial Study (AEIS2019-8) was prepared for the Safety and Environmental Justice Element, which determined that the Safety and Environmental Justice Element would not result in a significant environmental effect; and

WHEREAS, a Notice of Intent to Adopt a Negative Declaration (State Clearinghouse Number 2024101127) with the Initial Study was prepared and advertised for public and agency review, which included postings at the San Diego County Clerk/Recorder's Office, on the website of the Office of Planning and Research and on the City's website from October 25, 2024, to November 25, 2024; and

**WHEREAS,** on January 22, 2025, the City Council held a duly advertised public hearing on the General Plan Amendment (GPA2019-4) and the project was continued; and

**WHEREAS,** on May 14, 2025, the City Council held a duly advertised public hearing on the General Plan Amendment (GPA2019-4); and

WHEREAS, the City Council considered the Staff Report, considered all recommendations by staff and public testimony, and all other information available, and finds that the General Plan Amendment (GPA2019-4) is in the best interest of the public because the updated Safety Element: 1) Incorporates environmental justice; 2) Incorporates an existing conditions assessment to identify areas with greater pollution exposure and reduced access to public goods and services that improve quality of life for residents; 3) Addresses a variety of changes in State law such as wildfire planning, evacuation routes, and climate resiliency; 4) Updates accomplishments, objectives and policies to reflect progress; 5) Includes the City's updated Geotechnical / Seismic Hazard Study; and 6) Incorporates the Multi-Jurisdictional Hazard Mitigation Plan; and

**WHEREAS,** as contained herein, the City Council has endeavored in good faith to set forth the basis for its decision on the Safety and Environmental Justice Element; and

WHEREAS, all of the findings and conclusion made by the City Council pursuant to this Resolution are based upon the oral and written evidence presented to it as a whole and the entirety of the administrative record for the Safety and Environmental Justice Element, which are incorporated herein by this reference, and not based solely on the information provided in this Resolution; and

WHEREAS, prior to taking action, the City Council had heard, been presented with, reviewed and considered all of the information and data in the administrative record; and

**WHEREAS,** the City Council considered the Staff Report, all recommendations by staff, and public testimony; and

WHEREAS, all legal prerequisites to the adoption of this Resolution have occurred.

**NOW, THEREFORE,** the City Council of the City of Santee, California, does resolve as follows:

**SECTION 1:** The City Council hereby finds that the recitals set forth above are true and correct and are incorporated herein as substantive findings of this Resolution.

**SECTION 2:** The General Plan Amendment (GPA2019-4) to adopt the Safety and Environmental Justice Element is in the best interest of the public because it is consistent with the provisions of Government Code Section 65350 et seq. pertaining to amendments to mandatory elements of the Santee General Plan, provides an assessment of both current and future housing needs, identifies constraints and opportunities for meeting those needs, provides a comprehensive strategy with goals, policies and programs to provide housing for all economic segments of the community, and contains all of the components required under Government Code Section 65583.

**SECTION 3:** The Amendment promotes the goals and objectives of the General Plan and leaves the General Plan a compatible, integrated, and internally consistent statement of policies for the following reasons:

- 1. The Safety and Environmental Justice Element includes diagrams and text setting forth the objectives, strategies, standards, and plans for the City.
- 2. The Safety and Environmental Justice Element is integrated and compatible with all other elements of the General Plan, in that it will not conflict with, not affect the implementation of, existing policies and programs therein.
- 3. The Safety and Environmental Justice Element is in the public interest and protects the health, safety and welfare of the public, because it is integral to guiding future development in Santee as it addresses public safety concerns and provides goals and policies to minimize public safety hazards.

**SECTION 4:** The proposed amendment includes modifications to the Safety Element that would bring the Safety and Environmental Justice Element into compliance with state law. None of these modifications would result in any additional physical changes to the environment than those previously analyzed and found to be less than significant under the adopted Initial Study/Negative Declaration (State Clearinghouse Number

2024101127) (IS/ND). In considering the Safety and Environmental Justice Element, the City Council has considered the IS/ND, along with all oral and written comments received and the administrative record. The City Council hereby finds and determines that the record contains a complete and accurate reporting that Safety and Environmental Justice Element could not have a significant effect on the environment as addressed in the IS/ND.

**SECTION 5:** Based on the substantial evidence set forth in the record, the City Council finds that none of the conditions under State CEQA Guidelines section 15162 requiring the need for further subsequent environmental review have occurred because:

- a) Substantial changes are not being proposed in the Safety and Environmental Justice Element that will require major revisions of the IS/ND due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; and
- b) Substantial changes have not occurred with respect to the circumstances under which the Safety and Environmental Justice Element will be undertaken that will require major revisions of the IS/ND due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; and
- c) There is no new information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the IS/ND was adopted, showing any of the following: (i) the Safety and Environmental Justice Element would have one or more significant effects not discussed in the IS/ND; (ii) significant effects previously examined would be substantially more severe than shown in the IS/MND; (iii) mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects, but the City Council declined to adopt such measures; or (iv) mitigation measures or alternatives considerably different from those analyzed in the IS/ND would substantially reduce one or more significant effects.

**SECTION 6:** The Safety and Environmental Justice Element is hereby adopted, attached hereto as Exhibit A.

**SECTION 7:** The City Council directs staff to file a Notice of Determination with the San Diego County Clerk and the Office of Planning and Research within five (5) working days of approval of the Safety and Environmental Justice Element.

**SECTION 8:** The documents and materials that constitute the record of proceedings on which these findings have been based are located with the City Clerk at the City of Santee City Clerk's office at 10601 Magnolia Avenue, Building #3, Santee CA 92071.

**ADOPTED** by the City Council of the City of Santee, California, at a Regular Meeting thereof held this 14<sup>th</sup> day of May 2025, by the following roll call vote to wit:

AYES:

NOES:

ABSENT:

**APPROVED:** 

ATTEST:

JOHN W. MINTO, MAYOR

JAMES JEFFRIES, CITY CLERK

Attachment: Exhibit A – Safety and Environmental Justice Element

## Item 12 Resolution attachment Exhibit A – Safety and Environmental Justice Element is available via the link below:

https://www.cityofsanteeca.gov/departments/cityclerk/document-central/city-clerk/councilagendas/2025/05-14-2025-item-12-attachmentsafety-element.pdf

#### **STAFF REPORT**

#### PUBLIC HEARING AND RESOLUTION FOR GENERAL PLAN AMENDMENT (GPA2019-4) TO UPDATE THE SAFETY ELEMENT OF THE SANTEE GENERAL PLAN AND ADOPTION OF A NEGATIVE DECLARATION (AEIS2019-8) UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA)

#### CITY COUNCIL MEETING JANUARY 22, 2025

#### A. OVERVIEW

The current City of Santee General Plan Safety Element, adopted by City Council in 2003 and amended in 2011, is designed to include safety considerations in the planning and decision-making process by establishing policies related to development that will minimize the risk of personal injury, loss of life, property damage, and environmental damage associated with natural and human-made hazards.

The update to Safety Element will incorporate a new Environmental Justice component and will address a number of statutory requirements imposed by state legislation as well as planning and best fire practices addressing flooding, wildfires, emergency evacuation, climate change, and environmental justice.

The Safety and Environmental Justice Element (Element) will address public safety and provide updated goals, objectives and policies to minimize injuries, loss of life, and property damages resulting from natural and human-induced safety hazards. Additionally, the Element will include new goals, objectives, and policies to minimize pollution and its effects on communities.

The update to the Element is necessary to include the items below which are briefly summarized in this report.

- Create an Environmental Justice component to be integrated into the Safety Element, which will now be known as the Safety and Environmental Justice Element;
- Incorporate an existing conditions assessment to identify areas with greater pollution exposure and reduced access to public goods and services that improve quality of life for residents;
- Address a variety of changes in state law such as wildfire planning, evacuation routes, and climate resiliency;
- Update accomplishments, objectives and policies to reflect progress;

Safety & Environmental Justice Element January 22, 2025 Page 2

- Include the City's updated Geotechnical / Seismic Hazard Study; and
- Incorporate the Multi-Jurisdictional Hazard Mitigation Plan (MJHMP).

#### **B. REVISION HIGHLIGHTS**

#### Key State Mandates

The following are key legislative mandates addressed and included in the Safety and Environmental Justice Element update. Identification of risks and policies for the protection of the community are being developed as specified in State law.

#### SB 1000 (2016) - Environmental Justice

Requires local governments to identify environmental justice communities (called "disadvantaged communities") in their jurisdictions and address environmental justice to mitigate existing and potential hazards, reduce health risks, and prioritize improvements that address the needs of disadvantaged communities.

"Disadvantaged communities" are defined as areas identified by the California Environmental Protection Agency (CEPA) pursuant to Section 39711 of the Health and Safety Code or an area that is a low-income area and disproportionately affected by environmental pollution and other hazards that can lead to negative health effects, exposure, or environmental degradation.

Per California law (California Government Code, Section 65040.12(e)), environmental justice includes, but is not limited to:

- The availability of a healthy environment for all people;
- The deterrence, reduction, and elimination of pollution burdens for populations and communities experiencing the adverse effects of that pollution, so that the effects of the pollution are not disproportionately borne by those populations and communities;
- Governmental entities engaging and providing technical assistance to populations and communities most impacted by pollution to promote their meaningful participation in all phases of the environmental and land use decision-making process; and
- The meaningful consideration of recommendations from populations and communities most impacted by pollution into environmental and land use decisions.

#### SB 1241 (2012) Wildland and Urban Fire Hazards

California's increasing population and expansion of development into previously undeveloped areas is creating more "wildland-urban interface" with a corresponding risk of economic loss caused by wildland fire. A "wildland fire" is defined as a fire occurring in a suburban or rural area that contains uncultivated lands, timber, range, watershed, brush, or grasslands. Therefore, the Element will address the risk of fire for land classified as very high fire hazard severity zones, as defined in Section 51177 of the Government Code. In addition, the Element will include information regarding fire hazards such as i) fire hazard severity zone maps available from the Department of Forestry and Fire Protection; ii) historical data on wildfires or a reference to where the data can be found; iii) information about wildfire hazard areas available from the United States Geological Survey; iv) the general location and distribution of existing and planned uses of land in very high fire hazard severity zones, including structures, roads, utilities, and essential public facilities and v) defensible space compliance measures required by state law or local ordinance, and vi) a list of local, state, and federal agencies with responsibility for fire protection.

#### SB 99 (2020) and AB 747 (2019) - Evacuation Routes

SB 99 requires the City to identify residential developments in hazard areas that do not have at least two emergency evacuation routes (i.e., neighborhoods or households within a hazard area that have limited accessibility).

AB 747 requires the City to update the Safety Element of its General Plan to identify evacuation routes and assess the capacity, safety, and viability of those routes under a range of emergency scenarios.

The Evacuation Route Analysis discusses five (5) scenarios for evacuation, including wildfire originating from the areas 1) northeast, 2) northwest, and 3) southwest of the City, flood, and earthquake, as well as a baseline scenario with no hazard event specified. The multi-layered analysis assesses the capacity, safety, and viability of the potential evacuation routes under a range of emergency scenarios, as required by AB 747. The Evacuation Route Analysis also identifies whether residential areas do not have two (2) points of egress, as required by SB 99.

#### SB 1035 (2018) - Safety Element

Requires the update of the Safety Element upon adoption or revision of the Housing Element or Local Hazard Mitigation Plan (LHMP) to identify new

information not available during the previous revision relating to flood and fire hazards and climate adaptation and resiliency strategies.

#### SB 379 (2015) - Climate Change Adaptation and Resiliency

Addresses climate change and adaption and resiliency through the preparation of a vulnerability assessment and comprehensive hazard mitigation and emergency response strategy. A Vulnerability Assessment was prepared to evaluate the impacts of extreme heat, wildfire, extreme precipitation and drought and to identify which aspects of the community, including people, infrastructure, and services, are most vulnerable to climate change's effects.

#### Multi-Jurisdictional Hazard Mitigation Plan (MJHMP)

The Board of Supervisors of the County of San Diego adopted the 2023 San Diego County MJHMP on February 7, 2023, which is a countywide plan that identifies risks and ways to minimize damage by natural and human-made disasters. The MJHMP was developed in accordance with the Disaster Mitigation Act of 2000 and followed the Federal Emergency Management Agency's Local Hazard Mitigation Plan (LHMP) guidance. The LHMP incorporates a process where hazards are identified and profiled, people and facilities at risk are analyzed, and mitigation actions are developed to reduce or eliminate hazard risk. The implementation of these mitigation actions, which include both short-term and long-term strategies, involve planning, policy changes, programs, projects, and other activities.

#### Geotechnical / Seismic Hazard Study

The Geotechnical / Seismic Hazard Study addresses land sliding and slope instability; liquefaction, and dam inundation and was updated in 2021. The updated study includes revised objectives and policies to reduce the risks associated with these hazards. The ultimate approval of the study is important because it forms the basis of requiring specified technical studies for private property development depending upon the use and the conditions of the land. The types of studies or information in site-specific studies can range from very preliminary to very detailed depending upon the risks associated with the use of land such as a low-risk golf course or a high-risk hospital use.

#### **Objectives And Policies**

The Element provides updated goals, objectives and policies to minimize injuries, loss of life, and property damages resulting from natural and human-induced safety hazards in compliance with the new state mandates and planning and fire practices. The public safety considerations addressed in the Element include flooding, geotechnical and seismic hazards, fire hazards, crime prevention, traffic

safety, light-rail transit safety, aircraft safety, disaster preparedness, and hazardous materials. In addition, the Element will include new goals, objectives, and policies to minimize pollution and its effects on communities.

#### C. ENVIRONMENTAL REVIEW

A Negative Declaration (ND) dated October 25, 2024, has been prepared in accordance with the California Environmental Quality Act (CEQA) and is recommended for approval and adoption by the City Council. The Draft ND (State Clearinghouse Number 2024101127) was made available for a 30-day public review and comment period commencing on October 25, 2024 and ending on November 25, 2024. One comment letter was received during this period, which did not raise any new environmental issues requiring substantial revisions to the Negative Declaration or further environmental review.

#### D. STAFF RECOMMENDATION

- 1. Open and close the Public Hearing; and
- 2. Adopt the Resolution adopting the Negative Declaration (AEIS2019-8) pursuant to CEQA and adopting the Safety and Environmental Justice Element (GPA2019-4)

## **City of Santee**

# Draft Safety and Environmental Justice Element

(This version reflects the draft Element made available for public review compared to the current adopted Element)

**FINAL** 

October 2024

Prepared for:



<u>City of Santee</u> <u>Planning and Building Development</u> <u>10601 Magnolia Avenue</u> <u>Santee, California 92071</u>

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## **SAFETY ELEMENT** Section 1. Executive Summary

The purpose of the Safety Element is to reduce loss of life, injuries, and damage to property resulting from natural and human caused public safety hazards including flooding, geologic and seismic hazards, fire, traffic hazards and crime. The Safety Element identifies areas where private and public decisions on land use need to be responsive to potentially hazardous conditions. It also serves to inform individuals, firms and public agencies of Santee's policies regarding appropriate levels of public services such as Sheriff's and Fire protection. The current City of Santee General Plan was adopted in 2003 by Resolution 63-2003 to guide new development in the City of Santee (City) through the year 2020. This document serves as an update to the General Plan's Safety Element and incorporates a new Environmental Justice Element. The Safety and Environmental Justice Element (Element) is integral to guiding future development in Santee as it addresses public safety concerns and provides goals and policies to minimize public safety hazards. Land use planning, implemented through the Santee Municipal Code and General Plan, is an important component of both hazard mitigation and environmental injustice prevention. Site selection that avoids proximity to natural hazards or hazardous facilities and building construction techniques designed for fire protection, life safety and temporary systems failure can reduce hazard risks in the built environment and promote quality of life.

The Safety and Environmental Justice Element provides an introduction (Section 2, Introduction) and a description of laws and regulations related to the Element (Section 3, Statutory **Requirements**). This Element provides a summary of existing conditions related to public safety and environmental justice and identifies a set of needs to be addressed by future actions (Section 4, Safety – Existing Conditions, and Section 6, Environmental Justice – Existing Conditions, respectively). Safety and environmental justice goals for the City are defined in Section 7, Goals, **Objectives, and Policies** along with objectives and policies intended to help achieve the goals, address community needs, and support the recommended improvements by providing the necessary legislative backing. The Safety and Environmental Justice Element builds on and coordinates with the City's Vulnerability Assessment (Appendix A), which assesses climate changerelated impacts on vulnerable populations and critical infrastructure (Section 5, Climate Adaptation and Resilience), and the Sustainable Santee Plan: The City's Roadmap to Greenhouse Gas Reductions (Sustainable Santee Plan), which addresses impacts from climate change on all residents of the City. This Element also incorporates the Emergency Evacuation Route Analysis (Appendix B) and Environmental Justice Existing Conditions Assessment (Appendix D) prepared for the Element. Finally, this Element concludes with an implementation plan in Section 8, *Implementation*, which sets forth the intended process for monitoring, implementing, and maintaining the Safety and Environmental Justice Element.

The City is coordinating efforts to improve staff's ability to respond to and recover from major emergencies by managing critical information and limited resources and using technology. The effort to maintain and enhance overall preparedness to prevent, respond to, and recover from any hazard, whether natural or human-made, is ongoing. The City is also responsible for securing and managing funding opportunities (e.g., grants) for addressing hazards and environmental justice issues, which requires an updated Safety and Environmental Justice Element (see **Section 2.6**, *Grants and Future Funding Opportunities*). The Safety and Environmental Justice Element aims to ensure that residents have the opportunity to provide input on decisions that affect their quality of life through public participation, which is described in **Section 2.7**, *Community Engagement*.

# **1.0** Accomplishments Since Adoption of the General Plan

# 1.1 Major Accomplishments

Since the adoption of the City's first General Plan in August of 1984, the City has fulfilled many of the goals, and implemented the policies that are found in the Safety Element. Major accomplishments include the following:

- Adopted a Grading Ordinance that addresses hillside grading and provides recommendations and requirements necessary to permit safe development within these areas.
- Adopted Zoning Ordinance requirements that limit hillside development and require site sensitive grading to reduce impacts.

• Development of a number of residential subdivisions within geologically sensitive areas ensuring the recommendations of the existing General Plan are followed and the all geotechnical hazards are properly investigated and mitigated.

◆ In the early 1980's, the Santee and Lakeside Fire Departments signed an automatic aid agreement to provide response to the others' geographic area automatically to reduce response times and enhance public safety. This successful effort spearheaded a larger automatic aid agreement for the entire East Countyregion.

♦ In 1984, the City Council approved an ordinance requiring automatic fire sprinkler systems in commercial occupancies. The ordinance was revised in the early 90's to include sprinkler systems in residential structures as well.

In the late 1980's the City began to install "opticom" devices in traffic signals to give emergency vehicles priority at intersections and improve response times. Today, all City traffic signals are equipped with these devices.

- Since the 2000's the City has implemented a traffic signal interconnect system on the majority of the arterials which helps maintain traffic signal timing for enhancing traffic safety.
- Since the 2000's the City has installed battery backups for traffic signals at key intersections

to minimize interruption in operation and improve safety during power outages.

- Since the 2000's the City has received Federal Highway Safety Improvement Program grants in the amount of \$2.5 million for safety improvements including raised medians, sign upgrade, speed feedback signs, and enhanced crosswalks.
- In conjunction with the State of California, the City completed significant bridge, drainage, and channel improvements on Forester Creek in 2005 while realigning the creek to accommodate improvements to State Route (SR-) 52. This multimillion-dollar award-winning project reduced the effects of flooding to surrounding properties while also improving the safety of surrounding streets and pedestrians.
- In 2008, the San Diego County Regional Airport Authority serving as the Airport Land Use Commission (ALUC) for the county of San Diego adopted the Marine Corps Air Station (MCAS) Miramar Airport Land Use Compatibility Plan (ALUCP).
- In 2010, the ALUC adopted the Gillespie Field ALUCP.
- In 2010, the City of Santee Emergency Operations Plan was adopted and prepared to ensure the most effective and economic allocation of resources for the maximum benefit and protection of the community in time of emergency.
- In 2012, the City funded and began a corrugated metal pipe repair and replacement program to repair and or replace aging infrastructure with an ongoing program. This program has repaired and upgraded significant deficiencies identified in Santee's master drainage facility inventory to reduce the impacts of flooding due to climate change.
- In 2015, the City completed the installation of a decorative pedestrian crossing that created an Americans with Disabilities Act (ADA)-compliant crossing from the existing Santee Trolley and San Diego Metropolitan Transit System (MTS) hub to the existing shopping center and future developments north of Town Center Parkway.
- As part of the Highway Safety Improvement Program, the City completed the installation of raised medians on Mission Gorge Road in 2019 where accident data supported the approval of grant funding to complete the installation to improve traffic safety in the area.
- Planned upgrades to improve accessibility to City Hall were completed in 2019, providing accessible parking and paths of travel upgrades to meet current safety standards.
- As part of emergency operation improvements, Santee completed improvements to the Emergency Operations Center (EOC) in 2013 by adding a backup generator and completed significant communication and technology improvements to the EOC in 2019.
- With a partnership with the San Diego Association of Governments, Santee was able to secure redevelopment funding to complete significant safety improvements to Prospect Avenue between Cuyamaca Street and Magnolia Avenue. This award-winning multimillion-dollar project improved drainage and eliminated historical flooding by creating a new drainage system with water quality treatment features. The road was also widened to current

standards with new sidewalks, accessible ramps, and bike lanes to improve pedestrian, bicycle, and traffic safety.

- ◆ In the early 1990's, the Fire Department initiated a unique and extremely successful public education program targeted mostly to school-aged children. The programs capture the audiences' attention by using firefighter clown characters to deliver important fire and life safety messages in an entertaining fashion.
- ♦ In the late 1990's, the City became a participating agency in the County's 800 MHz Regional Communications System, greatly improving inter-agency communications throughout the region during mutual aid and disaster operations.
- Since medical emergencies constitute nearly 80% of the Fire Department emergency responses, the City initiated a program that upgraded all first responding fire companies to be equipped and staffed with a paramedic.
- In 1994, the Fire Department developed an program using senior volunteers to assist with fire prevention inspections. The size and scope of the program have been expanded to include report data entry and staffing of informational booths at civic events.
- The City continuously updates its emergency operations plan and provides ongoing training to maintain compliance with the Statewide Emergency Management System (SEMS), increasing preparedness in the event of a disaster.
- The City has consistently maintained one of the lowest crime rates of any jurisdiction in San Diego County.
- The City has consistently maintained one of the lowest traffic collision rates among all jurisdictions in San Diego County and among all cities of similar size in California.
- In June of 2000, the Fire Department moved from the station at Carlton Hills Blvd. to a new facility at the corner of Fanita Parkway and Carlton Oaks Dr. The new facility will enhance public safety by allowing the Department to add a much needed two- person rescue company. The building won an award from the American Public Works Association in 2000.
- In 2002, the City adopted a public access defibrillation program that allows for placement of automated cardiac defibrillators in public places.
- Implementation of Community Oriented Policing and Problem Solving (COPPS), by the San Diego County Sheriff's Department, with a staff of 8 Special Purpose Officers, in partnership with the City and its citizens. The Zoning Ordinance was amended in 2001 to include zoning standards that provide for surveillance, access control, ownership of space and maintenance (a "crime prevention through environmental design" approach).



# Section <u>32</u>.0 Introduction

Within the City of Santee, growth and development is expected to continue as the City approaches build-out. With planned growth, and the associated public safety considerations, the City has developed a Safety Element to address public safety concerns. The public safety considerations addressed within the Element include flooding, fire hazards, geotechnical and/or seismic hazards, hazardous materials, crime prevention, traffic safety, aircraft safety and disaster preparedness.

This information is utilized in the planning process to guide the location, type and design of future developments within the City to avoid risks to public safety

**Relationship to other Elements** - The intent of the Safety Element is to identify natural and manmade hazards and to develop policies to reduce risk associated with such hazards. The Safety Element is most closely related to the Land Use Element, and to a lesser extent the Housing Element, since this information is used to guide the location of the various land uses and direct the location and design of future development.

The Element provides policy direction for new development and redevelopment in Santee related to public safety and equity issues as the City approaches buildout. The following section provides an overview of the purpose of Safety Elements and Environmental Justice Elements as well as the purpose of preparing a combined Element. The Introduction explains the relationship between this Element and other General Plan Elements and other planning documents. Finally, the Introduction explains the grants and funding opportunities available to address the issues discussed in this Element and the community engagement opportunities that helped to develop the Element.

# 2.1 What Is a Safety Element?

The purpose of a Safety Element is to establish policies related to future development that will minimize unreasonable risk of personal injury, loss of life, property damage, and environmental damage associated with natural and human-made hazards. The Safety Element provides policy direction that supports laws and regulations related to safety hazards and policies as well as the overall goals established for the Santee General Plan.

# 2.2 What Is an Environmental Justice Element?

The purpose of an Environmental Justice Element is to address the inequities resulting from environmental hazards and health impacts in the built environment. The policies included in an Environmental Justice Element are intended to ensure all residents have the right to live, work, and play in a safe and healthy community. Government (Gov.) Code, Section 65040.12(e), defines "environmental justice" as the fair treatment of people of all races, incomes, and ethnicities with respect to the development, adoption, implementation, and enforcement of environmental laws, regulations, and policies. Per Gov. Code, Section 65040.12(e)(2), environmental justice includes but is not limited to the following:

- The availability of a healthy environment for all people
- The deterrence, reduction, and elimination of pollution burdens for populations and communities experiencing the adverse effects of that pollution so that the effects of the pollution are not disproportionately borne by those populations and communities
- The governmental entities engaging and providing technical assistance to populations and communities most impacted by pollution to promote their meaningful participation in all phases of the environmental and land use decision-making process
- The meaningful consideration of recommendations from populations and communities most impacted by pollution and other hazards into environmental and land use decisions

# 2.3 Why a Combined and Environmental Justice Element?

New state mandates requires the Safety Element to include climate change adaptation and requires local agencies to adopt environmental justice policies for disadvantaged communities (Section 3). Therefore, the City of Santee Department of Planning & Building is updating the Safety Element and integrating environmental justice. The Safety and Environmental Justice Element updates risks and policies for the protection of the community, provides goals and policies for environmental justice, and includes climate change adaptation and resiliency.

The City is adopting a Safety and Environmental Justice Element in compliance with state-mandated requirements to concurrently create a safer, healthier community for its residents and improve its adaptability and resiliency to climate-related hazards. The fundamental objective of the Safety and Environmental Justice Element is to reduce the risk of hazard resulting from natural and human-caused events, including climate change-related hazards, particularly on disadvantaged communities (see **Section 5**). The Safety component of this Element directly relates to the Environmental Justice component because development plans must adequately account for public safety considerations and open space for public health, and ecological benefits often incorporate areas of increased hazard risk. For this reason, some of the figures prepared for the safety component of this Element also show disadvantaged communities for environmental justice. Additionally, combining the Elements also allowed the City to conduct robust community engagement to obtain input on the hazards and issues most affecting Santee residents (see **Section 2.7**).

This Safety and Environmental Justice Element addresses the following safety considerations:

- Flood Hazards
- Geologic/Seismic Hazards
- Urban/Wildland Fire Hazards

- Crime
- Traffic Hazards
- Light-Rail Transit Hazards
- Airport Hazards
- Disaster Preparedness
- Hazardous Materials
- Climate Adaptation and Resilience

# 2.4 Relationship to Other Elements

The Safety Element directly relates to topics also mandated in the Land Use Element, Conservation Element, Mobility Element, and Recreation and Trails Element (serving as the City's Open Space Element as required by Governor's Office of Planning and Research [OPR]). The Safety and Environmental Justice Element is most closely related to the Land Use Element since public safety and security information is used to guide the location of the City's various land uses. For example, the safety policies identify the need to ensure that critical facilities and hazardous facilities are located and designed to be functional in the event of a disaster. The environmental justice policies also identify the need to guide future development in Santee.

The Safety and Environmental Justice Element is also related to the Housing Element. For example, the safety policies identify the need to regulate or prohibit housing within Flood or High Fire Hazard Severity Zones (FHSZs). The environmental justice policies promote access from low-income residential areas to public transit, public facilities and services, recreational opportunities, healthcare, and healthy food. The environmental justice policies also identify the need to mitigate unsafe, unhealthy housing conditions for vulnerable populations in Santee (see Section 7). This information is used to guide the location and design of future housing development in Santee.

# 2.5 Related Plans

The County of San Diego's 2023 Multi-Jurisdictional Hazard Mitigation Plan (MJHMP) is a countywide plan that identifies risks and ways to minimize damage by natural and human-made disasters.<sup>1</sup> The MJHMP was developed in accordance with the Disaster Mitigation Act of 2000 (DMA 2000) and followed the Federal Emergency Management Agency's (FEMA's) Local Hazard Mitigation Plan (LHMP) guidance. The LHMP incorporates a process where hazards are identified and profiled, people and facilities at risk are analyzed, and mitigation actions are developed to reduce or eliminate hazard risk. The implementation of these mitigation actions, which include both short-term and long-term strategies, involve planning, policy changes, programs, projects,

<sup>&</sup>lt;sup>1</sup>The 2010 MJHMP was incorporated into the Santee General Plan by Resolution 08-2011 on <sup>February</sup> 9, 2011.

and other activities. The MJHMP can be found at https://www.sandiegocounty.gov/oes/ emergency management/oes jl mitplan.html.

The MJHMP is a comprehensive resource document that guides the County in reducing risks from disasters to people, property, economy, and environment and complies with federal and state hazard mitigation planning requirements to establish eligibility for funding under the FEMA grant programs (see Section 2.6).

The recently adopted MJHMP was revised to reflect changes to both the hazards threatening the County and its participating jurisdictions (including Santee), as well as the programs in place to minimize or eliminate those hazards. The City reviewed a set of jurisdictional-level hazard maps, including detailed critical facility information and localized potential hazard exposure/loss estimates, to identify the top hazards threatening its jurisdiction.

The City developed specific hazard mitigation goals, objectives, and related potential actions in its chapter of the County's 2023 MJHMP after considering the risk assessment findings, localized hazard identification and loss/exposure estimates, and an analysis of the City's current capabilities assessment. These goals represent a vision of long-term hazard reduction or enhancement of capabilities and align with the City's goals and objectives for the Safety and Environmental Justice Element:

- Goal 1. Promote disaster-resistant future development.
- **Goal 2.** Increase public understanding, support, and demand for effective hazard mitigation.
- Goal 3. Build and support local capacity and commitment to continuously become less vulnerable to hazards.
- Goal 4. Improve coordination and communication with federal, state, local and tribal governments.

<u>Reduce the possibility of damage and losses to existing assets, particularly people, critical</u> <u>facilities/infrastructure, and state-owned facilities, due to the following:</u>

- Goal 5. Floods.
- Goal 6. Wildfires.
- Goal 7. Severe Weather.
- Goal 8. Infestations/Diseases.
- Goal 9. Geological Hazards.
- Goal 10. Extremely Hazardous Materials Releases.
- Goal 11. Other Human-Caused Hazards.
- Goal 12. Droughts.

The Board of Supervisors of the County of San Diego adopted the 2023 San Diego County MJHMP on February 7, 2023. Since the 2023 update to the MJHMP was adopted prior to approval of the

Safety and Environmental Justice Element, the City incorporated the adopted plan by reference. However, much of the information included in this Element was informed by information gathered for preparation of the 2023 MJHMP update.

# 2.6 Grants and Future Funding Opportunities

The Safety and Environmental Justice Element is integrated with the County's 2023 MJHMP, ensuring a coordinated approach to public safety and qualifying the City for additional funding opportunities (consistent with Gov. Code, Section 65302.6).<sup>2</sup> Given that the City's Safety and Environmental Justice Element includes goals, objectives, and policies that parallel those included in the County's 2023 MJHMP, the Element's adoption provides the opportunity for the City to secure grants and funding for hazard mitigation.

In addition, the Inflation Reduction Act of 2022 directs new federal spending toward reducing carbon emissions by providing significant federal funding for climate efforts. The Inflation Reduction Act directs nearly \$400 billion in federal funding to clean energy with the goal of substantially lowering the nation's carbon emissions by the end of this decade.<sup>3</sup> The funds are delivered through a combination of tax incentives, grants, and loan guarantees, which are available to jurisdictions that adopt programs and policies aimed at increasing resiliency to climate-related events. The City's incorporation of programs and policies aimed at climate resiliency into the Safety and Environmental Justice Element opens opportunities for grant funding to support these programs.

# 2.7 Community Engagement

The City recognizes the importance of community involvement in the planning and decisionmaking processes and is committed to creating transparent processes inclusive of all City residents. The City provided opportunities for the community to engage in the development of the Safety and Environmental Justice Element through stakeholder and City Council meetings, which are outlined in **Table 2.1**, *Safety and Environmental Justice Stakeholder Meetings*, and a Community Survey, which is discussed in **Section 6** and in **Appendix E**, Environmental Justice Community Survey Results.

Meeting	Date	Purpose	
Safety Stakeholder Meetings			
Stakeholder Meeting 1	<u>November 16, 2021</u>	<ul> <li>Confirm the hazard profiles (e.g., seismic/geologic hazards, flood hazards, fire hazards)</li> <li>Gather information on adaptive capacity (i.e., the City's ability to respond to climate change impacts)</li> </ul>	

Table 2.1. Safety	and Environmental Justice Stakeholder Meetings

Meeting	Date	Purpose	
Stakeholder Meeting 2	<u>April 4, 2022</u>	Present the results of the Vulnerability	
		Assessment	
		• Solicit feedback on the safety-related goals,	
		objectives, and policies of the Safety and	
		Environmental Justice Element	

2 The Disaster Mitigation Act of 2000 requires all local governments to create such a disaster plan to qualify for hazard mitigation funding.

<u>3 REPEAT Project. 2022. Preliminary Report: The Climate and Energy Impacts of the Inflation Reduction Act of 2022.</u> <u>Prepared by J.D.Jenkins, E.N. Mayfield, J. Farbes, R. Jones, N. Patankar, Q. Xu, G. Schivley. Accessed November 2022.</u> <u>https://repeatproject.org/docs/REPEAT\_IRA\_Prelminary\_Report\_2022-08-04.pdf.</u>

Environmental Justice Stakeholder Meetings		
Stakeholder Meeting 1	<u>June 16, 2021</u>	Present the results of the Community
		Survey
		Solicit feedback on what should be included
		in the Environmental Justice Existing
		Conditions Assessment
Stakeholder Meeting 2	<u>December 1, 2021</u>	Solicit feedback on the environmental
		justice-related goals, objectives, and policies
		of the Safety and Environmental Justice
		Element

The City also held a City Council Workshop on October 12, 2022. The workshop provided a forum for City Council members and residents to provide their recommendations on the information that should be included in this Element, such as policies that would unlock funding for residents living in disadvantaged communities.

# <u>Section 3.1.0</u> Statutory Requirements

# 3.1 Safety Laws and Regulations

The California <u>pP</u>lanning and <u>z</u>Zoning laws <u>require</u> identify a Safety Element for the protection of the community from unreasonable risks as one of the seven-mandatory <u>E</u>elements in a General Plan. The <u>City's</u> current Safety Element represents a consolidation of the previous Public Safety and Seismic Safety Elements.

The Safety Element must address public safety issues <u>associated with the effects of seismic and</u> <u>geologic hazards</u>, flooding, wildland and urban fires, and crime prevention. The Safety Element must identify evacuation routes, military installations, peak-load water supply requirements, and minimum road widths and clearances around structures because those items relate to identified fire and geologic hazards. This Element must also identify plans and programs for emergency response. such as wildland and urban fire, flooding, crime prevention and seismic and geologic hazards. This element must also identify plans for emergency response.

the State Department of Conservation Division of Mines and Geology and the Office of Emergency Services before adoption.

# Disaster Mitigation Act of 2000 (42 USC Section 5121 et seq.)

The federal Disaster Mitigation Act of 2000 outlines how a Local Hazard Mitigation Plan (LHMP) can be developed individually or through an MJHMP. The successful completion of an LHMP makes the jurisdiction eligible to apply for federal Hazard Mitigation Grant Program post-disaster funding, pre-disaster mitigation funding, or flood management assistance funding (refer to **Section 2.6**).

# Assembly Bill 2140 – Local Hazard Mitigation Plan

At the state level, Assembly Bill (AB) 2140 authorizes local governments to adopt their LHMPs with the Safety Elements of their General Plans (Gov. Code, Section 65302.6). Integration or incorporation by reference is encouraged through a post-disaster financial incentive that authorizes the state to use available California Disaster Assistance Act funds to cover local shares of the 25 percent non-federal portion of grant-funded post-disaster projects when approved by the legislature (Gov. Code, Section 8685.9). AB 2140 is one of the most important links between General Plans and hazard mitigation in California.

The Safety Element must identify hazards and hazard abatement provisions to guide local decisions related to zoning, subdivisions, and entitlement permits. Therefore, the Safety Element contains general hazard and risk reduction strategies complementary with those of the City's chapter in the County's 2023 MJHMP. The 2023 MJHMP is incorporated into the Safety Element by reference in accordance with AB 2140. Adopting the 2023 MJHMP with the Safety Element provides a vehicle for implementation of the 2023 MJHMP. This also provides for consistency across multiple documents such as the City's Sustainable Santee Plan (i.e., Climate Action Plan), General Plan, and County 2018 MJHMP.

# Gov. Code, Section 65302(g)(2) – Flood and Drought Hazards

Gov. Code, Section 65302(g)(2), requires the description of flood and drought hazards in the Safety Element. The impacts of climate change on the frequency, timing, and magnitude of flooding vary by geography throughout the state. The Safety Element must identify information regarding flood hazards; establish a set of comprehensive goals, policies, and objectives for the protection of the community from the unreasonable risks of flooding; and establish a set of feasible implementation measures designed to carry out the goals, policies, and objectives for flood protection. The Safety Element must also assess the availability of water resources for fighting fires.

# Senate Bill 1241 and Gov. Code, Section 65302(g)(3) – Wildland and Urban Fire Hazards

Senate Bill (SB) 1241 and Gov. Code, Section 65302(g)(2), apply to communities with Very High FHSZs or unincorporated communities in State Responsibility Areas (SRAs). SB 1241 requires cities and counties to address fire risk in SRAs and identify areas in Very High FHSZs, as defined in Section 51177 of the California Public Resources Code, in the Safety Element of their General Plans upon the next revision of the Housing Element. Communities subject to SB 1241 need to ensure consistency between the Housing and Safety Elements to address fire risk. The Safety Element must also establish a set of goals, policies, and objectives based on the information identified for the protection of the community from the unreasonable risk of wildfire. SB 1241 also requires cities and counties to make certain findings regarding available fire protection and suppression services before approving a Tentative Map or Parcel Map.

# Senate Bill 1035, Gov. Code, Section 65302, Senate Bill 379, and Gov. Code, Section 65302(g)(4) – Climate Change Adaptation and Resiliency

SB 1035 (Gov. Code, Section 65302) and SB 379 (Gov. Code, Section 65302[g][4]) require all cities to address climate change adaptation and resilience in their General Plan Safety Element. On October 8, 2015, Gov. Code, Section 65302, was amended by SB 379 to require the Safety Element to be reviewed and updated as necessary to include a climate change Vulnerability Assessment, measures to address vulnerabilities, and a comprehensive hazard mitigation and emergency response strategy. Policies in a Safety Element identify hazards and emergency response priorities and mitigation through avoidance of hazards by new projects and reduction of risk in developed areas.

The introduction of climate risk to the discussion of the Safety Element adds focus on a community's longer-term preparation. Climate change will affect and potentially exacerbate the impacts of other hazards rather than being solely a distinct hazard with unique impacts. For example, extreme heat and heat waves are existing hazards that will be exacerbated by climate change.

SB 379 is triggered by the next update of a jurisdiction's LHMP (updated every 5 years) or before January 1, 2022, whichever is first. SB 1035 built off SB 379, requiring that the Safety Element be updated every 8 years upon the next Housing Element update.

# <u>Gov. Code, Section 65302 (g)(6) – Flood Plain</u>

Cities and counties that have Floodplain Management Ordinances approved by FEMA, or have substantially equivalent provisions to the subdivision in their General Plans may use that information in the Safety Element to comply with this subdivision and shall summarize and incorporate by reference into the Safety Element the other General Plan provisions or the Floodplain Ordinance, specifically showing how each requirement of the subdivision has been met.

#### Assembly Bill 747, Senate Bill 99, Assembly Bill 1409, and Gov. Code, Section 65302(g)(1) <u>– Evacuation Routes</u>

AB 747, adopted in 2019, requires cities and counties to update the Safety Element of their General Plans to identify evacuation routes and assess the capacity, safety, and viability of those routes under a range of emergency scenarios. Gov. Code, Section 65302(g)(1), also specifies that Safety Elements must address evacuation routes.

SB 99, adopted in 2019, requires cities and counties to identify residential developments in hazard areas that do not have at least two emergency evacuation routes (i.e., neighborhoods or households in a hazard area that have limited accessibility).

AB 1409, adopted in 2021, requires cities and counties to identify evacuation locations.

# Gov. Code, Section 65302(g)(8) – Consultation Requirements

Gov. Code, Section 65302(g)(8), requires the City to consult the California Geological Survey (CGS) of the California Department of Conservation and the California Office of Emergency Services (Cal OES) before preparing or revising the Safety and Environmental Justice Element to include information known by and available to the departments. Cal OES assists local governments with developing their Safety Elements and aligning General Plan strategies with those of the LHMPs and Emergency Operation Plans to ensure consistency. As required by Gov. Code, Section 65302.5(a), the City provided a draft of its Element to the CGS (at least 45 days) prior to adoption to determine if all known seismic and other geologic hazards are addressed and to Cal OES to ensure consistency between all Local and Regional Hazard Mitigation and Emergency Operation Plans.

Additionally, Gov. Code, Section 65302.5(b)(1), requires a draft Element of or draft amendment to the Safety Element of a county or a city's General Plan to be submitted to the State Board of Forestry and Fire Protection if that county or city contains SRAs or Very High FHSZs. Because there are Very High FHSZs in Santee, the City provided a draft of the Safety Element to the State Board of Forestry and Fire Protection for review (at least 90 days) before adoption in accordance with Gov. Code, Section 65302.5(b). The State Board was provided the opportunity to recommend changes regarding land uses, policies, or strategies for reducing fire risk.

# 3.2 Environmental Justice Laws and Regulations

# <u>Senate Bill 1000 – Disadvantaged Communities</u>

In an effort to address the inequitable distribution of pollution and associated health effects in low-income communities and communities of color, the California Legislature passed and Governor Brown signed SB 1000 in 2016. This law requires local governments to identify environmental justice communities (referred to as "disadvantaged communities") in their jurisdictions and incorporate environmental justice policies into their General Plans upon adoption of two or more Elements concurrently on or after January 1, 2018.

<u>SB 1000 defines "disadvantaged communities" as those disproportionally burdened by multiple</u> sources of pollution and with population characteristics that make them more sensitive to pollution. Per this definition, disadvantaged communities are more likely to experience a lower quality of life and experience poor health outcomes compared to more affluent areas. Disadvantaged communities are often subject to disproportionate environmental burdens; therefore, SB 1000 requires that cities and counties develop objectives and policies in their General Plans to address the following:

- Improve air and water quality and promote access to public facilities, healthy food, safe and sanitary homes, and physical/recreational activity to reduce the unique or compounded health risks in disadvantaged communities
- Promote civic engagement in the public decision-making process
- Prioritize improvements and programs that address the needs of disadvantaged communities

See Section 6 for a discussion of disadvantaged communities in Santee.

# Gov. Code, Section 65302(h)

Gov. Code, Section 65302(h)(2), requires the addition of an Environmental Justice Element that identifies disadvantaged communities in the General Plan (or related goals, policies, and objectives integrated in other Elements) upon the adoption or next revision of two or more Elements concurrently on or after January 1, 2018.

Disadvantaged communities are defined by Gov. Code, Section 65302(h)(4)(A), as "an area identified by the California Environmental Protection Agency (CalEPA) pursuant to Section 39711 of the Health and Safety Code OR an area that is low-income that is disproportionately affected by environmental pollution and other hazards that can lead to negative health effects, exposure, or environmental degradation."

Gov. Code, Section 65302(h), requires the following:

- Identification of objectives and policies to reduce the unique or compounded health risks in disadvantaged communities by means that include the reduction of pollution exposure, and the promotion of public facilities, food access, safe and sanitary homes, and physical activity
- Identification of objectives and policies to promote civil engagement in the public decision-making process
- Identification of objectives and policies that prioritize improvements and programs that address the needs of disadvantaged communities

#### <u>Assembly Bill 1553 – Office of Planning and Research Guidelines</u>

Adopted in 2001, AB 1553 amends Gov. Code, Section 65040.2 and 65040.12, to require the OPR to provide guidance for local jurisdictions to incorporate environmental justice considerations.

#### Health and Safety Code, Section 39711 – Disadvantaged Communities

Health and Safety Code, Section 39711, requires that the CalEPA identify disadvantaged communities for investment opportunities, such as fostering job creation by promoting in-state greenhouse gas (GHG) emissions reduction projects carried out by California workers and businesses.

#### Governor's Office of Planning and Research Environmental Justice Element Guidelines

The OPR adopts and periodically revises the California General Plan Guidelines as required by Gov. Code, Section 65040.2, for the preparation of General Plans for all cities and counties in California (OPR Guidelines). Chapter 4.8, Environmental Justice Element, of the OPR Guidelines serves as the "how to" resource for drafting the Element.

OPR Environmental Justice Element Guidelines recommend using the CalEnviroScreen, a computer mapping tool, to identify disadvantaged communities in a city or county. CalEnviroScreen uses several indicators to determine if a community is disadvantaged and disproportionately affected by pollution. In addition to using CalEnviroScreen, the OPR Guidelines

recommend mapping low-income areas to identify disadvantaged communities. The OPR Environmental Justice Element Guidelines also recommend screening for areas that are below the state income limits established by the California Department of Housing and Community Development (HCD). The 2021 state income limits are on the department's website (https://www.hcd.ca.gov/grants-funding/income-limits/state-and-federal-incomelimits/docs/income-limits-2021.pdf). See **Section 6** for a discussion of the disadvantaged

communities and low-income areas mapped for the City's environmental justice analysis.

# Section 4.<del>0</del> Safety Existing Conditions

The Safety and Environmental Justice Element sets forth the City's intention to develop goals, objectives, and policies to minimize pollution, flood, fire, and other hazards and their effects on all communities. The public safety considerations addressed in the Element include flooding, geotechnical and seismic hazards, fire hazards, crime prevention, traffic safety, light-rail transit safety, aircraft safety, disaster preparedness, and hazardous materials. Information on these topics is used in the planning process to guide the location, type, and design of future developments in Santee to avoid risks to public safety.

# 4.1 Flood Hazards

<u>Rivers and Creeks</u>—Flooding in Santee could result primarily from four conditions or a combination of them: (1) heavy, prolonged rain; (2) the collapse or cresting of a dam; (3) a degraded watershed or drainage system; (4) a release of water from upstream dams. One of the most serious watershed management problems <u>is caused by</u><del>arises from</del> wildland fires, which remove thick underbrush and chaparral, stripping the moisture-retaining ground cover from the soil <u>and allowing water to run</u> rapidly downslope. Runoff from bare slopes increases, <u>resulting in flooding, mudslides,</u> and soil erosion-takes-place.

# **Rivers and Creeks**

<u>The City's Santee has five</u> primary waterways <u>include</u>: <u>t</u> he San Diego River, Forester Creek, Sycamore Creek, and intermittent creeks paralleling Big Rock Road and Fanita Drive. <del>shown on Figure 8-1, <u>Public</u> <u>Safety</u>. The <u>FEMA</u> Federal Emergency Management Agency (FEMA) mapped the San Diego River and Forester Creek and updated maps as of <u>May 16, 2012</u>, June 19, 1997 as part of the National Flood Insurance Program.</del>

*Figure 4.1, FEMA Flood Hazard Zone,* depicts the City's 100-year and 500-year Flood Hazard Zones. The magnitude of flooding that is used as the standard for floodplain management in the United States is a flood with a probability of occurrence of 1 percent in any given year. This flood is also known as the 100-year flood or base flood. The most readily available source of information regarding the 100-year flood, as well as the 500-year flood (i.e., 0.2 percent probability of occurrence in any given year), is the system of Flood Insurance Rate Maps prepared by FEMA. Within the City there are<u>In Santee</u>, a total of 1,020 acres of land located within the floodplain of the San Diego River, <u>including</u> approximately 596 acres within the floodway and 424 acres within the floodplain fringe. The Forester Creek floodplain is estimated to cover an area of approximately 100 acres. The low flow channel of Sycamore Creek is estimated to cover roughly 42 acres. (also shown on Figure 8 1.). The low<u>-</u> flow channel of the creek parallel to Big Rock Road covers roughly 5 acres. The portion of the low flow channel of the creek parallel to Fanita Drive that is within Santee covers roughly 2.8 acres. Various existing and designated land uses (i.e., residential, commercial, and industrial) are within the floodplain areas of these waterways. Depending on their siting and design considerations, many of these uses would be susceptible to flood damage in the event of a 100-year flood.

There are a variety of existing and designated land uses (i.e. residential, commercial, and industrial) located within the floodplain areas of these waterways. Depending upon their siting and design considerations, many of these uses would be susceptible to flood damage in the event of a 100-year flood.

The U.S. Geological Survey maintains the San Diego River Gauge at Fashion Valley in Mission Valley, downstream from Santee. It provides historical data on peak streamflow for each year. The National Weather Service defines flood stage at this location as 11.3 feet with an estimated discharge of 2,700 cubic feet per second.

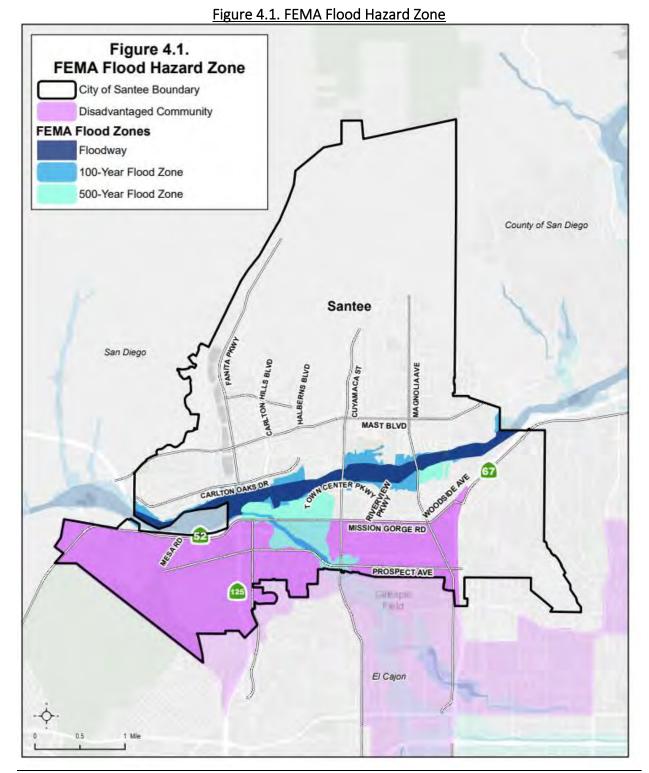
In <u>2019, <del>1993</del></u> the City completed a comprehensive update of the City's <u>Municipal Code that included</u> <u>updates to the</u> Flood Damage Prevention Ordinance <u>(Santee Municipal Code, Chapter 11.36)</u> to minimize the public and private losses due to flooding. The intent of the ordinance is to reduce the risks to residents and public and private improvements from flooding. The ordinance precludes development in flood-prone floodway areas and requires all new development to be designed to be above the height of the 100-year flood. The ordinance establishes a basis for the areas deemed special flood hazard, incorporating an engineering analysis entitled San Diego River Flood Study (1992) and the City's Flood Insurance Study from 1983. The studies identify the amended 100-year peak discharge for six locations and are on file at the City Engineer's office. The City's Flood Damage Prevention Ordinance is incorporated into this Safety and Environmental Justice Element by reference.

Historical flood records indicate extensive flood damage to surrounding areas in Santee associated with flood events along the San Diego River and, to a lesser extent, Forester Creek. Portions of both of these waterways have been improved to reduce flooding. <u>The City completed Santee is currently working on</u> the required environmental process, channel design, right-of- way acquisition, and future construction of improvements to Forester Creek between Mission Gorge Road and Prospect Avenue, for a distance of approximately 1.2 miles. The improvements to the creek <u>will</u> increased the flood-carrying capacity of the creek to contain the l00-year flood flow. This project <u>would</u> reduced the floodplain of <u>the Forester c</u>reek from 100 <u>acres under existing conditions</u> to approximately 25-30 acres in size. <u>These improvements are expected to be completed by 2004</u>.

Santee and the greater San Diego County have experienced two declared disasters for severe weather, including fires, floods, and mudflows, in the last 5 years (Table 4.1, *Federal Weather-Related Disaster Declarations for San Diego County (2017–2021)*). Federal disaster declarations provide individual and public assistance to impacted counties. Historical flooding in the County notably occurred in 1862, 1916, 1927, and 1937. In 1945, the federal government authorized a report on flood control downstream of the San Diego River, and associated work on the flood control channel began in the 1950s (San Diego History Center, The Journal of San Diego History, Spring 1971, Volume 17, Number 2).

Disaster Declaration	Federal Declaration	Disaster Name	Incident Period
<u>No.</u>	Date		
DR-4353 (Individual	<u>Jan. 2, 2018</u>	California Wildfires,	Dec. 4, 2017–Jan. 31,
<u>Assistance)</u>		<u>Flooding, Mudflows,</u>	<u>2018</u>
		and Debris Flows	
<u>DR-4305</u>	<u>Mar. 16, 2017</u>	California Severe	<u>Jan. 18, 2017–Jan. 23,</u>
		<u>Winter Storms,</u>	<u>2017</u>
		Flooding, and	
		<u>Mudslides</u>	

Table 4.1. Federal Weather-Related Disaster Declarations for San Diego County (2017–2021)
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# Water Reservoirs -

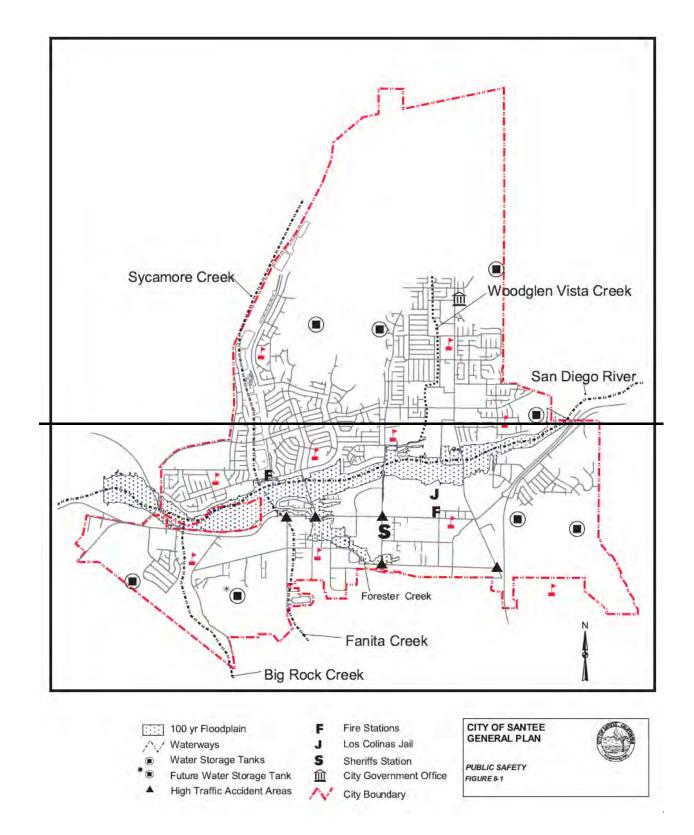
The Padre Dam Municipal Water District (Padre Dam) provides potable water, recycled water, wastewater management services and recreational facilities to an 805- square -mile service area,

including District, including the entire City of Santee. Padre Dam's service area population is estimated at 95,000, with an average daily water demand of 8.1 million gallons. Padre Dam The District's service area population is estimated at 125,000, with an average daily water use of 17 million gallons. The district currently has over 330 miles of potable water mains, 140 miles of wastewater mains, and 25 miles of recycled water mains.

The DistrictPadre Dam maintains seven water reservoirs in within Santee (Figure 8-1). The Charles C. Price Reservoir, located just east of <u>SR-State Route</u> 67 and Via Madonna, is the largest, with a capacity of 15.5 million gallons. The Northcote <u>R</u>reservoir, located at the end of Northcote Road, is the smallest reservoir with a capacity of 0.71 million gallons. The Fanita <u>Terrace</u> Reservoir, an aboveground tank located just south of the southern terminus of Organdy Lane, is the only water tank in the City that holds recycled water, storing up to 1.5 million gallons. The DistrictPadre Dam is planning an additionaltwo potable water reservoirs near the southern end of Mesa Road, for future development in thesethis areas. When the Fanita Ranch is developed, additional water storage facilities will be required to serve this area It is anticipated that a 3-million-gallon facility would be required for the Mesa Reservoir and a 4-million-gallon facility would be required for the Fanita Ranch Reservoir. Each of the reservoirs is on the top of a hill to minimize the need for pumps. In the event of the failure and release of water from any of the reservoirs range from 150 to more than 1,500 feet from the nearest homes.

In addition, the City could be subject to flood damage from failure of other water storage tanks nearby. One water storage tank is near Grossmont College, just south of the City limits. This reservoir holds 3.6 million gallons of water for Padre Dam and the Helix Water District. Additionally, the nearby Fletcher Hills Reservoir on Weld Avenue, in El Cajon, has a capacity of 1.5 million gallons and could affect Santee with flooding caused by failure.

Each of the reservoirs is located on the top of a hill in order to minimize the need for pumps. In the event of the failure and release of water from of any of the reservoirs, the land adjacent to and below the ruptured reservoir could be flooded. The reservoirs range from 150 to more than 1,500 feet from the nearest homes. Inundation studies for these reservoirs have not been completed by the District.



In addition to the reservoirs within Santee, the City could also be subject to flood damage from failure of water storage tanks located nearby. One is located near Grossmont College, just south of the City limits. This reservoir holds 3.6 million gallons of water for the Padre Dam and Helix Water Districts.

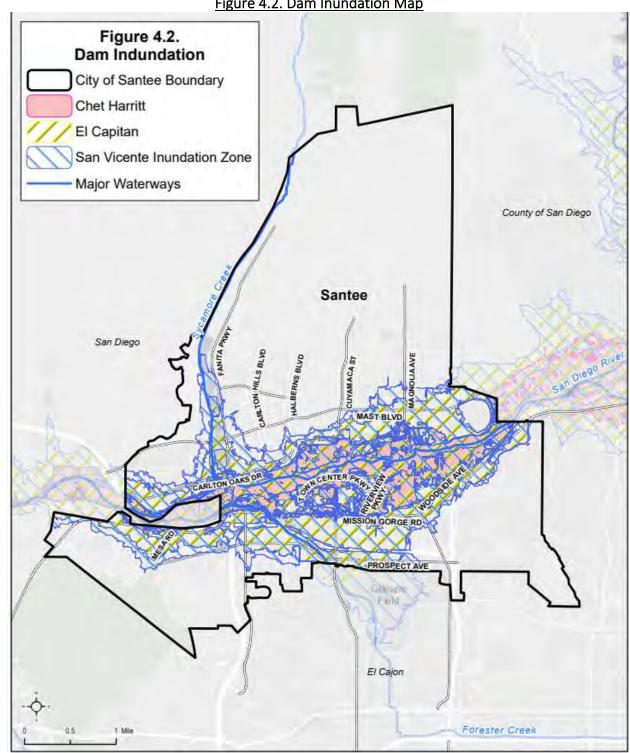
The nearby Fletcher Hills Reservoir on Weld Avenue, in El Cajon, has a capacity of 1.5 million gallons and could affect Santee with flooding caused by failure.

#### <u>Dam Failure</u>

The central portion of the City of Santee is in the located in the San Diego River Valley downstream of three major dams in San Diego County:- These include the San Vicente Dam, the El Capitan Dam, and the Chet Harrit Dam (Lake Jennings Reservoir)(Table 4.2, Major Dams Located Upstream of the City of Santee)- The Earthquake Engineering Research Institute San Diego Chapter's publication San Diego Earthquake Planning Scenario, Magnitude 6.9 on the Rose Canyon Fault Zone, expects these dams to remain in service due to recent seismic retrofit and their distance from any major active faults. These dams are inspected annually by the California Department of Water Resources Division of Safety of Dams (DSOD) to ensure they are safe, performing as intended, and are not developing issues. Given their location upstream of communities and residential areas, the DSOD and the County classify these dams as possessing an "extremely high" downstream hazard and "high" hazard rating, respectively.

Dam Name	<u>Distance</u> from City	Year Constructed	<u>Capacity</u> (acre-feet)	<u>Notes</u>
San Vicente Dam	<u>3.5 miles</u>	<u>1943</u>	<u>245,000</u>	Concrete gravity structure originally constructed with a capacity of 90,200 acre-feet and then raised an additional 117 vertical feet in 2016 using roller-compacted concrete to expand its capacity.
<u>El Capitan Dam</u>	<u>9 miles</u>	<u>1934</u>	<u>112,800</u>	Hydraulically filled earth structure.
<u>Chet Harritt Dam</u> (Lake Jennings <u>Reservoir)</u>	<u>3 miles</u>	<u>1962</u>	<u>9,790</u>	Earth-filled dam constructed by procedures to resist seismic damage.

Information regarding dam failure risk can be found in the County's 2023 MJHMP. Maps prepared by the DSOD showing areas of inundation in the event of dam failure can be found online here: https://fmds.water.ca.gov/maps/damim/. Inundation zones for each of the three dams located upstream of Santee are shown on **Figure 4.2**, *Dam Inundation Map*. This figure was generated using a DSOD GIS layer showing the extent of dam inundation areas for extremely high, high, and significant hazard dams in Santee. Information concerning the safety of these dams is reviewed annually by the DSOD. To plan for long-term fire risks to certain demographics, physical assets, structures, and critical infrastructure in the community, the 2023 Community Risk Assessment Long-Range Master Plan prepared by the Santee Fire Department also shows dam inundation risk from potential failure of the San Vicente Dam. The 2023 Community Risk Assessment Long-Range Master Plan is incorporated into this Safety and Environmental Justice Element by reference. In addition, Annex Q of the County's Office of Emergency Services' 2022 Emergency Operations Plan outlines the evacuation procedures in the event of a dam failure.



#### Figure 4.2. Dam Inundation Map

The El Capitan Dam, roughly 10 miles upstream from Santee, was built in 1935 by hydraulic fill methods The dam is rock filled, with a clay core. It has a storage capacity of 112,807 acre feet of water at the spillway elevation of 750 feet above sea level. Due to the failure of a large hydraulically filled dam in Los Angeles in 1971, the State's Department of Water Resources' Division of Safety of Dams requested all owners of hydraulic fill dams to conduct an investigation of the safety of their dams under seismic loading. The study of El Capitan showed that the maximum water surface elevation should be 720 feet, which is now the permanent storage elevation.

The Chet Harrit Dam (Lake Jennings) is an earth-fill dam located approximately 3 miles east of Santee. Lake Jennings, which is retained by the dam, has approximately 10,700 acre-feet of capacity. The dam was built in 1962 by modern methods to resist seismic damage.

The San Vicente Dam is a concrete gravity structure located approximately 3-½ miles northeast of Santee. This dam was constructed in 1943 and has a capacity of 90,230 acre-feet of water. Studies conducted in 1981 found the dam was capable of resisting seismic damage under the regional seismic regime. The San Diego County Water Authority is proposing to raise San Vicente Dam by 54 feet to provide room to store another 52,100 acre-feet of water as part of the Emergency Water Storage Project. Modeling done as part of the project's Environmental Impact Report estimated that the downstream dam break flood zone would not change significantly with the expanded reservoir. The project may actually reduce the risk of dam failure as a result of the new dam structure, which will be attached to the downstream face of the existing dam.

Maps prepared in the 1970s showing areas of inundation for the three dams located upstream of the City of Santee have been reproduced on Figure 8-2, <u>Dam\_Break\_Inundation\_Areas</u>. The inundation maps for the El Capitan Dam and the San Vicente Dam were prepared in 1974 for the City of San Diego. The inundation map for the Chet Harrit Dam was prepared in approximately 1975 for the Helix Water District. Based on current knowledge, no hazardous conditions exist at any of the structures. The safety of these dams is reviewed annually by the California Department of Water Resources, Division of Dam Safety. In addition, the County of San Diego Office of Disaster Preparedness has prepared a report entitled "General Dam Evacuation Plan for San Diego County".

#### Summary of Needs to Address Flooding

The major waterways in Santee will continue to cause flooding and associated erosion and other effects, especially with worsening extreme precipitation events exacerbated by climate change (see Section 5.3, *Climate Adaptation Planning*, for further discussion of the impacts of climate change on extreme precipitation and floods). Some homes could be damaged by water runoff from a rupture of any of the seven water reservoirs in Santee and or three upstream dams. It is important that future planning takes into consideration the general direction of flow in the event of a rupture in any of the reservoirs and avoids the placement of buildings in those areas. The City should encourage Padre Dam to complete inundation studies for existing and planned reservoirs in Santee.

Since the impervious surfaces associated with urban development create more runoff than vegetated lands, it is important that future planning take into consideration the impacts of potential increased runoff. Any project proposed within a floodplain area is subject to site plan review. In addition, planning for flood control improvements for the San Diego River and other City waterways must be comprehensive and balanced with other goals, such as providing recreation and protecting valuable habitat and species. The City coordinates regularly with FEMA through the Flood Insurance Rate Map Program, which delineates special flood hazard areas and the risk premium zones in a community. These are used to determine flood insurance rates and premiums, serving as tools to understand and protect against flood risk.

The City's Engineering Department maintains flood zone and FEMA map information. The County's Fire Department, Flood Control District, and Department of Public Works are also responsible for flood protection in the County.

#### 4.2 <u>Geologic/Seismic Hazards Soil and Geologic Conditions</u>

The City of Santee lies near the junction of the a relatively narrow coastal plain and the Peninsular Mountain-Ranges geologic provinces of southwestern California. and Baja California. The eastern portion of the<del>The</del> coastal plain is in the west, south, and north portions of Santee and consist-is made up of a series of Tertiary-age formational sedimentary rocks that marine terraces, which are deeply incised by canyons and tributaries, including the channel of the San Diego River and Sycamore Creek, which bisects the City. The San Diego River generally bisects Santee from east to west. The drainage area of the San Diego River upstream of West Hills Parkway on the western edge of Santee is approximately 368 square miles. Downstream, the San Diego River flows through Mission Trails and Mission Valley in the City of San Diego and drains into the Pacific Ocean. Much of Santee is within the gentle gradient of the San Diego River Valley. Sycamore Creek is along the western boundary of the City and flows southward into Santee Lakes and the San Diego River. In the southeastern and eastern portions of Santee, the sedimentary rocks and alluvial valley province end abruptly in the foothills of the Peninsular Ranges exposing granitic rock. The formational units are covered by surficial soils. Much of Santee is located within the San Diego River Valley; however, the northern part of the City, much of which is undeveloped, is located on the highest of these old marine terraces. In the southeastern part of the City, the marine terrace and valley province ends abruptly in the foothills of the Peninsular Ranges.

#### Geologic Stratigraphy

According to the Geotechnical/Seismic Hazard Study (**Appendix C**), the The-geologic stratigraphy of Santee consists of several surface-surficial soil types and formational units. three geologic formations as shown on Figure 8-3, Geotechnical / Seismic Hazards Map. The surficial soil deposits consist of human-made soil (undocumented fill and- previously placed fill) and naturally occurring soil, (topsoil, colluvium, young alluvium/debris flows, landslide deposits, and old alluvial floodplain deposits). In general, naturally occurring surficial soils are found in drainage areas such as the San Diego River Valley and Sycamore Creek and generally overlying undisturbed formational materials.terrace deposits. Geologic formations include the Stadium Conglomerate and Friars Formation, and granitic rock associated with the Penisular Ranges.

Formational materials in Santee include sedimentary rock units of the Eocene-age Pomerado Conglomerate, Stadium Conglomerate and Friars Formation, and the hard rock units of the Mesozoicage (Cretaceous and Jurassic) granitic and volcanic rocks associated with the Peninsular Ranges. The claystone portions of the Friars Formation are typically weak, fractured, and prone to landsliding.

Each of the surficial soil types and formational units in Santee is described herein in order of increasing age.

# Undocumented Fill

In <u>many undeveloped and developed</u> areas of the <u>City of</u> Santee, fill soils presumed to be undocumented <u>exist and have been mapped in <u>certain site-specific</u> <u>numerous</u> geotechnical reports. An example of a<u>n</u>-larger undocumented fill deposit is <u>in located in</u> an undeveloped area</u>

north of the northern terminus of Strathmore Drive in the northwestern corner of Santee. These types of deposits typically contain a wide range of soil types including silt, sand, clay, and rock derived from the local geologic formations.

Undocumented fills typically are poorly compacted and often are underlain by potentially compressible topsoil or alluvium. Consequently, where these deposits are located in areas of proposed development, they require special evaluation and recommendations. Normally, the undocumented fill materials are removed, moisturized as necessary, and placed as compacted fill.

# Previously Placed Fill

The majority<u>Most</u> of the central and southern portions of the City of Santee <u>haveare been</u> developed. Some of the largest master developments include Black Horse Estates, Cajon Park, Carlton Country Club, Carlton Hills, Carlton Oaks, Castlerock, Dakota Ranch, Deer Park, Fanita Corona, Fanita Rancho, Fanita Terrace, Los Ranchos, Mission Creek, Mission Trials Vista, Mountain Meadow, Rancho Fanita, Riderwood – The Heights, Santana North, Shadow Hill Terrace, Silver Country Estates, Sycamore Hills, Santee Trolley Square Town Center, Vista Monte, Sky Ranch, Woodglen, and Woodside Industrial Park. Developments will typically include infrastructure improvements associated with roadways, parks, underground utilities, and pump stations that are provided for Santee. Other previously placed fill within City limits is associated with California Department of Transportation controlled roadways not under the purview of the City. The fill materials placed during development of these areas generally consist of silt and clayey sands and sandy clays with gravel and cobble mixtures.

Previously placed fill generally consists of materials that were properly placed and compacted using the testing and observation services of a geotechnical engineering consultant. The fill materials placed during development of these projects generally consist of silty and clayey sand and sandy clay with gravel and cobble mixtures. Prior to grading or constructing additional improvements in previously graded areas, specific geotechnical evaluations and<del>or</del> update reports should be performed to address the potential impacts to existing or proposed improvements underlain by these deposits. The existing fill materials should be tested to evaluate their suitability to support proposed structures and improvements.

# Topsoil

In the-undeveloped areas, <u>naturally developed</u> topsoils blankets <u>most of the-the majority of</u> the formational units and range in thickness from approximately 1 to 3 feet. The topsoil <u>iss are</u> generally characterized as <u>brown to dark brown</u>, silty/clayey, fine to medium sands and sandy clays. Topsoil <u>that overlies the Stadium Conglomerate at higher elevations are generally thinner</u> than overlying the Friars Formation and have a greater percentage of gravel and cobble clasts. Topsoil is typically considered compressible in its natural state and ordinarily requires remedial grading in areas planned to receive structural fill and/or settlement-sensitive structures. The clayey topsoil characteristically overlying sedimentary units has a "medium" to "high" expansion

potential (expansion index of 51 to 130) and, when present, commonly require remedial grading to help mitigate their impacts prior to construction operations. deposits typically are considered compressible in their natural state, and ordinarily require remedial grading in areas planned to receive structural fill and/or settlement sensitive structures. The clayey topsoils characteristically have a medium to high expansion potential, and when present at the ground surface, commonly require specialized foundations to mitigate their impacts.

#### Colluvium

Colluvial soils are relatively deep natural deposits of soils that have accumulated on the face and base of natural near the base of through the weathering and erosion of exposed materials at higher elevations that accumulate-slopes through erosion of upslope materials and from soil-creep processes. Colluvial deposits are encountered in the gentle, low lying, slope areas near alluvial drainages primarily overlying the Friars Formation; however, they also occur in areas underlain by Stadium Conglomerate and granitic rocks. These deposits generally possess medium to high expansion potential, are poorly consolidated, and often require remedial grading in areas of planned development. Colluvial deposits are typically thicker in the gentle, low-lying, bottom of slope areas near alluvial drainages. Figure 1 of the Geotechnical/Seismic Hazard Study (Appendix C) indicates areas of undifferentiated Quaternary-age young alluvium and colluvium designated as map symbol Qu in the southern portion of Santee. Other areas of unmapped colluvium are present near the base of natural sloping ground across Santee. Typically, these materials are deepest in areas underlain by the Friars Formation; however, they are also present, but typically thinner, in areas underlain by Stadium Conglomerate and granitic rock. Colluvial materials can also be present on landslide deposits, particularly in graben zones near the head or upper portions of the slides. The thickness of the colluvium is typically about 5 to 10 feet and locally can be thicker. These deposits generally possess "medium" to "high" expansion potential (expansion index of 51 to 130), are poorly consolidated, and often require remedial grading in areas of planned development.

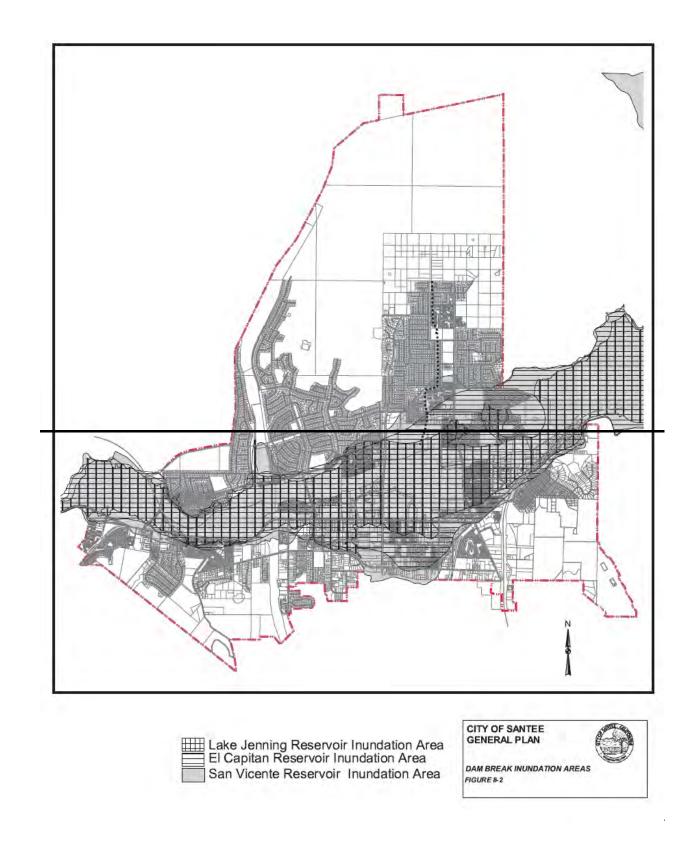
# Alluvium<u>and</u> /Debris Flows

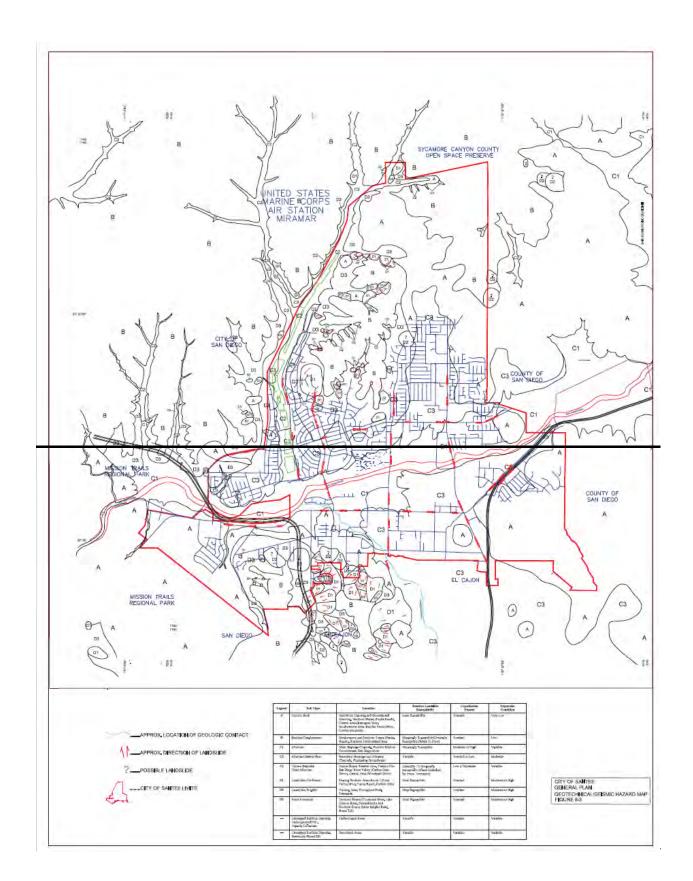
Holocene- to late Pleistocene-age young alluvium is typically present in drainage areas, such as the San Diego River channel, Sycamore Creek, and smaller natural tributary drainages. The San Diego River alluvium is relatively deep (locally up to 80 feet), and near the surface, it typically consists of clean, medium-grained sands that have historically been mined as a source of concrete sand. Alluvial soils cover a relatively large portion of Santee, while debris flows have limited exposure. Alluvial soils generally consist of relatively loose/soft, silty/clayey sands and sandy clays with little gravel and cobble and will be saturated below groundwater. However, larger size and higher cobbles and boulder contents are typical within the San Diego River drainage due to higher flows.

Debris flows are present on upper portions of steeper gradient drainages within Stadium Conglomerate and Friars Formation created by weathering, slope creep, and saturation of surface materials. Most of the historical debris flows occurred at higher elevations and are generally north of the San Diego River. Most of these debris flow deposits consist of silty/clayey, sandy gravel and cobble deposits. The alluvial and debris flow deposits are often poorly consolidated, compressible, and typically require remedial grading or special design considerations. Where development is planned in main drainage channels, such as the San Diego River floodplain, soil improvement techniques and structural reinforcement to remediate the effects of potential liquefaction may be necessary. Within secondary drainage areas, the compressible young alluvium is usually removed and replaced as properly compacted fill. Where groundwater exists within the upper approximately 50 feet, the young alluvium is typically considered to possess a potential for liquefaction and related geologic hazards.

These deposits consist of relatively loose/soft, silt/clayey sands and sandy clays, with varying amounts of gravel and cobble derived from the bedrock units.

Alluvial deposits typically occur in the drainage areas, such as the San Diego River channel, the valley bottoms, and lower portions of the valley slopes. The San Diego River alluvium is relatively deep and, in the near surface, typically consists of clean, medium-grained sands that are locally mined as a source of concrete sand. It appears that many of the debris flow deposits originated from higher elevations of the northern portion of the City along steep slopes within the Stadium Conglomerate, and followed pre-existing alluvial channels.





The alluvial and debris flow deposits are often poorly consolidated and compressible, and typically require remedial grading or special design considerations. Where development is planned in main drainage channels, such as the San Diego River floodplain, soil improvement techniques and structural reinforcement to remediate the effects of potential liquefaction may be necessary.

# Landslide Deposits

Several confirmed landslides and suspected ancient landslides have been identified during the Geotechnical/Seismic Hazard Study (Appendix C) and previous geotechnical investigations. The presence of inferred landslide deposits is based on topographic evaluation during field reconnaissance, interpretation of aerial photographs and topographic maps, and maps published by the CGS.

Numerous ancient landslides and several possible landslide features exist within the City. The presence of the inferred features on Figure 8-3 are based on topographic evaluation during field reconnaissance, interpretation of aerial photographs and topographic maps, and reports by the California Geological Survey.

Nearly all of <u>T</u>the landslides encountered <u>in Santee occur on gentle to moderate sloping ground</u> at the northern, undeveloped portion of the City occur along relatively gentle slopes within the <u>in</u> <u>the</u> Friars Formation and <u>generally</u> below an elevation of approximately <del>590</del>–<u>600</u> feet above <u>m</u>Hean <u>s</u>Eea <u>l</u>Eevel (<u>A</u>MSL). On the southern portion of the City, landslides <u>generally</u> occur <del>approximately</del> between elevations of 400 to 600 feet <del>above</del><u>A</u>MSL. <u>Characteristic</u><u>L</u><u>l</u>andslide</u> <u>morphology consist of a steep back-scarp</u>; <del>areas</del> are characterized by bulging, hummocky, <u>distorted</u> topography;<del>, and as well as</del> deflected drainages. Some landslide areas express a more subdued topography suggestive of <u>incipient or</u> older <u>eroded</u> landslide deposits.

The landslide deposits observed are characterized as deep-seated, relatively intact, block type movements or as shallow to deep-seated bedrock slides with a varying degree of slip plane development and slide mass disturbance. The thickness of landslide material is estimated to be approximately 45 to 50 feet; however, it can thicken toward the head scarp as much as 100 feet. The landslide debris varies from dense sandstone/claystone blocks to a variable mixture of intensely sheared and pulverized claystone breccia suspended in a stiff clay matrix. Highly disturbed cobble clay mixtures resembling debris flow materials have also been encountered and are known to exist within graben zones.

Most of the landslides appear to have occurred along inherently weak, previously sheared, lowangle, pre-existing bedding plane shears as part of a weak, thinly laminated claystone in the Friars Formation. This is suggested by the relatively uniform, near-horizontal slip surfaces typically observed along the base of the landslides, and because of the general correlation in exploratory borings at which bedding plane shears are present in the Friars Formation outside the limits of the landslides at the same elevation as the landslide basal shear zone. Further discussion of this correlation and an apparent regional zone of bedding plane shears in the Friars Formation are included in the *Geologic Structure* discussion below. In general, new developments should be planned to avoid or mitigate ancient landslide deposits, <u>where possible</u>. <u>Where Some</u> landslide <u>materials are present below proposed fill embankments or</u> <u>exposed in cut slopes or building pad areas, remedial grading id often required to properly buttress</u> the existing landslides or proposed slopes. Some landslides will require complete removal, while other landslides will only require partial removal of the loose and compressible portions to be replaced with new compacted fills. Localized areas of deeper removals may be required in looser graben zones and/or more pulverized portions of the landslides. Still, other landslides will require only minor processing of the surficial materials prior to placing fill embankments. Slope stability analyses of landslide materials are typically included in geotechnical reports.<del>s</del> will require complete removal, while other landslides will only require partial.

Cut slopes exposing landslide materials or basal slip planes or areas where basal slip surfaces occur near finish grade typically require stabilization by construction of stability fills, drained earthen buttresses, shear keys, shear pins, or other means. Slope stability is addressed in the Ancient Landslides/Slope Stability discussion below.

# Terrace Deposits/Older Alluvium

Older alluvial floodplain deposits of Pleistocene-age exist within former floodplain areas and are exposed at the surface between the younger alluvial deposits and formational sedimentary or rock units. The older alluvium was deposited during previous geologic stream flow events with the soils typically consolidated by burial, cemented, and subsequently eroded to current valley floor elevations. These deposits are generally in the flatter portions of valleys and consist of slightly cemented, clayey sands with little gravel and cobble. These materials are generally dense to very dense and do not possess a potential for liquefaction or significant settlement.

Terrace deposits/older alluvium are found within a limited area between the alluvial deposits and either the Friars Formation or granitic rock. These deposits are relatively limited in extent and consist of locally cemented gravely sands and/or clayey gravel/cobble conglomerate.

# Stadium Conglomerate and Pomerado Conglomerate

The Stadium Conglomerate (middle to late Eocene age) occurs throughout the southwestern, <u>central</u>, and northern parts of <u>Santee.the City underlying the previously discussed high terrace and</u> overlying both the granitic rocks and the Friars Formation. This deposit generally consists of dense sandy to clayey, gravel and cobble conglomerate with interbedded silt sands. The Pomerado Conglomerate has a limited extent and is in the northern portion of Santee. These geologic units have similar characteristics and are difficult to distinguish between each other unless separated by the Mission Valley Formation. However, the Mission Valley Formation is not present within the City limits, and therefore, the Pomerado Conglomerate conformably overlies the Stadium Conglomerate above an elevation of roughly 1,000 feet AMSL. The Stadium Conglomerate conformably overlies the Friars Formation at elevations ranging from approximately 40 feet when

eroded to an estimated 375 feet on less eroded ridgelines. Geomorphically, the Stadium Conglomerate forms characteristic resistant, dissected ridges in the upper elevations of Santee. Localized, steeply eroded scars occur in this formation where debris flows originated at the head of tributary canyons.

Landslides occurring entirely within the Stadium Conglomerate are uncommon; however, this unit is often involved in sliding where it overlies the Friars Formation. Debris flows or mudflows are relatively common and are discussed in more detail under Geologic Hazards.

The Stadium Conglomerate forms characteristic resistant dissected ridges within the upper elevations of the City. Localized, steeply eroded scars occur within this formation where debris flows originated at the head of tributary canyons.

The Stadium Conglomerate generally consists of dense to very dense, slightly cemented, sandy to clayey, gravel and cobble conglomerate with interbedded silty sandstone. The cobble content of the Stadium Conglomerate can sometimes be up to about 60 percent with diameters up to 24 inches. The Stadium Conglomerate is regionally part of the upper Eocene Poway Geologic Group that also includes the Mission Valley Formation and Pomerado Conglomerate.

Moderately to very heavy to heavy excavation effort should be anticipated during grading and trenching – within the Stadium Conglomerate due its cementation and high cobble size and percentage and to randomly occurring highly cemented zones. Cut or fill slopes composed of the Stadium Conglomerate generally possess adequate good slope stability characteristics.

#### Friars Formation

The Friars Formation was deposited on an irregular erosion surface formed on the crystalline basement rock of the Southern California Batholith. The Friars Formation may be observed overlying granitic rocks in the southern and north-central parts of Santee. This unit generally occupies the gentler, lower portions of valley slopes below elevations ranging from 600 to 700 feet AMSL depending on the locality. The age of the Friars Formation is middle to late Eocene-age based on vertebrate fossil evidence. In the southwestern portion of Santee, this unit is exposed between Cuyamaca Street and the eastern base of Cowles Mountain and throughout the northern part of Santee except the most northeasterly section.

Numerous large, ancient landslides occur in the Friars Formation, discussed in detail in the Ancient Landslides/Slope Stability discussion below. The Friars Formation consists of relatively flat-lying lagoonal and alluvial claystone, sandstone, and conglomerate units. Specifically, weak, waxy claystone, and thinly laminated siltstone/claystone, sandstone, and conglomerate occur in the northern undeveloped portion of the City below an approximate elevation of 610 to 630 feet AMSL. Translational landslides are common throughout areas underlain by this geologic formation. Most of these landslides are remnants of wetter climatic conditions that occurred in late Pleistocene to early Holocene time (last 30,000 years).

As seen in the undeveloped area of Santee, the Friars Formation comprises a relatively continuous sequence of characteristic subunits consisting of thinly bedded sandstone/siltstone, underlain by relatively thin lenses of gravel/cobble conglomerate, which are in turn underlain by massive sandstone. A generally weak, fractured, waxy claystone unit containing abundant bedding plane shear zones underlies this sequence. It is likely the inherently weak nature of this basal claystone unit in combination with the presence of pre-existing shear zones is the causation of landsliding and landslide-prone hillsides.

Except for the sandstone and portions of the conglomeratic facies, soils derived from the Friars Formation typically possesses a "medium" to "high" expansion potential (expansion index of 51 to 130) and relatively low shear strength. Portions of the Friars Formation possess a "very high" expansion potential (expansion index of greater than 130) and require specialized grading and foundation recommendations. Where exposed in cut slopes, the claystone facies of the Friars Formation can be prone to surficial instability and often requires stabilization measures. Bedrock creep zones and areas of deeply weathered material also exist in the Friars Formation. During development, where weak, waxy, or highly weathered portions of this unit are exposed in embankments and/or "toe key" areas of proposed fill slopes, deeper remedial grading is typically required to provide a competent surface to support embankments.

Bedding plane shears are relatively common in the Friars Formation and are significant in that they represent inherent planes of weakness within the formation. Bedding plane shears have recently also been called bedding parallel shears. As the term implies, these shear zones are typically parallel to the bedding and are characterized by thin seams of very soft, wet, remolded plastic clay. During development, where the shears are anticipated to "daylight" in cut slopes, stabilization measures such as drained stability fills, buttresses, and/or shear pins are necessary.

Friars Formation deposits are found overlying the granite rocks in the southern and north-central parts of the City. This formation is exposed between Cuyamaca Street and the eastern foot of Cowles Mountain in the southwestern portion of the City, and throughout the northern part of the City, with the exception of the northeastern area of Fanita Ranch.

Numerous large, ancient landslides occur within the Friars Formation. Soils derived from the Friars Formation typically possess a medium to high expansion potential and low shear strength. Where exposed in cut slopes, these soils can be prone to surficial instability, and often require stabilization measures. Bedding-plane shears are relatively common within the Friars Formation and are significant in that they represent inherent planes of weakness within the formation. During development, where the shears are anticipated to "daylight" in cut slopes, stabilization measures such as drained stability fills or buttresses are necessary.

# Granitic Rock and Santiago Peak Volcanics

<u>Cretaceous-age granitic rocks have a variety of compositions based on the percentage of quartz, plagioclase, and mafic mineralogy. Granitic rock also has a range of weathering and can vary from highly weathered decomposed granitic soils to hard fresh rock. Granitic rock can be classified as quartz-diorite, tonalite, and granodiorite with their finer-grained equivalents occurring in some</u>

areas. The granitic rocks that are deeply weathered can form extensive deposits of residuum or decomposed granitic rock that are locally mined for decomposed granite soils. The less weathered, more resistant rock has been used in the past as quarry stone and can be observed as large, rounded boulders on the hills east of Gillespie Field, near Carlton Oaks Golf Course, on Cowles Mountain, and in the eastern part of Santee. These hard rock units would require blasting prior to excavation and would require specialized grading techniques.

Santiago Peak Volcanic rock, also called Mesozoic Metavolcanic rock, from the lower Cretaceous and upper Jurassic Geologic Period is exposed in limited areas on the southwestern corner and in the eastern portion of Santee.

The high marine terrace which forms the surface of the northern parts of the City above Carlton Hills is underlain by Friars Formation and Stadium Conglomerate. Both formations overlie granite rocks. The less weathered, more resistant rock has been utilized in the past as quarry stone and can be observed as large rounded boulders on the hills east of Gillespie Field, near Carlton Oaks Golf Course, on Cowles Mountain and in the eastern part of the City.

# 4.3 Geologic <u>Structure</u> Hazards

Bedding in the Eocene-age sediments is nearly horizontal or gently dipping. In general, strata in the Friars Formation and Stadium Conglomerate units dip very gently at inclinations of less than 5 degrees to the west and southwest. In the northern, undeveloped portion of Santee, the Friars Formation/Stadium Conglomerate contact dips generally south—southwest and varies in elevation from approximately 610 to 630 feet AMSL. Locally, bedding dip directions may vary or even reverse, depending on configuration of ancient, buried topography or other geologic structures. High-angle depositional contacts are also common locally between the sedimentary formations and underlying granitic rocks.

A high percentage of bedding plane shears and weak claystone materials were found to occur within this relatively narrow elevation range. A similar, less prominent grouping of shear zones was observed at other elevations in the Friars Formation. The elevations at which bedding plane shears occur in bedrock material and the elevation of basal slip surfaces in landslide areas are generally similar. This correlation has been observed on other projects in the county where the Friars Formation is present.

Regionally, the marine terraces in the coastal plain west of the Peninsular Ranges are underlain by flat-lying sediments with a few notable exceptions occurring near the coast. In the City of San Diego west of Santee, the terraces are broken in many areas by Tertiary and Pleistocene-age active and potentially active faults. However, in Santee, no known active or potentially active faults (movement within the last 1.8 million years) that cut Pleistocene-aged materials or any known major faults that cut Eocene or Cretaceous-age rocks occur.

Bedding plane shears, or more recently called "bedding parallel shears" (a term applied to minor shears within parallel bedding surfaces), are common in the Friars Formation and are believed to be a significant factor in landsliding processes both in the geologic past and at present. These features do not represent a seismic hazard; however, they are a significant geotechnical

consideration in the analysis of slope and landslide stability (see Ancient Landslides/Slope Stability discussion below).

#### Ancient Landslides<u>/Slope Stability</u>

A landslide is defined as <u>any a</u> mass movement of earth occurring below the limits of the soil mantle, caused by shear failure along one or several surfaces. <u>Ancient H</u>andslides <u>have been dated</u> by radiocarbon methods as being 8 to 30 thousand years old in the Southern California area by Stout (1969) and others. They are believed to have occurred primarily as a response of weak claystones exposed to intense rainfall causing high water table conditions in slopes during late Pleistocene and early Holocene times. Landslides occur throughout the area underlain by the Friars Formation. The approximate locations of known or suspected landslides are shown on the <u>Geotechnical/Seismic Hazard Map</u>, **Figure 8-3**. The largest of the ancient landslides are typically 1,000 to 1,500 feet in width and length (as in Carlton Hills) and extend to depths of 20 to 100 feet below the ground surface. Landslide complexes or clusters of more than one individual slide are also common in the Fanita Ranch area.

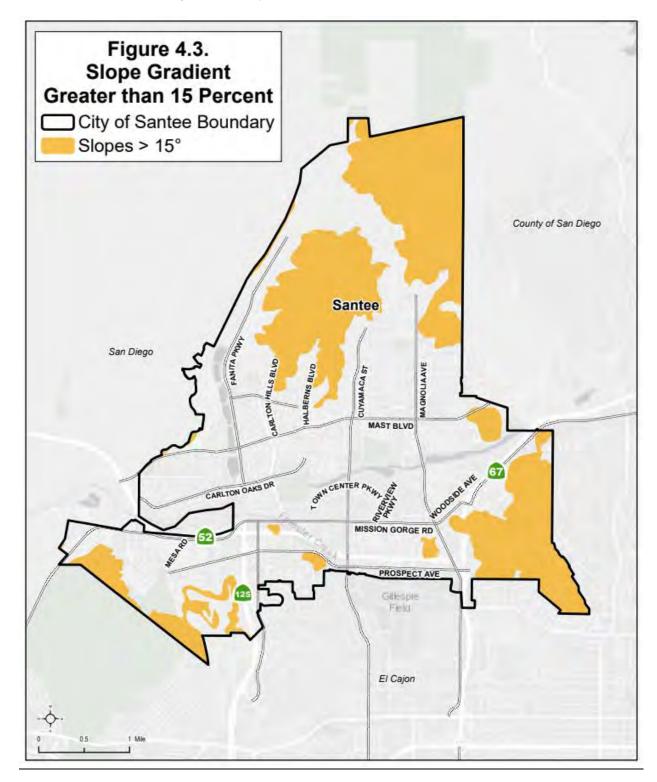
Although the California Department of Conservation has not evaluated the Santee area for landslides, assessing slope gradient can help identify areas that may be susceptible to landslide risk. Areas with slopes that exceed 15 percent are highly susceptible to erosion and gully formation caused by running water. Without plant cover, these areas pose a risk for landslides. **Figure 4.3**, *Slope Gradient Greater than 15 Percent*, locates areas in Santee that have slopes of greater than 15 percent.

The anticipation of ancient landslides and the creation of new landslides have been most commonly caused by grading activities, a rise in groundwater level in a landslide area, areas containing bedding plane shears, or seismic activity. Identification of landslide-prone areas through detailed geotechnical studies is of primary importance in predicting future slope failure and landslides. The most common method of stabilizing landslides and landslide-prone areas is through remedial grading or buttressing and installation of subdrains and drainage panels to reduce the potential for buildup of excessive hydrostatic pressures. Other development options may include structural setbacks or stabilizing shear pins.

Landslide areas in Santee can usually be mitigated using generally accepted remedial grading techniques and buttresses. These techniques may consist of partial or complete removal and compaction of the deposits or stabilization with earthen buttresses, shear keys, stability fills, or other means, such as shear pins or retaining structures. Similar remedial grading procedures could be required where landslides are not present but where weak claystone beds, bedding plane shears, or thick surficial soil deposits are encountered. Such areas should be generally limited to where the Friars Formation will be exposed in cut slopes.

Reactivation of ed ancient landslides have been responsible for either partial or complete loss of 20 to 30 homes in the Santee area. <u>Geotehenical Geoteehnical firms that possess experience in landslide evaluation and stabilization should evaluate the potential for additional loss in areas</u>

already developed when building additions are proposed. The reactivation of ancient landslides, and the creation of new landslides, has been most commonly caused by grading activities or a rise in groundwater level in a slide area.





## Debris Flow Deposits

A debris flow is a rapid downslide movement of saturated soil and near surface rock debris. <u>Numerous debris flows or mudflows have occurred in the Stadium Conglomerate</u>. The locations of some of the larger flows identified are within city limits shown on Figure 8 3. The debris flows or mudflows are initiated near the crests of very steep ridges underlain by Stadium Conglomerate and <u>likely</u> occur as a result of high intensity rainfall. As the near surface soils become saturated and pore water pressure increases, the soils lose strength and fail relatively rapidly to form a river of mud and rock with considerable destructive power. These deposits consist of the accumulation of topsoil, colluvium, and debris derived from formational "parent material" near the base of moderate to steep slopes caused by rapid flow of saturated near-surface soils. While the cause of debris flows are generally well understood, specific details concerning these events make them difficult to predict. High rainfall, loss of vegetation cover through fire or other causes, and the steepness of the slope appear to be the main causative factors.

The physical appearance of these features indicates that they are relatively young compared to the ancient landslides. Most appear to be only a few hundred years old or less and are easily eroded. While the causes of debris flows are generally well understood, specific details concerning these events make them difficult to predict. Several well-formed debris flows can be observed on the northern side of SR-52 west of Santee. High rainfall, loss of vegetation cover through fire or other causes, and the steepness of the slope are the main causative factors of debris flows.

The primary difference between ancient landslides and debris flows, in terms of the potential for activation, is that debris flows do not possess a basal slip surface. Thus, they are much less likely than ancient landslides to become reactivated by grading. In areas of proposed development, mitigation of debris flow deposits is typically similar to that for alluvium and colluvium, and the presence of these materials is not likely to significantly affect development unless directed toward the boundary of the site.

#### Ground Water and Seepage

Groundwater and seepage conditions are significant factors in assessing engineering and geologic hazards. Groundwater is typically found in the deep alluvial drainage areas (such as the San Diego River and Sycamore Creek)-channel, but may also be found in shallower drainages as a result of storm-water infiltration (such as the Santee Recreatio Lakes area). Because of fluctuating water levels in a given area, as a result of seasonal variations in precipitation and surface water runoff, the prediction of groundwater occurrence is difficult. Seepage is typically the result of a ground water table or perched water, either seasonal or permanent, being exposed at the ground surface. Ground water and seepage are major contributing factors to landslides in San Diego County, especially in the reactivation of old landslides.

Seepage is typically the result of a groundwater table or perched water, either seasonal or permanent, being exposed. However, some human-made seepage conditions can develop in rural areas downslope of septic systems. Seepage conditions in slopes, either graded or natural, are usually the result of water flowing at the contact between materials of widely different

permeabilities with the water perched on an underlying, less permeable layer. When the water flow encounters a slope face, it is manifested as seepage.

In addition to the nuisance caused by minor seepage from new slopes in residential areas, groundwater and seepage caused by excess irrigation are a major contributing factor to landsliding in the county, especially in the reactivation of old landslides. As pore pressures rise along an old slip surface as a result of rainfall or heavy landscape irrigation, the factor of safety against sliding will decrease.

The potential for groundwater and seepage conditions should be addressed in geotechnical reports submitted to the City for new developments and improvements. Procedures for water-related mitigation, such as canyon subdrains and proper grading procedures, should also be addressed. Groundwater conditions typically increase as a result of development primarily due to increased irrigation and areas of impervious surfaces, which result in surface water runoff rather than groundwater infiltration.

Perched groundwater or seepage has been encountered in alluvial drainages, hillside areas, and landslide zones during previous investigations in Santee. The groundwater/seepage in drainage courses is presumed to be associated with surface runoff of rainwater along the natural watershed. Subdrain systems are often necessary in areas of proposed development to intercept and convey seepage migrating along impervious strata. In particular, the main drainages, stability/buttress fill areas, and possibly where impervious layers daylight near the ultimate graded surface typically require subdrains. Specific subdrain locations and design details should be provided with the detailed grading plans for the site. Seepage conditions also occur in bedrock materials and at the base of landslide areas perched on relatively impervious strata in the Friars Formation and ancient landslide deposits. Additionally, relatively minor natural surface seeps were observed in the northern portion of Santee at the Friars Formation/Stadium Conglomerate contact. The existing perched groundwater levels in alluvial areas can be expected to fluctuate seasonally and may affect remedial grading.

#### Seismic Hazards

<u>This discussion presents seismic hazards anticipated to affect Santee.</u> Seismic hazards are <del>threats to life and property</del> caused by earthquake-induced ground shaking-<u>specifically</u>, liquefaction potential and seismically induced settlement and landsliding (refer to <u>Ancient Landslides/Slope</u> <u>Stability</u> discussion above for description of landslide-prone areas of Santee). While there are no active or potentially active faults are known to occur within or adjacent to the City, Santee is similar to other areas in California in that it is subject to periodic seismic shaking due to earthquakes along remote or regional active faults. An active fault is defined by the California Geological Survey as a fault showing evidence for activity within the last 11,000 years. A discussion of local and regional faulting and its impact on Santee is also presented.

Seismic hazards pertain to threats to life and property caused by earthquake-induced ground shaking. Based on current maps prepared by the California Department of Conservation and local geology maps, active or potentially active faults are not known to occur in or adjacent to Santee (Figure 4.4, Seismic and Geologic Hazards). However, as with all of California, Santee is subject to periodic seismic shaking due to earthquakes along remote or regional active faults. A review of geologic literature indicates that no known active or potentially active faults cross Santee. An active fault is defined by the CGS as a fault showing evidence for activity within the last 11,700 years. The Rose Canyon/Newport Inglewood Fault Zone, approximately 10 miles west of the City, is the closest known active fault. The CGS has included portions of this Fault Zone within the Alquist-Priolo Earthquake Fault Zone. Currently, restrictions on development due to faulting (i.e., fault setback zones) related to the State of California requirements are not present in the City.

Considerations important in seismic design include the frequency and duration of motion and the soil conditions underlying the site. Seismic design of structures should be evaluated in accordance with the most recent applicable California Building Code (CBC) guidelines currently adopted by the local agency.

The Rose Canyon Fault Zone, located approximately 10 miles west of the City of Santee, is the closest known active fault. Earthquakes that might occur on the Rose Canyon Fault Zone or other faults within the southern California and northern Baja California area are potential generators of significant ground motion in the City. The Rose Canyon Fault Zone is the dominant source of potential ground motion in the city. Seismic parameters for the Rose Canyon Fault Zone include an estimated maximum earthquake magnitude of 6.9.

The seismic risk within the City is not considered significantly greater than that of the surrounding municipalities and the San Diego County area in general. Since no Alquist Priolo Earthquake Fault Zones exist within the City of Santee, there are no restrictions on development related to the Alquist Priolo requirements.

## Faults in Southern California

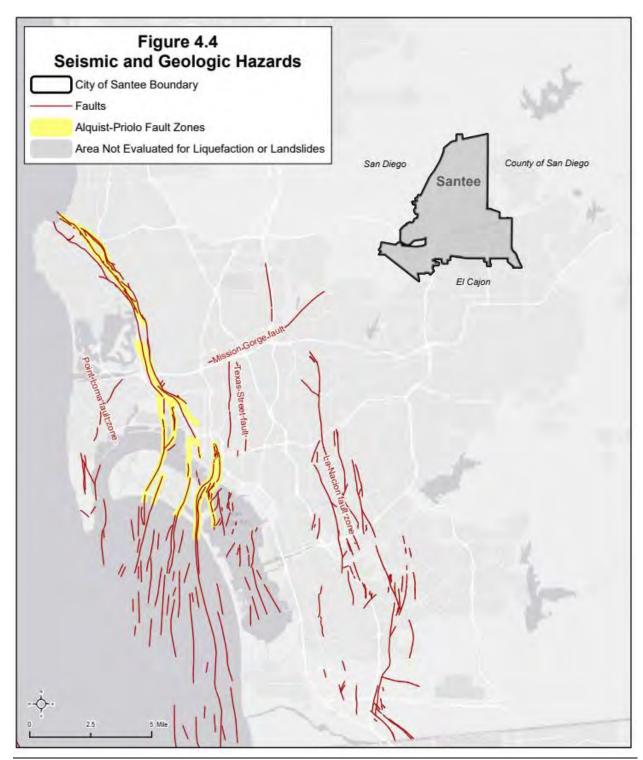
The County of San Diego and Southern California region are seismically active. **Figure 4.4** demonstrates that, although no Alquist-Priolo Fault Zones are within the City boundary, fault zones are in the greater San Diego County area. Notably, the Rose Canyon extension of the Newport Inglewood Fault Zone and the Mission Gorge Fault and La Nacion Fault Zone occur southwest of Santee.

Although no fault zones are within the City boundary, Santee could experience various levels of ground shaking as the result of an earthquake on a nearby fault system. Ground shaking is the motion felt on Earth's surface caused by seismic waves from an earthquake. It is the primary cause of earthquake damage. The strength of ground shaking depends on the magnitude of the earthquake, type of fault, and distance from the epicenter. Buildings on poorly consolidated and thick soils will typically see more damage than buildings on consolidated soils and bedrock. The level of potential ground shaking that could occur in Santee is depicted on **Figure 4.5**, *Earthquake Shaking Potential based on the State Probabilistic Seismic Hazard Map*.

Overall, the earthquake shaking potential within the City boundary is low. The northern, southwestern, and southeastern portions of Santee may experience the lowest ground shaking potential, as indicated by the darker shades of green, while the middle-central portion of Santee and area along Fanita Parkway may experience low to low-moderate shaking potential as indicated by the yellow-green color. Ground shaking potential is analyzed using the State Probabilistic Earthquake Hazard Map. Earthquake probabilities are calculated by projecting earthquake rates

based on earthquake history and fault slip rates. The result is expressed as the probability that an earthquake of a specified magnitude will occur on a fault or within an area.

Figure 4.4. Seismic and Geologic Hazards



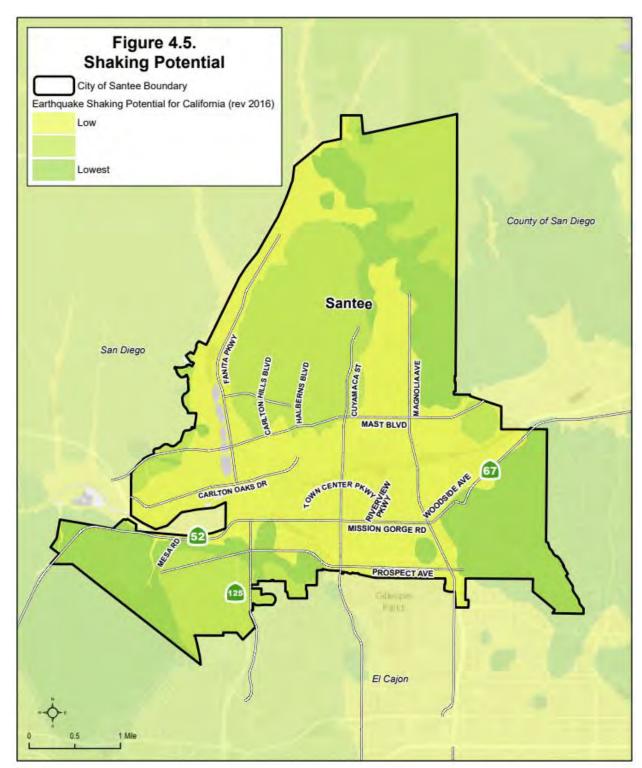


Figure 4.5. Earthquake Shaking Potential based on the State Probabilistic Seismic Hazard Map

## Other Geologic and Seismic-Related Hazards

#### Soil Liquefaction

Liquefaction typically occurs when a site is in a zone with seismic activity, on-site soils are cohesionless or silt/clay with low plasticity, groundwater is encountered within 50 feet of the surface, and soil densities are less than about 70 percent of the maximum dry densities. If these four criteria are met, a seismic event could result in a rapid pore water pressure increase from the earthquake-generated ground accelerations.

Although the California Department of Conservation did not identify liquefaction potential in Santee, the soil deposits that may be susceptible to liquefaction are the young alluvial soils found in the San Diego River and its deeper tributary channels, such as Sycamore Creek, due to the level of groundwater and soil densities in these areas.

<u>Although the major deposits of alluvial soils maybe</u> Within the City of Santee, the soil deposits that may be susceptible to liquefaction, some areas may have a water table sufficiently deep or may have particular soil conditions that result in a very low potential for liquefaction based on the anticipated maximum intensity of shaking for the area. are the alluvial soils found in the San Diego River and its deeper tributary channels. The general extent of the liquefaction-susceptible materials is shown on Figure 8-3. Although all major deposits of alluvial soils have been shown on Figure 8-3 as being susceptible to liquefaction, some areas may have a water table sufficiently deep or may have particular soil conditions that may result in a very low potential for liquefaction. In general, for deposits with a water table below a depth of 50 feet, a seismic event would have to be especially strong for liquefaction to occur, and-tTherefore, these deeper-deposits will have a low potential for liquefaction as a result of the maximum <u>events anticipated</u>. expected seismic events. The evaluation of liquefaction should be performed on a project-specific basis by the geotechnical engineer of record.

Liquefaction-related distress could range from small, localized areas, wherein specially designed structures may experience damage, to liquefaction covering a large area, resulting in lateral movement of the near-surface deposits soils and subsequent heavy damage to any affected structures. The potential risk to a structure should be evaluated whenever development is proposed in a liquefaction susceptible area. Liquefaction studies should conform to the recommendations of the 2008 CGS Special Publication 117A titled Guidelines for Evaluating and Mitigating Seismic Hazards in California or other approved publications.

Sand boils occur where liquefiable soil is extruded upward through the soil deposit to the ground surface. Providing an increase in overburden pressure and a compacted fill mat can mitigate surface manifestation. Proposed projects that possess a potential for liquefaction should also include an evaluation of the likelihood of sand boils.

Lateral spreading occurs when liquefiable soil is in the immediate vicinity of a free face, such as a slope. Factors controlling lateral displacement include earthquake magnitude, distance from the earthquake epicenter, thickness of liquefiable soil layer, grain size characteristics, fines content of

the soil, and standard penetration test blow counts. Lateral spreading should be evaluated on projects where liquefaction potential exists (Appendix C).

The anticipation of potential hazards due to liquefaction can be accomplished by the densification or removal of the potentially liquefiable soil or the use of foundation systems that still provide acceptable structural support should liquefaction occur. Soil densification can be accomplished by compaction grouting, vibrocompaction, soil mixing, and deep dynamic compaction (among others). Soil densification is generally used to increase density and provide liquefaction mitigation of sensitive soil to relatively shallow depths over large areas. Deep foundation systems may be used to transmit structural loads to bearing depths below the liquefiable zones and may consist of driven piles or drilled piles. Deep foundations are designed to mitigate damage to the structures supported on the piles; however, they do not generally reduce the potential for damage to underground utilities and peripheral site improvements. The effects of differential settlement between rigid structures and attached settlement-sensitive surface improvements can be mitigated by designing the utilities to accommodate differential movement at the connections.

#### Seismically Induced Settlement

Seismically induced <u>S</u>settlement <u>due to seismic shaking can occur on sites if</u> is very closely related toliquefaction <u>potential exists or not (e.g., loose sands)</u>. in that loose sands and silts below the water table may tend to settle as the result of ground shaking. If the soil is loose, the settlement can be quite large, as much as 20 percent of the affected thickness of the deposit. The soils most <u>As with the susceptibility to liquefaction</u>, the soils most <u>susceptible</u> to seismically induced settlement <u>in the Santee area</u> are the loose alluvial soils of the San Diego River and its tributaries. Site-specific studies should be performed in these areas to evaluate the effect of anticipated maximum seismic events.

#### Seismically Induced Landslides and Rock Falls

Seismically induced landslides and rock falls are common in areas of high seismicity near the earthquake source. <u>Over 11,000 such landslides occurred during the 1994 Northridge earthquake and mostly occurred in the mountains surrounding the Santa Clara River Valley. Seismically induced landslide and rock fall studies should be performed in accordance with current and applicable design standards, such as the CGS 2008 Guidelines for Evaluating and Mitigating Seismic Hazards in California. Since Santee is located far from any major active faults, the potential for landslides caused by earthquakes is considered low.</u>

#### Tsunamis and Seiches

A tsunami is a series of long period waves generated in the ocean by a sudden displacement of large volumes of water. Causes of tsunamis include underwater earthquakes, volcanic eruptions, or offshore slope failures. Wave heights and runup elevations from tsunamis along the San Diego coast have historically fallen within the normal range of the tides. Santee is not included in a high-risk tsunami hazard area due to the elevation and distance from the Pacific Ocean; therefore, tsunamis and seiches are not considered hazards of concern. A seiche is a run-up of water within a lake or embayment triggered by fault- or landslide-induced ground displacement. Seiches may

be a hazard when adjacent to the bodies of water within the City limits. Site-specific evaluations and discussions would be required for proposed site developments adjacent to the inland bodies of water.

#### <u>Subsidence</u>

Subsidence is the gradual or sudden sinking of the ground surface. According to the County's 2023 MJHMP, subsidence often occurs when large amounts of groundwater have been withdrawn from certain types of fine-grained sediments. However, the soils in the county are largely granitic; therefore, it presents a minor threat to limited parts of the county. There is no historical record of this hazard in the region, and this hazard was excluded from further analysis in the 2023 MJHMP.

#### Surface Rupture

Surface rupture is a break in the ground's surface and associated deformation resulting from the movement of a fault. Since there are not any faults in Santee, surface rupture is not anticipated to be a hazard. Santee's earthquake and ground shaking potential comes from nearby faults outside the City limits.

#### Summary of Needs to Address Geologic/Seismic Hazards

While the certainty of occurrence, timing, and degree of significance of geologic and/or seismic hazards cannot be accurately predicted, it is possible to take appropriate actions that may minimize the loss of life and destruction of property in Santee caused by geologic or seismic hazards.

The City shall require that potential geologic hazards be investigated and evaluated at the environmental review stage prior to project approval. Such investigations shall include those identified in Table A-1, Determination of Geotechnical Studies Required, of the Geotechnical/Seismic Hazard Study (Appendix C). The City may request additional studies depending on the project location, project type, and possible updated information.

The level of geologic risk or hazard in a particular area and the basis for design considerations regarding types of structures and proposed location shall consider the following factors:

- The type and/or function of a structure.
- The presence of geological hazards at the proposed site.

# 4.<u>34 Urban/Wildland Fire Hazards</u>

<u>California's increasing population and expansion of development into previously undeveloped</u> <u>areas is creating more wildland-urban interface (WUI) with a corresponding risk of economic loss</u> <u>caused by wildland fire. A "wildland fire" is defined as a fire occurring in a suburban or rural area</u> <u>that contains uncultivated lands, timber, range, watershed, brush, or grasslands. This includes</u> <u>areas where developed lands are adjacent to undeveloped, such as in Santee.</u> Santee's location in Southern California, surrounded by <u>large areas of vegetated land</u>, <del>significant vacant land,</del> makes it a medium fire hazard area. The prevalence of brush-covered hillsides, many of which are not easily accessible, add to <del>the City's Santee's</del> fire hazards. The most common type of <u>home</u> fires involve <u>heating equipment that has been improperly</u> <u>designed, incorrectly installed, poorly maintained, or misused.</u> is a "common combustible" fire, which starts with common materials such as wood, cloth, furniture, brush, etc. <u>This equipment</u> includes wood stoves, fireplaces, chimneys, portable heaters, and other space heaters. Roughly 80 percent of the fires in Santee are in single-family residences.

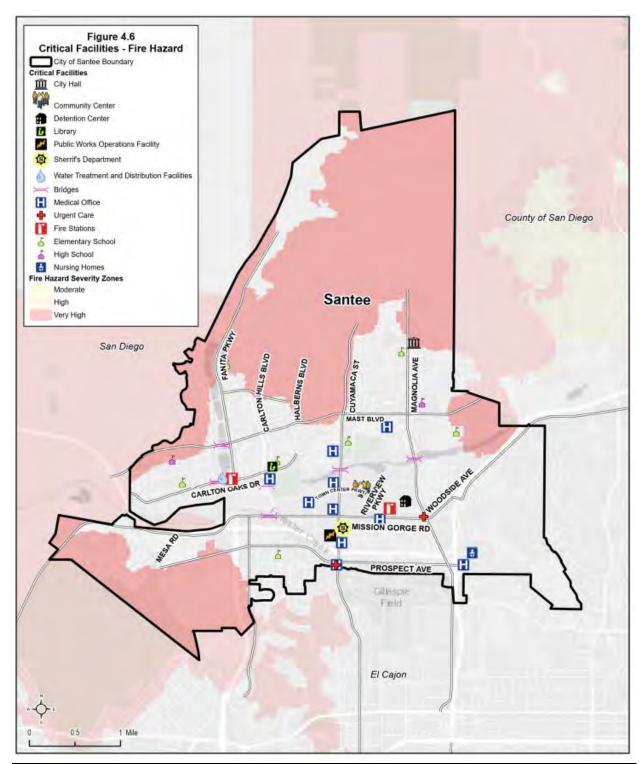
A significant fire, one that burns a minimum of 500 acres and requires the heavy use of mutual aid resources, occurs in Santee on a periodic basis. <u>The 2023 Community Risk Assessment Long-Range</u> <u>Master Plan states that the southwestern, northern, and eastern areas of the City pose the greatest risk from a wildfire.</u> The Fanita Ranch and Rattlesnake Mountain areas <u>of Santee</u>, both of which represent inaccessible, elevated, brush-covered hillsides, have a higher<u></u> than <u>-</u>average proportion of the fires<u>-in Santee</u>. <u>Since 1950, 13 wildfires have occurred in Santee (Table 4.3, *Historic Wildfires within the City of Santee [1950–2023]*).</u>

<u>Fire Name</u>	<u>Start Date</u>	<u>Size (acres)</u>	
Quarry Fire	October 1950	<u>281</u>	
Carlton Hills Fire	July 1966	<u>329</u>	
No Name	<u>1974</u>	<u>155</u>	
Assist #59	<u>June 1981</u>	7,311	
Assist #72	July 1981	<u>696</u>	
Outside Origin #4	<u>1981</u>	<u>56</u>	
Outside Origin #1	<u>March 1984</u>	<u>122</u>	
Assist #21	June 1984	<u>62</u>	
Assist #38	<u>April 1987</u>	<u>380</u>	
Assist #78	September 1988	<u>935</u>	
Assist #59/Magnolia	November 1989	310	
Rocoso Fire	January 1994	3,218	
<u>Cedar Fire</u>	October 2003	<u>280,278</u>	

In accordance with Gov. Code, Section 65302(g), this Safety Element update includes the evaluation of risk of fire for land classified as SRA and land classified as Very High FHSZs. SRAs are areas where the state has financial responsibility for fire protection. An FHSZ is an identified fire hazard area based on the physical conditions that create a likelihood and expected fire behavior over a 30-to-50-year period without mitigation measures, such as fuel reduction. These zones are based on factors such as fuel, slope, and fire weather.

The location of SRAs and FHSZs are identified using the California Department of Forestry and Fire Protection's (CAL FIRE's) Fire and Resources Assessment Program (FRAP). According to FRAP data, no SRAs are within the City boundary; therefore, the City has sole local financial responsibility for fire protection. There are, however, Very High FHSZs within the City boundary (**Figure 4.6, Fire Hazard Map**). The identification of FHSZs is used to implement WUI building standards for new construction, real estate disclosure at time of sale, 100-foot defensible space clearance requirements around buildings, and property development standards, such as road widths, water supply, and signage. Areas identified as a Very High FHSZs are primarily in the northern section of Santee. Much of the FHSZ covers undeveloped land. However, the zone also covers land along the western and eastern borders. **Figure 4.6** identifies Santee's critical facilities (e.g., City operations, fire stations, police departments, schools, medical facilities, utilities) in the Moderate, High, and Very High FHSZs.





#### Fire and Life Safety Services and Regulations

The Santee Fire Department provides the community with fire and life safety education, <u>fire</u> inspection and prevention services, code enforcement, <u>vegetation management</u>, <u>emergency</u> <u>medical services</u>, and trauma support. and by preparing for, responding to, resolving and recovering from emergencies. The department is also the City's lead for emergency preparedness, management, and response to earthquakes, floods, explosion, fires, hazardous materials, rescue and medical problems in <u>Santeethe City</u>. To plan for long-term fire risks to certain demographics, physical assets, structures, and critical infrastructure in the community, the <u>Santee Fire Department updates its Community Risk Assessment Long-Range Master Plan. The most recent Community Risk Assessment prepared by the Santee Fire Department was published in March 2023. The 2023 Community Risk Assessment Long-Range Master Plan is incorporated into this Safety and Environmental Justice Element by reference.</u>

The <u>Santee</u> Fire Department <u>also</u> provides fire protection, <u>and</u>-paramedic <u>response</u>, <u>transport</u> services to <u>Santee</u>.<u>the City</u>, as well as roughly two square miles adjacent to Santee in the Pepper Drive area of the County, under County Service Area 115 contract agreement. The Insurance Services Office (ISO) last surveyed <u>Santee in 2021</u>the City in 1997, and the City <u>Santee</u> received a Class <u>1</u>2 rating based upon the ISO rating system of 1 through 10 (with the highest rating being 1 and the 10 the lowest). <u>The City</u> <u>Santee</u> maintains a minimum daily staffing of 1<u>9</u>6 emergency response personnel, including the <u>battalion chief</u>"on call" Duty Chief.

The <u>Santee Fire Department City</u> currently has two fire stations -<u>Station 4 and Station 5</u>. Fire Station <u>4 is</u> at 8950 Cottonwood Avenue and <u>Fire Station 5 is at</u>-another at 9130 Carlton Oaks Drive. In addition, a Fire Administration Building is at 10601 Magnolia Avenue (City Hall). The department is organized into the following three divisions:

Administrative: Finance, human resources, professional standards, information management, fleet and facilities support, grants, special programs and Emergency Management Services billing

Emergency Services: Incident response operations, training and safety, emergency medical services, emergency preparedness, communications, and special operations

Fire Prevention: Plan review, business inspections, public education, defensible space inspections for real estate transactions, community programs, water supply, and pre-fire planning

Additionally, vegetation management is contracted to a third-party consultant who performs weed abatement inspections and is overseen by the Santee Code Compliance Office. Fire investigation is contracted with the San Diego County Sheriff's Department Bomb/Arson Unit.

Fire Station 4 currently has one battalion chief vehicle and six response units—one fire engine, one fire truck, one brush engine, one paramedic ambulance, and one Basic Life Support (BLS) ambulance with a minimum daily staffing of 11 personnel distributed as follows:

- Fire Engine 4 is staffed with one captain, one engineer, and one firefighter-paramedic.
- Fire Truck 4 is staffed with one captain, one engineer, and one firefighter-paramedic.

- Brush Engine 4 is cross-staffed with personnel from Fire Truck 4. This crew cross-staffs the <u>Truck and Brush units and respond in the appropriate apparatus based on the nature of the alarm.</u>
- Paramedic Ambulance 4 is staffed with two firefighter-paramedics.
- BLS 4 is staffed with two non-safety Emergency Medical Technicians (EMT).
- Battalion Vehicle 2 is staffed with one battalion chief.

Station 4 also houses two reserve fire engines and four reserve ambulances.

Fire Station 5 currently has three response units—two fire engines and one paramedic ambulance with a minimum daily staffing of eight personnel distributed as follows:

- Fire Engine 5 is staffed with one captain, one engineer, and one firefighter-paramedic.
- Fire Engine 205 is staffed with one captain, one engineer, and one firefighter-paramedic.
- Paramedic Ambulance 5 is staffed with two firefighter-paramedics.

The Department's rResponse time is defined as the amount of time it takes for the units having received notification to their arrival at the scene. The National Fire Protection Association (NFPA) 1710 Standard for the Organization and Deployment of Fire Suppression Operations, Emergency Medical Operations, and Special Operations to the Public by Career Fire Departments establishes a 5-minute and 20-second benchmark response time goal for not less than 90 percent of dispatched incidents. The Santee Fire Department's response times vary in Santee, but the first due response time for a structure fire is 7 minutes and 33 seconds. The first due response time for rescue and emergency medical services calls is 7 minutes and 27 seconds. svary within the City, with the current goal being to provide an average maximum initial response time of no more than six minutes, with an average maximum response time of no more than ten minutes for supporting paramedic transport units 90% of the time. Response time is defined as the time when the units receive notification to their arrival at the scene. To maintain adequate response times, it is anticipated that another fire station will be needed when the currently vacant Fanita Ranch area develops.

NFPA 1710 lists several travel time requirements for apparatus. The first defined travel time, 4 minutes, is for the first unit, either an engine or a truck that can operate as an engine, and the first engine should arrive within 8 minutes for a moderate-risk structure fire. NFPA historically defined advanced life support (ALS) unit's travel time as 8 minutes. Certain areas in northern and southern Santee struggle to meet the 8-minute effective response force travel time goals established by the NFPA. In addition, much of the City does not meet the 4-minute travel benchmark. To meet the NFPA travel time standards, additional fire stations are needed.

<u>However,</u> <u>T</u>the City has a signed automatic aid agreement on first alarm or greater <u>fires</u> with adjacent and nearby fire departments including Alpine Fire Protection District, El Cajon Fire Department, Lakeside Fire Protection District, La Mesa Fire Department, Lemon Grove Fire Department, San Miguel Fire Protection District, and City of San Diego Fire Department. Each participating member has a mutual aid agreement with the others and participate in the Unified

San Diego County Emergency Services Organization to provide paramedic and fire protection services in the event that additional firefighting units are required. -all surrounding communities. The City is also part of both the San Diego County and State of California Master Mutual Aid Agreements, and maintains a separate agreement with the-CAL FIRE California Department of Forestry and the U.S. Forest Service.

#### Paramedic Services

Paramedic <u>ALS services and BLS</u> advanced life support services are currently provided with first responding fire companies and paramedic transport ambulances. <u>All fire department apparatus</u> The <u>and</u> paramedic ambulances are staffed with <u>firefighters and paramedicsFirefighter</u> Paramedics <u>and</u> who are highly trained to administer advanced life support procedures on emergency incidents. <u>operated in partnership with the Lakeside Fire Protection District under the terms of a contract with County Service Area 69. All firefighters are required to maintain <u>a minimum of EMT D State</u> <u>Medical License</u>. All Firefighter Paramedics maintain a State EMT P license and San Diego County accreditation. <u>A BLS ambulance is staffed with two non-safety</u> emergency medical technicians and used for lower acuity calls to provide basic life support services. The Santee Fire Department and the Lakeside Fire Protection District previously provided ambulance transport service under terms of a contract with County Service Area 69. As of January 1, 2023, the Santee Fire Department and the Lakeside Fire Protection District provide ambulance transport service through the Santee Lakeside Emergency Medical Service Authority JPA. All firefighters hired by the Santee Fire Department are required to possess State of California and County of San Diego paramedic certifications.</u>

## Public Education and Awareness

The <u>City's Santee</u> Fire Department also operates many <u>community outreach public awareness</u> and <u>education</u> programs to help <u>mitigate</u> <u>address</u> potential safety issues for City residents. These <u>Community Risk Reduction activities</u> include the <u>following</u>, along with a variety of other services <u>designed to enhance the collective emergency preparedness for the community</u>:

- Senior Smoke Detector Program
- Senior Citizen Outreach and Safety Education
- <u>3rd Grade Fire Prevention Poster Contest</u>
- Annual Open House and Community Safety Fair
- Community Cardiopulmonary Resuscitation training
- Community Emergency Response Team training
- First-Aid/Community Risk Reduction information booths at Citywide events
- "Every 15-Minutes" participation with local high schools
- Fire station tours
- Classroom presentations

#### • Social Media Public Service Announcements

in which Fire Department personnel responding to emergencies check smoke detectors within the home, or if no detectors exist, install one at no charge to the resident. The Department also maintains information about fire prevention on the City's website and distributes brochures on how to be prepared for wildfire. They also provide an educational program for kids, using clown firefighters to spread fire safety ideas at schools and city functions and also participated in "Every 15 Minutes", the national program to make teens aware of the dangers of drinking and driving. The Department also organizes free classes for Cardio-Pulmonary Resuscitation (CPR) Training and maintains a visible presence at many community events providing information on department programs and safety issues.

Senior Volunteers - In 1996, the City Council approved the Fire and Life Safety Department's Retired Senior Volunteers in Prevention (RSVP) Program. The RSVP's help Santee meet its fire and life safety goals and maintain its relatively low annual fire loss by providing prevention inspections, conducting traffic control at major fires, staff support, as well as providing meals and drinks to firefighters on the lines.

Fire Regulations - The Fire Department also administers a weed abatement ordinance to reduce the risk of structural damage from wildfires. In the spring, the Fire Department inspects the entire City and notifies property owners to clear a defensible space around structures, and to clear undeveloped lots of weeds. If owners do not voluntarily clear the property, the City can direct the work to be done via a private contractor at owner's expense.

#### Requirements for New Development

All new construction in <u>Santee</u> the City requires the installation of fire sprinklers, which further reduces potential for fire loss. The City requires a minimum pressure flow of water for fire protection purposes, based on the type of structure. While there are currently no fire-fighting water flow pressure problems <u>occur</u> in the <u>Santee</u>City, much of the future development may occur on the tops or sides of hills in the northern part of <u>Santee</u> the <u>City</u> where water pressures are lower.

To address fire and life safety issues on new development, the <u>City's-Santee</u> Fire Marshal reviews all proposed residential, commercial and industrial projects through the City's Development Review process. In this way, it is possible to ensure that adequate fire hydrant locations, water flow pressures, access for emergency vehicles, and other requirements are met. *Summary of Needs to Address Urban/Wildland Fire Hazards* 

Santee's recent wildfire fire history is primarily related to fires in the Forester Creek and San Diego River areas, where 309 Fires have occurred between September 1, 2020, and January 1, 2024. The fires in the Forester Creek and San Diego River appear to be related to the homeless population residing in the area. Additionally, Santee's fires are related to the large amount of brush-covered vacant land in Santee, which is often not easily accessible by emergency vehicles. As development in Santee's vacant hillside areas proceeds, the preventative measures below should be required to ensure fire safety.

## **Construction**

To avoid construction-related wildfires, adequate water shall be available to service construction activities, a Fire Prevention Plan shall be prepared, and proper wildfire awareness shall be provided, including reporting and suppression training to construction personnel and requiring that all construction-phase components of the fuel modification are complete prior to delivery of combustible materials/lumber to the project site. Prior to combustible materials being brought on site, utilities shall be in place, fire hydrants operational, an approved all-weather roadway must be in place, and the fuel modified defensible space must be established and approved by the Fire Marshal.

## <u>Operation</u>

Development should include a variety of fire protection features that form a redundant system of protection to minimize the likelihood of wildfire exposing people or structures to a significant risk of loss, injury, or death involving wildland fires. The development should provide a fire-hardened landscape, ignition-resistant residences and buildings, and conversion of fuels to maintained developed areas with designated review of all landscaping and fuel modification areas and highly ignition-resistant structures.

## Wildland-Urban Interface

The 2023 Community Risk Assessment Long-Range Master Plan includes a map of WUI areas within the City. These areas are primarily along the City's boundaries in its northern, western, southwestern, southeastern, and eastern portions. The City's critical fire station, hospitals, and medical clinics are all located outside of the WUI areas, as shown on **Figure 4.7**, *Wildland-Urban Interface Map*. Land uses within the WUI areas in the City primarily include planned development, parks and open space, and residential development.

The Santee City Council adopted a WUI development standard in November 2004 and then amended the City's Fire Code with adoption in June 2006. Measures were also adopted into the 2007 CBC and have been retained and enhanced in code updates since then, including the 2022 CBC and California Fire Code. The following project features are required for new development in WUI areas and form the basis of the system of protection necessary to minimize structural ignitions and facilitate access by emergency responders as identified in the Fire Prevention Plan. Development within WUI shall comply with the most current codes and standards.

## Fuel Modification Zones

Modified fuel areas separating wildland fuel areas from structures can reduce the number of fuelrelated structure losses by providing separation between structures and heat generated by wildland fuels. Fuel Modification Zones provide appropriate buffers between native fuels and structures based on research indicating the type and width of Fuel Modification Zones that provide protection. Santee's defensible space requirement is a 100-foot minimum for fuel modification between structures and wildland areas.

# Fire Protection Infrastructure

Installation of a fire hydrant network, a dedicated fire water pipeline system to provide adequate fire flow to the project site, and fire department hose connections throughout the project site. The availability of the on-site fire suppression network and water supply would reduce potential wildfire impacts. The City's Fire Code includes requirements for water supply, such as fire hydrants and storage tanks. Within FHSZs and WUI areas, fire hydrants must be spaced every 300 feet and must have a fire flow of 2,500 gallons per minute, or a fire flow approved by the Fire Chief. Additionally, the 2023 Community Risk Assessment Long-Range Master Plan depicts buildings within the City that may require a larger amount of water (i.e., greater than 3,000 gallons per minute) to extinguish a fire. The document also depicts the locations of all active fire hydrants within the City. Developments that require new or "stand alone" water storage facilities may also be required to provide secondary or backup systems, such as independently powered pumps that will ensure adequate water supply for firefighting emergencies. Secondary or backup systems create redundancy in the event the primary system fails and increases resilience of the system.

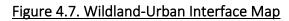
Establishing and adhering to minimum road width and clearances around structures ensures that fire response equipment and personnel can access buildings and people throughout Santee. According to City's Fire Marshall, fire apparatus require a horizontal clearance of at least 26 feet and vertical clearance of at least 13.5 feet. The Circulation Plan in the Mobility Element of the Santee General Plan identifies the roadway classifications and cross-section for each. The different roadway classifications identify the minimum road width for prime arterials, major arterials, collector industrial, collector residential, parkway, multimodal corridors, and regional facilities. Refer to the Mobility Element for the individual widths for reach roadway classification. Adhering to these standards will ensure accessibility for emergency and fire personnel.

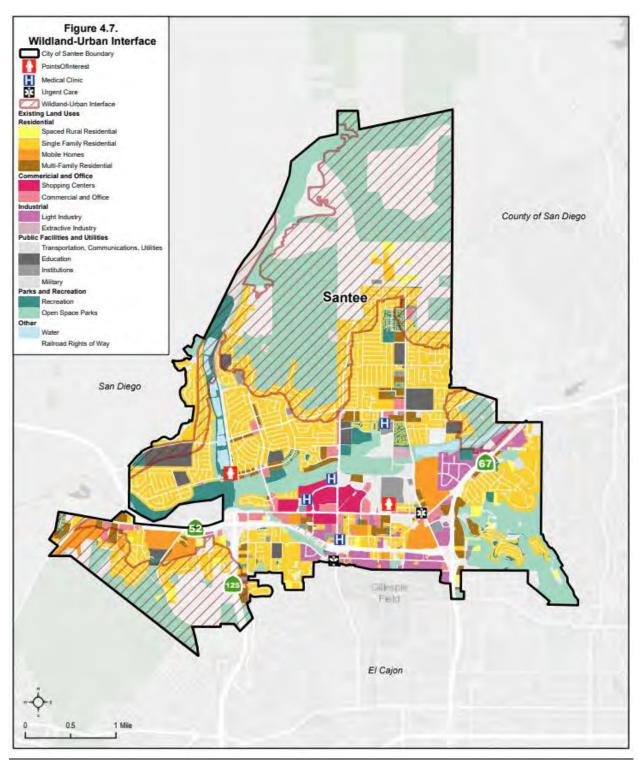
## Emergency Vehicle Access

A Fire Protection Plan and Wildland Fire Evacuation Plan are required for all new development in Wildland Urban Interface (WUI) areas and must meet City and County requirements and prevent any conflicts with current evacuation plans. Details of the emergency access routes must be described in the Fire Protection Plan and Wildland Fire Evacuation Plan prepared for a proposed project and must be designed to comply with current and future population growth, roadway conditions, and access availability.

## Weed Abatement Program

The City contracts with a third-party consultant to conduct weed abatement inspections annually. If weed violations are identified, the consultant sends the property owner a notice to comply. The City is involved if the owner fails to comply by the 30-day deadline. An additional notice is sent prior to forced abatement which is at the owner's expense.





#### 4.<u>4</u>5 Crime <del>Hazards</del>

Police protection for Santee residents is provided by the County Sheriff's Department, which operates out of the Santee <u>Sheriff's Station at 8811 Cuyamaca Street</u><u>Substation on Cuyamaca</u> <u>Street, and</u><u>Additionally</u>, <u>Sheriff's a recently opened</u> storefront<u>is operated</u> facility in the Santee Trolley Square <u>Town Center retail center</u> at the northwest corner of Mission Gorge Road and Cuyamaca Street. <u>The storefront includes an active volunteer unit that provides community</u> <u>services including vacation checks and regular visits to homebound citizens</u>.

The Santee Sheriff's Station has over 70 employees providing patrol and traffic services, criminal investigations, juvenile intervention, crime analysis, and crime prevention education. The ratio of officers to population in Santee is 1.2342 per 1,000 residents. In 2022,: 12,000, which is higher than the County average. Santee also hashad a quicker priority call response times than the county average. For Santee,  $\mp$ the average priority call response time for general law enforcement within the City iswas 98.2 minutes and the average response time for traffic was for traffic law enforcement is 97.5 minutes. The CitySantee has consistently had one of the lowest crime rates in the county, which according to the Federal Bureau of Investigation (FBI) index crime rate in 2022 was 11.85 per 1,000 population. This fell within the lower range for crime rates throughout the county.

<u>Lacerny</u> <u>T</u>thefts and <u>thefts from vehicles are now the largest reported crime problem in Santee,</u> burglaries are the largest crime problem in Santee, although Santee's crime rate is well below the average for the County as a whole. In general, higher density residential areas tend to have more property-related crimes than <del>do</del> do single-family <u>residential</u> areas, with businesses being the main target for <u>larceny crimes</u> burglaries.

The <u>County</u> Sheriff's Department administers a Neighborhood Watch Program in <u>Santeethe City</u>, aimed at reducing the number of burglaries <u>which involves</u>. Neighborhood Watch is a program involving the joint efforts of the <u>County</u> Sheriff's Department and the community designed to enhance neighborhood security. The Sheriffs also administer a similar program called Kids Watch, which is oriented towards children and teaches them to watch their neighborhood and how to contact law enforcement when needed.

The County Sheriff's Department also offers a video-sharking program known as "Safe Santee" that allows the public to share live video footage with the Sheriff's Department to monitor realtime criminal activities.

The Sheriff's Department utilizes a Community Oriented Policing and Problem Solving (COPPS) approach to crime prevention. COPPS is an effective community policing that has with a positive impact on reducing crime, helping to reduce fear of crime and enhancing the quality of life in the community by combining the efforts and resources of the police, local government and community members.

## Crime Prevention Through Environmental Design

One of the proactive strategies used by the <u>County Sheriff's</u> Department to address thefts and

other crimes in the community is the Crime Prevention through Environmental Design (CEPTD) program. This program emphasizes the application of preventative measures in new construction and as well as existing spaces. buildings or locations. To reduce potential incidents of crime, CPTED emphasizes the importance of understanding and changing the physical environment of a building or neighborhood, related to using four primary concepts to reduce potential incidents of crime nNatural sSurveillance, tTerritoriality, aAccess cControl, and mMaintenance. Site design, landscaping and lighting are major components of the four concepts. Decisions made by local governments including planners, designers and law enforcement officials can influence resident and business conditions and behavior. The CEPTD program is incorporated into Section 13.10.040M of the Santee Municipal Code, by establishing the minimum site and building standards, including defined entrances, landscaping, architectural design, lighting; natural surveillance through visibility and lighting; defined site boundaries and territorial reinforcement through landscaping and decorative fencing; designed wayfinding signage; and maintenance requirements.

The <u>County</u> Sheriff's Department COPPS and Crime Prevention Units review all new development proposals as part of the City <del>Development Review Committee</del> development review process to incorporate safety recommendations and CPTED principles into the design of new developments. As an example, the City is promoting and the establishment of video surveillance cameras in large retail parking lots to reduce the incidence of vehicle thefts.

## School Resource Officers

The City also funds two School Resource Officer (SRO) positions, when funding is available. SROs are assigned to the Santana and West Hills High Schools. The SROs are an educational resource, providing both intervention and follow-up services. They act as an on-campus resource for school students to both provide a law enforcement liaison and to ensure a safe environment for learning.

# Las Colinas Detention and Reentry Facility

The County Sheriff's Department operates the Las Colinas Detention and Reentry Facility, the primary point of intake for women in the county, with a Board of State and community Corrections (BSCC) rated capacity of 1,280 people and an average daily population of 500 incarcerated persons. The facility is in Santee at 451 Riverview Parkway on a 45-acre site also listed as 9000 Cottonwood Avenue. The facility opened in August 2014, replacing the 1967 Las Colinas Detention Facility that operated for a period of time as a juvenile facility. Over 8,000 bookings of female prisoners are performed every year at the facility for regional law enforcement agencies. Las Colinas Detention and Reentry Facility is staffed by approximately 232 sworn employees and 130 professional staff members, making it one of the largest employers in Santee.

# Summary of Needs to Address Crime

The most frequent crimes in Santee are thefts and burglaries within commercial areas especially along Mission Gorge Road. These crimes can continue to be addressed for new development through the use of improved building design techniques and lighting, which take into consideration defensible space strategies, and CEPTD. Additionally, the City can continue to address crime through the continued promotion of the COPPS and the Neighborhood Watch Program, as well as enforcement actions for existing developed areas of Santee.

Graffiti - The Santee Sheriff's station is the only sheriff's command where deputies are assigned to investigate graffiti as a major function of their duties on a regular basis. The City's graffiti investigators enjoy a 100% conviction rate on graffiti cases submitted to the District Attorney's Office. General acts of graffiti have been displaced to neighboring communities due to the investigative efforts of Santee deputies and the lower priority placed on this activity by neighboring law enforcement agencies.

The City also funds four School Resource Officer (SRO) positions. When funding is available, the City contributions to the cost of School Resource Officer (SRO) positions. These officers <u>may be</u> are assigned to the Santee Elementary School District and the Santana and West Hills High Schools. The officers are an educational resource, provide providing both intervention and follow-up services. They act as an on campus resource for school students to both provide a law enforcement liaison as well as to ensure a safe environment for learning.

Las Colinas Detention Facility - The County of San Diego operates the Las Colinas Detention Facility, a women-only facility with an inmate cap of 500 persons. The facility is located at 9000 Cottonwood Avenue. More than 12,000 bookings every year of female prisoners are performed at Las Colinas for regional law enforcement agencies.

The County is evaluating possible alternative locations and designs for the facility including combining the jail with a new Sheriff's substation as a comprehensive public safety facility at the site of the existing Edgemoor Geriatric Hospital on Magnolia Avenue. The City supports reconstruction of the jail into a more modern, enclosed facility, which would be more compatible with the surrounding community.

# 4.<u>5</u>6 Traffic Hazards

There are roughly 108 miles of roads in Santee. Most streets have been well maintained and do not present significant driving hazards. The main cause of traffic accidents-collisions appears to be correlated with unsafe speed and improper turning to uncontrolled turning movements onto high volume streets. Most collisions occur on the major streets in or near intersections where traffic is heaviest and turning movements are frequent, such as the intersection of Mission Gorge Road at Cuyamaca Street. This intersection is the focal point <u>S a n t e e T r o II e y S q u a r e of the</u> Town Center area and it also and serves as the terminus of the San Diego Trolley East (Green)Line.

For streets as a whole, Mission Gorge Road has highest <u>number of accidents rate</u> due to the amount of traffic this facility handles per day. This east-west roadway serves primarily commercial and business establishments. With these types of land uses, an increase in conflicting traffic movements may contribute to potential vehicle collisions on this street. Currently there are over 454,000 vehicles per day on portions Mission Gorge Road and 23,80039,000 vehicles per day on Cuyamaca Street. In the year 2020, up to a maximum of 70,000 vehicles per day are expected to use Mission Gorge Road between SR125 and Carlton Hills Blvd, and up to 31,000 vehicles per day will use Cuyamaca Street.

The City recently has installed light emitting diode (LED) traffic signal lights throughout Santee.

These lights use less energy and are more visible. Major intersections have installed battery backup power so that in the event of a power outage, these key intersections will continue to operate smoothly, reducing the potential for traffic collisions. The City has also installed reflective tapes on traffic signal heads to make signals more visible in low lights and during power outages. Liquid Electronic Display (LED) traffic signal lights throughout the city. These lights use less energy and are more visible. In the future, major intersections will have battery back up power so that in the event of a power outage these key intersections will continue to operate smoothly, reducing the potential for traffic accidents.

## Summary of Needs to Address Traffic Hazards

Traffic collisions along Mission Gorge Road are primarily due to heavy traffic volumes in association with numerous entrances and exits, which results in an increase of conflicting traffic movements. The City should continue to require the installation of shared driveways and reciprocal access between adjoining properties in association with the implementation of other traffic control devices, including the use of center medians, left-turn pockets, and signalized intersections, all of which would reduce conflicting traffic movements and the potential for traffic collisions.

# 4.6 Light-Rail Transit Hazards

The San Diego Transit System was established in 1948, replacing the San Diego Electric Railway Company. On April 24, 1949, rail transit ended as motor buses made San Diego the first California city to convert to an all-bus system. In 1967, San Diego Transit became a nonprofit corporation with the City of San Diego. In 1976, then Metropolitan Transit Development Board was formed, and in 1981, San Diego Trolley, Inc., was formed. The San Diego Trolley inaugural run took place on the 15.9-mile "South Line" between the international border and Downtown San Diego on July 19, 1981, representing the first light-rail run in 3 decades. In 1984, the Metropolitan Transit Development Board broke ground on a 4-mile extension east from the 12th and Imperial Station, becoming the first leg of the future East Line (later renamed the Orange Line). On November 17, 1986, the Metropolitan Transit Development Board held a groundbreaking for the next 11.7-mile East (Orange) Line segment, and on July 26, 1995, the segment between the El Cajon Transit Center and Santee Trolley Square Town Center opened.

The MTS is currently the public transit service provider for San Diego County. The MTS San Diego Trolley system includes 63 stations serving three primary trolley lines. Most of the stations are at, or near, ground-level, including the Santee Trolley Square station. The Santee Trolley Square station includes free parking and connections to MTS bus lines. The San Diego Trolley's main lines operate with regular service between 5:00 a.m. and midnight 7 days per week, with station stops every 15 to 30 minutes. In 2019, the entire San Diego Trolley system provided over 38 million passenger trips. The San Diego Association of Governments 2050 Regional Transportation Plan forecasts 156 new miles of trolley service; however, none of these new miles are proposed in Santee because Santee is at the end of the East (Green) Line. From the Grossmont Trolley Station in La Mesa, both the Orange and Green Lines head northeast to the Arnele Avenue station in El Cajon where the Orange line terminates. From there, the Green Line continues into Santee. To prevent transit delays, a priority system is used to manage traffic signal operations at or near crossings. The trolley priority system works as follows:

- The trolley dwells in the station until a count-down timer counts to zero.
- The trolley departs within 5 seconds after the zero point of the count-down timer.
- If the departure window is missed, the trolley must wait until the beginning of the next cycle.
- As long as the trolley leaves the station during the departure window, it will receive green lights at all of the downstream signals until it reaches the next station.

The trolley priority system is successful in increasing the efficiency of trolley operations. The priority system has been enhanced from a "passive" to an "active" system including train detectors embedded at predetermined locations and traffic system controllers which trigger signal changes at intersections if a train is detected. The monitoring and management of traffic signals, signage, pavement markers, and related equipment at intersections protect public safety as trolleys traverse major intersections, such as the following:

- Cuyamaca Street and Prospect Avenue (four-way)
- Cuyamaca Street and the SR-52 eastbound off-ramp
- Cuyamaca Street and SR-52 westbound off-ramp
- Cuyamaca Street and Buena Vista Avenue (four-way)
- Cuyamaca Street and Mission Gorge Road (four-way)

Two private lanes cross the tracks and pedestrian track crossings are within the premise of the Santee Trolley Square Town Center. As a light-rail transit line, the trolley provides an important service for regional and local passenger transit. However, it also presents safety concerns as a potential source of collisions with vehicles, bicyclists, and pedestrians due to the rail line's location adjacent to busy City streets.

## Summary of Needs to Address Light-Rail Transit Hazards

The City should continue to assess safety conditions associated with collisions between vehicles, bicyclists, and pedestrians due to the rail line's location adjacent to busy City streets.

# 4.7 Airport Hazards

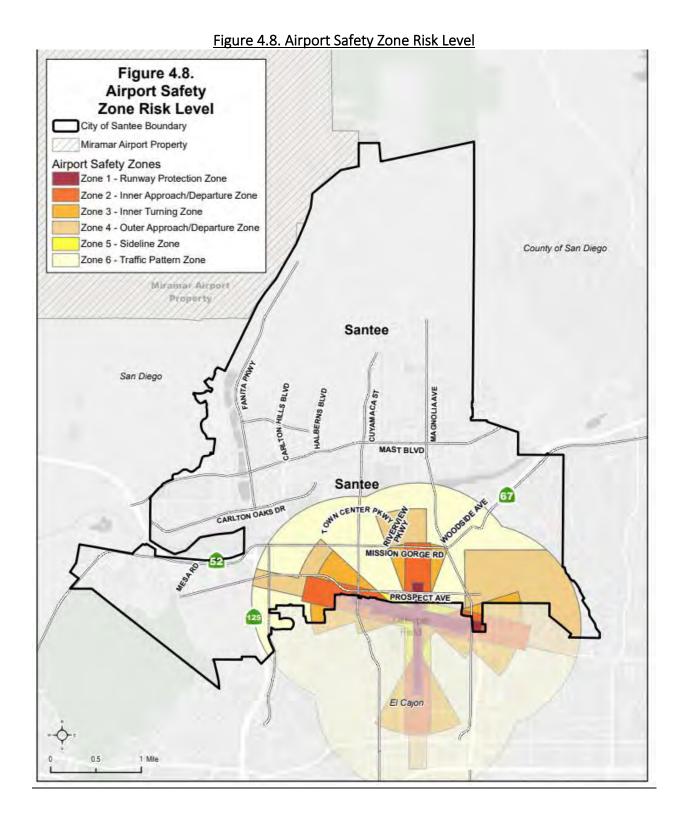
The City of Santee is situated between two aircraft operation areas: Marine Corps Air Station (MCAS) Miramar to the northwest and Gillespie Field to the immediately south of Santee (Figure 4.8, Airport Safety Zone Risk Level). The San Diego County Regional Airport Authority, acting as the Airport Land Use Commission (ALUC) is responsible for adopting Airport Land Use Compatibility Plans (ALUCP)s. overseeing operation of the regions airports. As such, it is responsible for preparing comprehensive land use plans for the area surrounding each airport within its jurisdiction, based on aircraft produced noise impacts and aircraft produced accident potential considerations. The basic function of an ALUCP is to promote compatibility between an airport and surrounding land uses that lie within the airport's designated Airport Influence Area to the extent that these

areas are not already devoted to incompatible uses. The ALUCP is also intended to protect the safety of the public from airport-related hazards. The ALUCP includes specified limitations and conditions on the future development of new land uses surrounding the airport. The ALUCP consists of several components, including provision of airport information, compatibility policies and criteria (e.g., height restrictions to prevent obstructions to navigable airspace), compatibility maps, procedural policies, and land use information. It addresses noise, overflight, safety, and airspace protection concerns for land uses within the Airport Influence Area. The ALUCP also establishes standards for certain development projects to provide constructive notice to current and prospective property owners of aircraft activity within the vicinity of the airport.

Additionally, the Federal Aviation Administration (FAA) establishes airspace protection surfaces in the airspace above and surrounding airports to protect aircraft from obstructions, such as buildings and towers, in navigable airspace. ALUCP safety zones are derived from general aviation aircraft accident location data found in the California Land Use Planning Handbook and data regarding the airport's runway configuration and operational procedures at the airport.

Under certain circumstances, developers of specific properties may be required to dedicate avigation easements to the airport owner. Among other things, an avigation easement grants the right of flight in the airspace above the property; allows the generation of noise and other impacts associated with overflight; restricts the height of structures, trees, and other objects on the property; prohibits potential on ground flight hazards (e.g., sources of light/glare); and permits access to the property to remove or mark objects exceeding the established height limit.

New development proposals in the Airport Influence Area must process a consistency determination application and be found to be consistent or conditionally consistent with applicable land use compatibility policies with respect to noise, safety, airspace protection, and overflight as contained in the ALUCP. Additionally, development proposals are required to comply with FAA regulations concerning the construction or alteration of structures that may affect navigable airspace.



## <u>MCAS Miramar</u>

<u>Marine Corps Air Station Miramar</u> – The San Diego Association of Government's Comprehensive Land Use Plan for NAS Miramar and the February 1996 Environmental Impact Statement for the Realignment of NAS Miramar, does not include Santee within any of the airfields Accident Potential Zones, which are areas with highest accident potential.

MCAS Miramar, formerly Naval Auxiliary Air Station Miramar and Naval Air Station Miramar, is a U.S. Marine Corps installation home to the 3rd Marine Aircraft Wing, which is the aviation element of the 1st Marine Expeditionary Force. MCAS Miramar is adjacent to Santee's northwestern boundary, and its runways are approximately 5.5 miles west of the City boundary. MCAS Miramar's Airport Influence Area, Review Area 2, includes portions of Santee. MCAS Miramar is not a public airport and is restricted to military use, providing facilities and services to various Marine Corps and Navy operating units.

MCAS Miramar is composed of three runways, one helicopter landing deck strip, six helicopter pads, and multiple support facilities. The primary runway is 12,000 feet long, whereas the secondary runway is 8,000 feet long. The helicopter landing deck strip (24S/06S runway) is 1,000 feet long for helicopter pattern operations and parallels the primary and secondary runways to the south. Helicopter Pads 1 through 6 are northwest of the main runways. Due to the prevailing winds, Runways 24R and 24L historically receive 95 percent of all operations with aircraft departing and approaching into the offshore wind. During certain weather conditions (e.g., Santa Ana winds), Runways 6L and 6R are used to ensure safety of flight.

Operational aircraft at MCAS Miramar have changed over the years from F-4s in the 1970s to the F-14s during the 1980/1990s. MCAS Miramar was identified for realignment during the 1993 Base Realignment and Closure round that subsequently recommended formal closure of MCAS El Toro and MCAS Tustin. The realignment of MCAS Miramar was completed with the relocation of personnel, support requirements, and airframes from MCAS El Toro and MCAS Tustin to the San Diego region. The move to MCAS Miramar from MCAS El Toro and MCAS Tustin included the assignment of both fixed and rotary-wing aircraft, including the Fighter Attack (F/A)-18 "Hornets," KC-130s "Hercules," CH-46 "Sea Knights," and CH-53 "Super Stallions." MV-22B "Ospreys" (9-tiltrotor aircraft) have operated out of MCAS Miramar since 2008, while the F-35 was more recently homebased in 2020. MCAS Miramar will remain home to the projection of Marine Corps' West Coast air power indefinitely as the remaining F/A-18 squadrons transition to F-35B and F-35C squadrons.

Within the MCAS Miramar Airport Influence Area, the ALUCP establishes Airport Safety Zones based on the Air Installations Compatible Use Zone (AICUZ) for the purpose of evaluating safety compatibility of new/future land uses. The Airport Safety Zone boundaries depict relative risk of aircraft accidents occurring near the airport with accident potential zones extending west toward the Pacific Ocean. Portions of the City of Santee will experience regular overflight and noise from military aircraft.

#### Gillespie Field

Gillespie Field was established in 1942 and is owned and operated by the County of San Diego. the oldest and largest of the county's general aviation airports. It is used primarily for recreational and business purposes, and includes seven runways, a tower, terminal, helicopter landing pad, and airport related businesses. The aircraft weight limits will continue to limit the airport to general aviation and there are no plans for it to become a commercial airport. Gillespie Field's current certification allows corporate jets with wingspans up to 79 feet. The airport currently has roughly 200,000 operations (take-off and landings) per year. This has dropped from the high of over 300,000 in 1979, and is expected to rise to maximum of 250,000 to 300,000 operations in 2010. Located in the northwestern portion of El Cajon, with a small portion in Santee, the airport includes three runways, two of which are generally oriented east-west and one which is oriented north-south. According to the County of San Diego Department of Public Works website accessed on January 2024, Gillespie Field has a significant economic impact of over \$900 million and over 6,000 jobs. Gillespie Field is essential in supporting emergency responders and is home to Sheriff Aerial Support to Regional Enforcement Agencies (ASTREA), firefighting helicopters, and medevac helicopters and jets. Gillespie Field also supports business aviation for companies in the Southern California region as well as supports nonprofits such as the Air and Space Museum Annex-where aircraft are flown in on their last voyage and decommissioned for museum display at Balboa Park. Gillespie Field is a public-use airport serving a vital role as a National Reliever for the National Plan of Integrated Airport Systems.

According to the FAA, the airport ran approximately 226,887 aircraft operations (takeoff and landings) during 2016, averaging 622 operations per day. This rate has dropped from a high of more than 300,000 operations in 1979, and a total of 247,478 operations per year are projected by 2025. Two-thirds of the operations are performed by single-engine piston aircrafts, and approximately 25 percent of total annual operations are performed by helicopters.

The Gillespie Field ALUCP has a designated Airport Influence Area. Runway Protection Zones (RPZs) are areas of significant risk resulting from aircraft takeoff and landing patterns. While the RPZs for Gillespie Field fall mainly within airport boundaries, there are several County-owned properties north of the airport on Prospect Avenue that are within the designated RPZ. These properties are designated as Park/Open Space to reflect their airport function. There are also a number of privately owned parcels within the RPZ that cannot be further built upon per FAA guidelines

The Gillespie Field ALUCP is prepared according to Caltrans Division of Aeronautics requirements and adopted by the San Diego County Regional Airport Authority. The Gillespie Field ALUCP seeks to reduce exposure to excessive noise and safety hazards within the Airport Influence Area, provides for the orderly growth of the airport and the area surrounding the airport, and safeguards the general welfare of the inhabitants within the vicinity of the airport and the public in general.

The Airport Influence Area includes a large portion of Santee and portions of El Cajon and areas within unincorporated San Diego County. Within the Airport Influence Area, the Gillespie Field ALUCP establishes six Airport Safety Zones for the purpose of evaluating safety compatibility of new/future land use actions. The ALUCP limits development intensities in these zones by imposing floor area and lot coverage maximums, incorporating risk reduction measures in the design and construction of buildings, and/or restricting certain uses altogether. Generally, permissible uses and development intensities range from most restrictive in Airport Safety Zone 1 to least restrictive in Airport Safety Zone 6. For example, all residential and virtually all non-residential uses are

considered incompatible land uses in Zone 1, while all land uses in Zone 6 are considered to be either compatible or conditionally compatible with the airport.

The "Clear Zones" are areas of significant risk resulting form aircraft takeoff and landing patterns. While the Clear Zones for Gillespie Field fall mainly within airport boundaries, there are several County-owned properties north of the airport on Prospect Avenue that are designated as airport clear zones. These properties area designated as Park / Open Space to reflect their airport function.

Airport noise compatibility issues are discussed in detail in the Noise Element.

## Summary of Needs to Address Airport Hazards

Various levels of governments have differing roles and interests with land use planning around airports.

**Federal:** The FAA approves airport noise studies, serves as the lead agency in the federal environmental review process, and manages the nation's airspace. The FAA publishes airport standards and provides planning guidance for use by airport sponsors.

State: The state provides for the integration of aviation into transportation systems planning on a regional, statewide, and national basis. Staff administer noise regulation and land use planning laws that foster compatible land use around airports and encourages environmental mitigation measures to prevent incompatible land use encroachment.

**ALUC:** ALUCs prepare ALUCPs and ensure regional and local land use plans are consistent with the ALUCP. ALUCs establish advisory policies on land uses surrounding the airport, ensuring they are compatible with airport operations. ALUCs also evaluate the compatibility of proposed local agency land use policy actions with the relevant provisions in the ALUCP. Risks to people and property on the ground within the vicinity of the airport and to the people on board the aircraft are considered.

Local Government: Cities and/or counties have a responsibility to ensure the orderly development of the airports within their local jurisdiction and ensure that all applicable planning documents and building regulations are consistent with the ALUCP. They also have the final decision on local land use issues and can overrule ALUC determinations with findings, subject to statutory procedure.

For example, as established by state law (Pub. Util. Code, Section 21670), the ALUC has the responsibility both "to provide for the orderly development of airports" and "to prevent the creation of new noise and safety problems." ALUC policies thus have the dual objectives of (1) protecting against constraints on airport expansion and operations that can result from encroachment of incompatible land uses, and (2) minimizing the public's exposure to excessive noise and safety hazards. To meet these objectives, the City must continue to ensure that future development or redevelopment within the Airport Influence Area address the following noise, safety, airspace protection, and overflight factors to avoid potential airport compatibility impacts, as assessed in the Gillespie Field ALUCP.

Noise. The purpose of noise compatibility policies is to avoid the establishment of new incompatible land uses and exposure of the users to levels of aircraft noise that can disrupt the activities involved. The characteristics of Gillespie Field and the surrounding community are

considered in determining the level of noise deemed acceptable for each type of land use. The noise contours established for the purpose of evaluating noise compatibility are depicted on Exhibit III-1 of the ALUCP. Strategies to minimize risk include the following:

- Prohibit outdoor and indoor noise-sensitive uses
- Require sound attenuation of buildings containing noise-sensitive uses

Safety. The purpose of safety compatibility policies is to minimize risks to the public in the event of an aircraft accident or emergency landing outside airport boundaries. Strategies to minimize risk include the following:

- Reduce concentrations of land use by limiting residential densities and non-residential intensities that attract people in locations most susceptible to an off-airport aircraft accident
- Prohibit certain risk-sensitives uses, such as schools and hospitals, and aboveground storage of flammable or hazardous materials regardless of the number of people involved

Airspace Protection. The purpose of airspace protection compatibility policies is to ensure that structures and other uses of the land do not cause hazards to aircraft in flight within the airport vicinity. Strategies to minimize risk include the following:

- Comply with standards set forth in the Code of Federal Regulations Part 77 and determination from the FAA that the object would not be hazard
- Comply with the minimum separation criteria for land use practices that have the potential to attract wildlife that could be hazardous to aircraft in the vicinity of airports
- Minimize land use characteristics that create visual or electronic interference (i.e., lights, glare/night smoke, dust, steam) with aircraft navigation or communication

**Overflight.** The purpose of overflight compatibility policies is to help notify people about the presence of overflights near airports so that they can make informed decisions regarding acquisition or leasing property in the affected areas. Noise, vibration, fuel vapors, and particulate deposits from aircraft overflights, especially by comparatively low-altitude aircraft, can be intrusive and annoying in locations beyond the limits of the mapped noise contours. Strategies to address overflight annoyance include the following:

• An overflight notice indicating that the property is within an area that is routinely subject to overflights by aircraft using Gillespie Field and residents may experience inconvenience, annoyance, or discomfort arising from such operations.

• <u>California state law requires that, as part of many residential estate transactions,</u> <u>information be disclosed regarding whether the property is situated within an Airport</u> <u>Influence Area.</u>

# 4.8 Disaster Preparedness

The role of government in a disaster – whether <u>it is local, regional, it's city, county</u>, state or federal – is the preservation of life and property. <u>The following programs and plans are developed to assist</u> with emergency operations and to reduce the risk from natural and human-made hazards.<del>The City has adopted an Emergency Operations Plan, which addresses the planned response to extraordinary emergency situations associated with natural and man caused disasters. The plan describes the overall responsibilities of government entities, as well as the Santee Emergency Management Organization for protecting life and property in the <u>City</u>.</del>

# Standardized Emergency Management System (SEMS)

Gov. Code, Section 8607(a), directs Cal OES to prepare a SEMS program, which sets forth measures by which a jurisdiction should handle emergency disasters. The program is intended to effectively manage multi-agency and multi-jurisdictional emergencies in California. SEMS consists of five organizational levels, which are activated as necessary: (1) field response, (2) local government, (3) operational area, (4) regional, and (5) state. Local governments must use the SEMS to be eligible for funding of their response-related personnel costs under state disaster assistance programs. The City has adopted an Emergency Operation Plan consistent with the SEMS. The plan addresses the planned response to extraordinary emergency situations associated with natural and human-caused disasters and describes the overall responsibilities of government entities, as well as the Santee Emergency Management Organization for protecting life and property in <u>Santee</u>.

# County of San Diego Office of Disaster Preparedness and Recovery

The County of San Diego Office of Disaster Preparedness is the liaison between incorporated cities, Cal OES, and FEMA, as well as non-governmental agencies such as the American Red Cross. The Office of Disaster Preparedness ensures the preparation and execution of emergency plans in the event of a major emergency or disaster within the San Diego County area. It is important to note that the Office of Disaster Preparedness is not a response agency but rather serves to ensure coordination of efforts among County departments, cities, special districts, and other agencies in San Diego County, as well with the state and federal agencies.

# Unified San Diego County Emergency Services Organization

Santee is one of 20 jurisdictions that support and participate in the Unified San Diego County Emergency Services Organization. The Emergency Services Organization, which is composed of the 18 incorporated cities in the county, the County of San Diego Office of Emergency Services, and the San Diego County Board of Supervisors, provides coordination of disaster response and recovery activities. The organization operates under a Joint Powers Agreement that provides for cooperation and coordination between member jurisdictions.

# County of San Diego 2023 Multi-Jurisdictional Hazard Mitigation Plan

The purpose of the County's 2023 MJHMP is to identify the county's hazards, review and assess past disaster occurrences, estimate the probability of future occurrences, and set goals to mitigate potential risks to reduce or eliminate long-term risk to people and property from natural and human-made hazards. An important component of the County's 2023 MJHMP is the CERT, which educates community members about disaster preparedness and trains them in basic response skills, such as fire safety, light search and rescue, and disaster medical operations. The City is a participating jurisdiction in the County's 2023 MJHMP and helped the County prepare the City's chapter of the MJHMP.

## County of San Diego Emergency Operations Plan

The County's Emergency Operations Plan describes a comprehensive emergency management system that provides for a planned response to disaster situations associated with natural disasters, technological incidents, terrorism, and nuclear-related incidents. It delineates operational concepts relating to various emergency situations, identifies components of the Emergency Management Organization, and describes the overall responsibilities for protecting life and property and ensuring the overall well-being of the population. The plan also identifies the sources of outside support that might be provided (through mutual aid and specific statutory authorities) by other jurisdictions, state and federal agencies, and the private sector.

First responders are responsible for determining initial protective actions before the EOC, and emergency management personnel have an opportunity to convene and gain situational awareness. Initial protective actions are shared and communicated to local EOCs and necessary support agencies as soon as possible to ensure an effective, coordinated evacuation. During an evacuation effort, the designated County Evacuation Coordinator is the County Sheriff, who is also the Law Enforcement Coordinator. The County Evacuation Coordinator would be assisted by other law enforcement and support agencies.

## Santee Emergency Operations Plan

The Santee Emergency Operations Plan was adopted in June 2010 and developed from the 2010 San Diego County Operational Area Emergency Plan. This plan was prepared to ensure the most effective and economic allocation of resources for the maximum benefit and protection of the community in time of emergency. The objective of the plan is to incorporate and coordinate City facilities and personnel into an efficient organization capable of responding to any emergency.

# Emergency Operations Center (EOC)

The City of Santee EOC is at Santee City Hall and is integral in the coordination of successful response and recovery operations. The EOC serves in support of the incident commander and field responders. With centralized decision-making, personnel and other resources can be use more effectively. Coordination of activities through the EOC ensures that all tasks are accomplished with little or no duplication of effort and with the highest probability of success. Day-to-day operations are conducted by departments and agencies throughout Santee. When a major emergency or disaster occurs, the EOC provides the centralized management needed to facilitate a coordinated response.

## Summary of Needs to Address Disaster Preparedness

The update of the Santee Emergency Operations Plan is an ongoing process by which the City maintains an adequate level of public safety. The City also has implemented procedures to initiate a coordinated EOC in the event of a significant natural or human-induced disaster. The City should continue to provide annual training to critical personnel to improve effectiveness in the event of an actual disaster.

Santee is also a member of the Unified San Diego County Emergency Services Organization (ESO) which is comprised of the 18 incorporated cities within the county and the County of San Diego. The ESO provides coordination of disaster response and recovery activities. The Organization operates under a Joint Powers Agreement that provides for cooperation and coordination between member jurisdictions.

The Office of Disaster Preparedness (ODP) is the liaison between the incorporated cities, the State Office of Emergency Services (OES) and the Federal Emergency Management Agency (FEMA), as well as non-governmental agencies such as the American Red Cross. The Office of Disaster Preparedness ensures the preparation and execution of emergency plans in the event of a major emergency or disaster within the San Diego County area. It is important to note that ODP is not a response agency, but rather serves to ensure coordination of efforts among County departments, cities, special districts and other agencies within the county, as well with the state federal agencies.

Each year the City conducts drills and training simulations for the emergency operations center to assure improved operation in the event of an actual disaster.

# 4.9 Hazardous Materials

A hazardous material is any liquid or solid substance that poses a threat to human health and safety or to the environment if improperly treated, stored, transported, or disposed of. Hazardous materials that are commonly used in households and businesses include but are not limited to lawncare and gardening products, antifreeze, batteries, gasoline, motor oil, electronic devices, household cleaners, and paint. These materials may be disposed at the Permanent Household Hazardous Waste Collection facility operated by Waste Management in the City of El Cajon at no cost.

Hazardous material incident management is the responsibility of the <u>SanteeCity's</u> Fire Department. The City also belongs to the San Diego County Joint Powers Authority Hazardous Materials Response Team, which responds to assist with major incidents.

Hazardous materials sites in Santee include EnviroStor cleanup sites as identified and regulated by the California Department of Toxic Substances Control (DTSC) shown in Table 4.4, City of Santee EnviroStor Cleanup Sites.

Facility Name	<u>Address</u>	Program Type	<u>Status</u>	
<u>Coneen Property</u>	<u>8656 Cuyamaca Street</u>	<b>Evaluation</b>	Refer: 1248 Local	
			Agency	
Dave's Auto Service	10438 Mission Gorge	<u>State</u>	<u>Certified</u>	
	Road	<u>Response</u>		
El Capitan Quarry/El Cajon	16820 El Monte Road	<u>State</u>	<u>Certified</u>	
<u>Mtn Mill Site</u>		Response		
Ketema Process Equipment	9484 Mission Park Place	Tiered Permit	No Action Required	
<u>Co., C/O Baker Process</u>				
Marine Parachute School La	In El Cajon, about 12	Military	No Further Action	
<u>Mesa</u>	miles northeast of	<b>Evaluation</b>		
	Downtown San Diego			
Montes Metal Finishing	10039 Prospect Avenue,	<u>Tiered Permit</u>	No Further Action	
	<u>K</u>			
Quiroz Recycling	<u>8514 Mast Avenue,</u>	<b>Inspection</b>	No Action	
	<u>Suite B</u>			
Santee Army Camp	=	Military	<u>Inactive – Needs</u>	
		<b>Evaluation</b>	<u>Evaluation</u>	

Table 4.4. City of Santee EnviroStor Cleanup Sites

Federal, state, and local laws are designed to regulate the production, storage, transport, and disposal of hazardous materials (refer to **Section 3**). These laws and the agencies that enforce hazardous materials compliance are described below.

The City also falls under the jurisdiction of the San Diego County Hazardous Waste Management Plan which is the primary planning document providing overall policy on hazardous waste management in the County. The plan describes how San Diego County's hazardous waste stream can be safely managed, and serves as the guide for local decisions regarding the management of hazardous wastes.

The Hazardous Material Division of the County of San Diego's Department of Environmental Health protects the health and safety of the public and the environment by assuring that hazardous materials and bio-medical waste are properly handled and stored. The Hazardous Materials Division assists regulated businesses in the City in developing their business plans, as well as developing an area plan for hazardous material emergency response coordination in the City and County.

The City also provides residential curbside pick-up of waste automotive oil and filters in addition to participating in a Household Hazardous Waste Program, which allows residents to safely dispose of any unused or leftover portions of products containing toxic chemicals. Residents can bring these types of materials to one of two collection facilities in their original containers for no-cost, safe disposal.

## <u>Federal</u>

# Agricultural Bioterrorism Protection Act (7 CFR 331; 9 CFR 121)

The Agricultural Bioterrorism Protection Act requires that entities that possess, use, or transfer agents or toxins deemed a severe threat to animal or plant health or products must notify and register with the Secretary of the U.S. Department of Agriculture (USDA). The USDA's Animal and Plant Health Inspection Service has been designated by the Secretary as the agency for implementing the provisions of the law for the USDA. Anyone using these agents on the project site are required to register with the USDA.

## Federal Insecticide, Fungicide, and Rodenticide Act (40 CFR 152–186)

The Federal Insecticide, Fungicide, and Rodenticide Act provided the U.S. Environmental Protection Agency (USEPA) with authority of pesticide labeling and establishing standards for certification of restricted pesticide application. The USEPA also has the authority to delegate pesticide enforcement authority to states by entering into cooperative agreements with state pesticide programs. Since 1975, California has had primary authority over pesticide enforcement in the state.

The USEPA uses its authority under the act to regulate the distribution, sale, use, and testing of plants and microbes producing pesticidal substances. The act's regulations would apply to any pesticide use by farm workers or handlers.

## Hazardous Materials Transportation Act (49 USC 5101–5127)

The Hazardous Materials Transportation Act was enacted to protect against the risks to life, property, and the environment that are inherent in the transportation of hazardous material in intrastate, interstate, and foreign commerce. The U.S. Department of Transportation receives the authority to regulate the transportation of hazardous materials from the Hazardous Materials Transportation Act.

## Resource Conservation and Recovery Act (40 CFR 239–282)

Enacted in 1976, the Resource Conservation and Recovery Act (RCRA) is the primary federal law governing the disposal of solid and hazardous waste in the United States. The RCRA was amended and strengthened by Congress in 1984 with the passing of the federal Hazardous and Solid Waste Amendments. These amendments to the RCRA required phasing out land disposal of hazardous waste. The RCRA has been amended on two occasions since the Hazardous and Solid Waste Amendments were passed: in 1992, with the passage of federal Facility Compliance Act, which strengthened enforcement of the RCRA at federal facilities, and in 1996, with the passage of the Land Disposal Program Flexibility Act, which provided regulatory flexibility for land disposal of certain wastes. Under the RCRA, individual states may implement their own hazardous waste programs in lieu of the RCRA if the state program is at least as stringent as the federal RCRA requirements and is approved by the USEPA. The preferred land use plan with schools includes the potential that a school could be within the boundaries of a project site that could generate hazardous materials waste.

## <u>State</u>

# California Department of Pesticide Regulation

The USEPA enacts laws covering minimum pesticide requirements that are enforced at the state level through cooperative agreements. Over the years, the California Legislature has passed more stringent laws covering pesticide registration, licensing, the sale and use of pesticides, and worker protection. The California Department of Pesticide Regulation is responsible for regulating pesticide use in California. The best way to solve a pesticide-related problem often combines regulatory action and voluntary adoption of improved pest management methods. The California Department of Pesticide Regulation has a legal mandate to encourage the use of environmentally sound pest management, including integrated pest management. Many California Department of Pesticide Regulation programs stress a least-toxic approach to pest management and promote risk reduction through information, encouragement, incentives, and community-based problem solving.

# California Fire Code (24 CCR 9)

The California Fire Code contains regulations consistent with nationally recognized accepted practices for safeguarding, to a reasonable degree, life and property from the hazards of the following: fire and explosion, hazardous conditions in the use or occupancy of buildings or premises, and dangerous conditions arising from the storage, handling, and use of hazardous materials and devices. It also contains provisions to assist emergency response personnel. The California Fire Code and the CBC use a hazard classification system to determine what protective measures are required to protect fire and life safety. These measures may include construction standards, separations from property lines, and specialized equipment.

# Environmental Health Standards for the Management of Hazardous Waste Law (22 CCR 66261.20–24)

The Environmental Health Standards for the Management of Hazardous Waste Law contains technical descriptions of characteristics that would classify wasted material, including soil, as hazardous waste. Specifically, a waste is considered hazardous if it is toxic (causes human health effects), ignitable (can burn), corrosive (causes severe burns or damage to materials), or reactive (causes explosions or generates toxic gases) in accordance with the criteria established in Article 3. Article 4 lists specific hazardous wastes, and Article 5 identifies specific waste categories, including RCRA hazardous wastes, non-RCRA hazardous wastes, extremely hazardous wastes, and special wastes. When excavated, soils with concentrations of contaminants higher than certain acceptable levels must be handled and disposed of as hazardous waste. When demolished, structural features containing lead-based paint also can be considered hazardous waste.

# <u>General Industry Safety Orders – Control of Hazardous Substances Law (CCR Title 8,</u> <u>Subchapter 7, Group 16, Article 109, Sections 5160–5199)</u>

The Control of Hazardous Substances Law establishes minimum standards for the use, handling, and storage of hazardous materials in all places of employment. Article 109 describes requirements including but not limited to emergency equipment in the workplace, measures to protect those engaged in the laboratory use of hazardous chemicals, cleanup operations or hazardous substance removal work, and processes for safety management practices. School site employees working with regulated chemicals and/or hazardous materials within laboratories and other facilities defined in Article 109 are subject to compliance with California Code of Regulations. Title 8.

# Hazardous Materials Release Response Plans and Inventory Act (Chapter 6.95, Section 25503.5, of the California Health and Safety Code)

The Hazardous Materials Release Response Plans and Inventory Act requires facilities that use, produce, store, generate, or have a change in business inventory of hazardous substances in quantities above certain limits to establish and implement a Hazardous Materials Management Plan or Business Plan. Hazardous Materials Business Plans (HMBPs) provide threshold quantities for regulated hazardous substances. When the indicated quantities are exceeded, an HMBP or Risk Management Program is required pursuant to the regulation. The Risk Management Program must disclose the type, quantity, and storage location of materials. The law also requires a site-specific Emergency Response Plan, employee training, and designation of emergency contact personnel. Any facility on the project site that exceed threshold quantities would be subject to these requirements.

### Hazardous Materials Transportation (CCR Title 13, Division 2, Chapter 6)

The State of California adopted the U.S. Department of Transportation regulations for the movement of hazardous materials by motor vehicle. In addition, the State of California regulates the transportation of hazardous waste originating in the state and passing through the state (California Code of Regulations, Title 26). Both regulatory programs apply in California. The state agency with primary responsibility for enforcing state hazardous materials transportation regulations and responding to hazardous materials transportation emergencies is the California Highway Patrol.

# <u>Underground Storage Tank Act (Chapter 6.7 of the California Health and Safety</u> <u>Code and CCR Title 23)</u>

The Underground Storage Tank Monitoring and Response Program was developed to ensure that the facilities meet regulatory requirements for monitoring, maintenance, and emergency response in operating underground storage tanks. The County's Department of Environmental Health and Quality is the local administering agency for this program.

# California Department of Toxic Substances Control

The DTSC is a public agency whose mission is to protect California's people and environment from harmful effects of toxic substances by restoring contaminated resources, enforcing hazardous waste laws, reducing hazardous waste generation, and encouraging the manufacture of chemically safer products. The Hazardous Waste Tracking System is the DTSC's data repository for hazardous waste manifest and ID number information. The DTSC relies on the Hazardous Waste Tracking System for issuing and tracking ID numbers, registering transporters, and providing information to analyze hazardous waste activities for policy purposes and enforcement. The system generates reports from 1993 to the present on hazardous waste shipments for generators, transporters, and treatment, storage, and disposal facilities. Additionally, EnviroStor is the DTSC's online data management system for tracking cleanup, permitting, enforcement, and investigation efforts at hazardous waste facilities and sites with known or suspected contamination issues (**Table 4.4**).

# California Environmental Protection Agency (CalEPA)

CalEPA was created in 1991 by Governor Pete Wilson by Executive Order W-5-91 to create a cabinet-level voice for the protection of human health and the environment and to ensure the coordinated deployment of state resources. The mission of CalEPA is to restore, protect, and enhance the environment to ensure public health, environmental quality, and economic vitality. CalEPA and the State Water Resources Control Board establish rules governing the use of hazardous materials and the management of hazardous waste.

Also, as required by Gov. Code, Section 65962.5, CalEPA develops an annual update to the Hazardous Waste and Substances Sites (Cortese List), which is a planning document used by the state, local agencies, and developers to comply with California Environmental Quality Act requirements in providing information about the location of hazardous materials release sites. The DTSC is responsible for a portion of the information contained in the Cortese List. Other state and local government agencies are required to provide additional hazardous material release information for the Cortese List.

#### <u>Regional</u>

# San Diego County Department of Environmental Health and Quality

The County's Department of Environmental Health and Quality Hazardous Materials Division is the Certified Unified Program Agency for Santee. The Unified Program's goal is to achieve consistency, consolidation, and coordination in the regulation of six state-regulated environmental programs through education, community and industry outreach, inspections, and enforcement. A Certified Unified Program Agency is the agency responsible for the implementation and regulation of the Unified Program. All inspectors in the Certified Unified Program Agency program are trained environmental health specialists who take part in a continuous education program to ensure consistency and uniformity during inspections.

The Hazardous Materials Division of the County's Department of Environmental Health and Quality protects the health and safety of the public and the environment by ensuring that hazardous

materials, hazardous waste, medical waste, and underground storage tanks are properly handled and stored. The Hazardous Materials Division assists regulated businesses in Santee in developing their business plans and developing an area plan for hazardous material emergency response coordination in Santee and San Diego County.

The County's Department of Environmental Health and Quality Health Hazardous Incident Response Team consists of 10 California State certified hazardous material specialists and is funded by a Joint Powers Agreement. The Hazardous Incident Response Team and the San Diego Fire and Life Safety Services Department investigate and mitigate chemically related emergencies or complaints. Emergency response activities include mitigation, containment, and control actions as well as hazard identification, evaluating the threat to local populations of the environment.

Santee falls under the jurisdiction of the San Diego County Hazardous Waste Management Plan, which is the primary planning document providing overall policy on hazardous waste management in the county. The plan describes how San Diego County's hazardous waste stream can be safely managed, and serves as the guide for local decisions regarding the management of hazardous wastes.

Santee also falls under the jurisdiction of the San Diego County HMBP. The purpose of the HMBP is to prevent or minimize damage to public health, safety, and the environment from a release or threatened release of a hazardous material at regulated facilities. The HMBP also provides emergency personnel with adequate information to help prepare and respond to chemical related incidents.

### Summary of Needs to Address Hazardous Materials

As shown in **Table 4.4**, very few hazardous materials cleanup sites are in Santee and the majority of them do not require further action. The City should continue to provide residential curbside pick-up of waste automotive oil and filters and participate in the Household Hazardous Waste Program.

### 4.10 Emergency Evacuation Route Analysis

A variety of hazard scenarios could require an evacuation in parts of Santee. These emergency situations could be caused by either natural or human-made events, such as wildfires, floods, or geologic or seismic hazards. An Emergency Evacuation Route Analysis (Appendix B) was prepared to identify evacuation capacity and network connectivity in Santee in addition to meeting the requirements associated with the following legislative updates:

- AB 747 (2019) requires the City to update the Safety Element of its General Plan to identify evacuation routes and assess the capacity, safety, and viability of those routes under a range of emergency scenarios.
- SB 99 (2019) requires the City to identify residential developments in hazard areas that do not have at least two emergency evacuation routes (i.e., neighborhoods or households within a hazard area that have limited accessibility).
- AB 1409 (2021) requires the City to identify evacuation locations.

Evacuation route viability is largely determined by the location of the hazard. Three types of analysis (wildfire, flood, and earthquake) were done in the Emergency Evacuation Route Analysis. Because Santee is surrounded by Very High FHSZs to the northeast, northwest, and southwest,

the City considered three wildfire scenarios (a fire originating in the northeast, a fire originating in the northwest, and a fire originating in the southwest). Because there are flood zones in Santee, evacuation route viability is assessed for flood hazards. Lastly, due to the proximity of Earthquake Fault Zones to Santee, evacuation route viability is assessed for an earthquake event.

The results of the analysis indicate that residents closest to the northern region of the City center are most vulnerable to wildfire and flooding hazards given the distance they would need to travel to access an outbound road for evacuation. The analysis identified that residents closest to the southern and southwestern regions of Santee are most vulnerable to evacuation from earthquake hazards given the bridges they would need to traverse to access an outbound road (Appendix B).

The Emergency Evacuation Route Analysis identified potential vulnerabilities in Santee according to a GIS assessment that evaluates whether all residential parcels have at least two points of egress. Under the earthquake hazard scenario, which conservatively assumes bridges in Santee are not viable, residential parcels in the southern region of Santee do not have any viable evacuation routes and residential parcels in the southwestern region of Santee only have one viable evacuation route (Mission Gorge Road) (Appendix B).

Evacuation locations for Santee residents would be dependent on the type and location of hazardous event affecting Santee and would be determined by first responders on site during emergency situations. For example, if a wildfire occurs north of Santee, residents would be directed to evacuate to community centers and City buildings in the southern portion of Santee, such as the City of Santee Operations Center, or to areas south of Santee, such as El Cajon. Evacuation locations would consist of places in Santee that residents are familiar with, such as parks, community centers, schools, libraries, City department buildings, or churches.

# Section 5. Climate Adaptation and Resilience

In accordance with SB 379, the Safety and Environmental Justice Element includes a set of goals, policies, and objectives based on a Vulnerability Assessment (**Appendix A**) identifying the risks that climate change poses to Santee and the specific assets (i.e., critical facilities) and populations at risk from climate change impacts.

# 5.1 What is Climate Adaptation and Resilience?

One of the most significant policy challenges of our time is to change how we plan, build, and sustain our societal and physical systems to become more resilient to the unavoidable impacts of climate change. As GHG emissions continue to rise, climate change effects will continue to accelerate. Even if global GHG emissions were to stop today, the climate would continue to change for some time as Earth's system responds to the emissions already in the atmosphere. Climate adaptation planning involves anticipating the effects of climate change and proactively planning and shifting current practices now to minimize future economic and social risks.

Climate resilience is the ability and capacity to prepare for, recover from, and adapt to trends and events caused by climate change. Improving climate resilience involves assessing how climate change will create new or alter current climate-related risks and taking steps to better cope with

these risks. These include severe weather, ocean warming and acidification, extended periods of drought and extreme temperatures, wildfire, and other increasingly unavoidable deleterious effects of climate change. More frequent and apparent extreme weather events have shown that resilience is an essential component of any comprehensive climate action program.

There is a robust and ever-growing movement fueled by local and national agencies and organizations alike geared toward building and improving climate resilience. From local community action to global treaties, addressing climate resilience is becoming a priority to avert the worst impacts of climate change. Climate resilience efforts encompass social, economic, technological, and political strategies that are being implemented in all facets of society, including public and private sectors.

The good news is that addressing these risks allows us to not only protect people and property, but also generate economic activity that will create domestic jobs and drive prosperity. Businesses prepare for risks every day and can factor climate change-related hazards into existing risk management frameworks to become more climate-resilient. Businesses and governments alike are planning now for the environment and economy they will face in the future.

# 5.2 What Is Climate Vulnerability?

Climate vulnerability describes the ways in which a person or a community is susceptible to sustaining harm or damage (impact) as a result of climate change. Climate vulnerability is a function of (1) climate-related changes in conditions that are experienced by a community and (2) the community's sensitivity to experiencing impacts because of those changing conditions.

Climate vulnerability is related to physical factors, such as whether a community is likely to experience increases in the frequency of dangerously high-heat events or to be flooded during more frequent/intense storms, as well as social and economic factors, such as inequities in access to and benefits of education, economic investment, and government services.

Climate vulnerability is experienced by urban, suburban, and rural communities, but communities may be vulnerable in different ways. An individual or community may be vulnerable with respect to multiple factors of vulnerability at once. The cumulative impacts of these disparities and inequities may contribute to heightened vulnerability among certain groups, which are often referred to as "vulnerable communities" or "sensitive populations" (see the *Vulnerable Communities/Sensitive Populations* discussion in **Section 5.3**).

# 5.3 Climate Adaptation Planning

The purpose of climate adaptation planning is to reduce vulnerability and increase the local capacity to adapt to projected climate change effects and build resilience through adoption of goals and policies. A climate-resilient city is one that is prepared for the effects of climate change and can provide essential services during and after hazard events. To plan for climate-related hazards in Santee that may affect people and assets, the City prepared a Vulnerability Assessment (Appendix A) in accordance with the process outlined in the California Adaptation Planning Guide.

The Cal OES developed the California Adaptation Planning Guide to provide guidance to local governments on local adaptation and resiliency planning by presenting an updated, step-by-step process that communities can use to plan for climate change. **Appendix A** includes a full description of the four phases of the adaptation planning process. Phase 1 of the climate adaptation planning process, which includes identifying the potential climate change effects and important physical, social, and natural assets in the community, concluded that the primary hazards of concern for Santee are extreme heat, wildfire, extreme precipitation, and drought. Phase 2 of the climate adaptation planning process includes determining climate vulnerability of populations, natural resources, and assets in the community by analyzing potential impacts and the community's capacity to adapt. The City's Vulnerability Assessment follows the process outlined in Phase 2 of the California Adaptation Planning Guide.

#### Emissions Scenarios

The Vulnerability Assessment uses Cal-Adapt modeling and supplemental analysis to project the impacts of these climate change hazards. Cal-Adapt provides local climate projections for jurisdictions in California using climate scenarios. Climate projections from Cal-Adapt and other sources rely on climate models, which are computer simulations that forecast future climate conditions under the various climate scenarios, described further below. While no model can project future conditions perfectly, current models are heavily reviewed by climate scientists and can accurately reproduce observed climate conditions.

The Intergovernmental Panel on Climate Change, an organization that represents the global scientific consensus about climate change, has identified four climate scenarios, which are referred to as Representative Concentration Pathways (RCPs), that can be used to project future climate conditions. RCPs are different scenarios that measure the future severity of climate change. RCP scenarios are defined by assumptions for the growth of GHG emissions and an identified point at which GHG emissions are expected to begin declining (assuming various GHG reduction policies or socioeconomic conditions). The four RCP scenarios (RCP 2.6, RCP 4.5, RCP 6.0, and RCP 8.5) are labeled with different numbers that refer to the increase in the amount of energy that reaches each square meter of Earth's surface under that scenario. The greater the number, the more severe future climate change conditions could be. For example, RCP 8.5 is the "business as usual" projection, which assumes that GHG emissions will continue to rise until at least the end of the twenty-first century. Below is a summary of the four emissions scenarios:

- RCP 2.6: Global GHG emissions peak around 2020 and then begin to decline substantially (low-emissions scenario).
- RCP 4.5: Global GHG emissions peak around 2040 and then begin to decline.
- RCP 6.0: Global emissions continue to rise until the middle of the century (2050).
- RCP 8.5: Global emissions continue to increase at least until the end of the century (2100) (high-emissions scenario).

<u>Cal-Adapt's models represent the range of expected climate changes (e.g., annual average maximum temperature) under RCP 4.5 and RCP 8.5.</u>

# <u>Hazards</u>

The Vulnerability Assessment addresses the climate change-related hazards most pressing to the City, including extreme heat, wildfire, extreme precipitation, and drought.

### Extreme Heat

The observed historical annual average temperature in Santee is 76.1 degrees Fahrenheit (°F). Average temperatures are projected to increase between 3.8°F and 4.7°F by mid-century (2035– 2064) and between 4.9°F and 8.1°F by end of century (2070–2099), depending on the emissions scenario. In addition, the number of extreme heat days is projected to increase from a historical average of 3 days per year to between 12 and 15 days by mid-century and 16 to 32 days by end of century. Warmer days will also be accompanied by an increasing number of warmer nights.

# <u>Wildfire</u>

Climate change can exacerbate wildfire risk. Wildfire risk is expected to continue to increase as a result of warmer temperatures, more frequent drought, changes in precipitation, and expanding WUI. According to the state's Fourth Climate Change Assessment, wildfire risk will continue to increase as the climate warms. Santa Ana winds, which are hot, strong, and gusty winds that produce extreme dryness, have fueled—and will continue to fuel—the most catastrophic wildfires in the county. According to local climate projections, conditions that are optimal for the spread of wildfire— (1) changes in precipitation (measurable precipitation becoming less frequent), (2) changes in water availability (drought becoming more common), and (3) changes in weather (air becoming drier, temperatures becoming hotter, winds becoming stronger)—will become more prevalent. The county is expected to experience an increase in wildfire risk, especially during "peak season" in December and January, as a result of climate change.

#### Extreme Precipitation

Severe weather, such as atmospheric rivers, powerful rainstorms, and subsequent flooding, will occur more frequently throughout California as a result of climate change due to warmer weather and more moisture in storm systems. Climate change is expected to result in fewer but more intense rainstorms in which rainfall is rapid during a short amount of time. This could result in damages from floods. These heavy precipitation incidents could result in additional flows into the City's primary waterways—San Diego River, Forester Creek, Sycamore Creek, and intermittent creeks paralleling Big Rock Road and Fanita Drive. Severe storms can result in overtopping or other types of dam failure, street flooding, or mudslides and debris flows (refer to the *Debris Flow Deposits* discussion in **Section 4.2**, *Geologic/Seismic Hazards*), which can ensue on an annual basis.

### <u>Drought</u>

Regionally, droughts are projected to become more frequent and intense in San Diego County and throughout Southern California by mid-century. Historically, Santee has averaged a 126-day dry spell for each year between 1961 and 1991. Dry spells are projected to increase by 4 to 8 days by mid-century and 6 to 14 days by end of century, depending on the emissions pathway. Drought

episodes effectively lower fuel moisture conditions to create longer fire seasons. Drought's toll on community water sources creates food and water security concerns in addition to economic considerations that showcase the importance of proper preparedness.

#### Critical Facilities

The Vulnerability Assessment evaluated the vulnerability of Santee's critical facilities. The Vulnerability Assessment incorporated and supplemented the list of critical facilities identified for Santee in the County's 2023 MJHMP. This list includes the following types of critical facilities:

- City Operations
- Public Safety Facilities
- Public Health Facilities
- Community Centers
- Utility Facilities
- Critical Transportation
- Schools

Critical transportation facilities were determined to be the type of critical facility most impacted by, or vulnerable to, extreme heat. Public health facilities, schools, and critical transportation were determined to be vulnerable to wildfire. Public health facilities and schools in Santee are vulnerable to extreme precipitation and associated flooding damages. Utility facilities are the only critical facility type considered to be highly vulnerable to the effects of drought. See the Vulnerability Assessment (Appendix A) for a full discussion of the impacts of these climate change hazards on critical facilities in Santee.

The Safety and Environmental Justice Element includes several goals, objectives, and policies to address the potential for climate change-related impacts to critical facilities in Section 7. *Vulnerable Communities/Sensitive Populations* 

The Vulnerability Assessment also analyzed climate change-related impacts on the types of populations that are most sensitive or vulnerable to these effects. These populations include the following:

- People with access and functional needs (AFNs): People in multi-lingual communities, families with infants and children, older adults, people with disabilities, and people experiencing homelessness.
- People with Existing Chronic Health Conditions: People with diabetes, cardiovascular diseases, psychiatric illnesses, and respiratory diseases (e.g., asthma).
- People with Low Incomes: People with incomes that are between 50 percent and 80 percent of the area median income. See Section 6.2, Mapping Disadvantaged Communities, for a detailed discussion of low-income areas in Santee.

- People Experiencing Homelessness: People who are living in a place that is not meant for human habitation, in emergency shelters, or in transitional housing or exiting an institution where a person temporarily resided.
- Outdoor Workers: People who spend most of their workday outside (e.g., gardeners, landscapers, and park/recreation staff).
- Older Adults: People who are 65 years of age or older.
- Children: People who are 17 years of age or younger.
- People without Life-Supporting Resources: People who lack adequate housing or ways to cool living space, are renters/tenants, or are food-insecure.

The populations that were determined to be most vulnerable to extreme heat include people with AFNs, people experiencing homelessness, outdoor workers, and people without life-supporting resources. The identified sensitive populations, except for people with existing chronic health conditions, were found to be highly vulnerable to wildfire hazards. None of the identified sensitive populations were determined to be highly vulnerable to extreme precipitation. The identified sensitive populations, except people with existing chronic health conditions, are highly vulnerable to drought. Appendix A includes a full discussion of the impacts of these climate change hazards on Santee's vulnerable populations.

The Safety and Environmental Justice Element includes several goals, objectives, and policies to address the potential for climate change-related impacts to vulnerable populations in Section 7.

# Section 6. Environmental Justice – Existing Conditions

Environmental justice is defined by the California Environmental Justice Alliance as "the basic right of people to live, work, go to school, and pray in a healthy and clean environment—regardless of race, gender, sexual orientation, age, culture, ability, nationality, or income."

In Santee, as in many other places, areas with the highest concentration of low-income families are more likely to be exposed to pollution and environmental hazards. Consequently, they experience higher rates of health-related issues. SB 1000, which requires cities and counties with disadvantaged communities to incorporate environmental justice policies in their General Plans, has seven primary objectives:

- <u>1. Prioritize the Needs of Our Disadvantaged Communities</u>
- 2. Promote Civic Engagement
- 3. Improve Access to Public Facilities
- 4. Promote Food Access
- 5. Promote Safe and Sanitary Housing
- 6. Reduce Pollution Exposure

#### 7. Promote Physical Activity

In Santee, as in many other jurisdictions, areas with the highest concentration of low-income families are more likely to be exposed to pollution and environmental hazards. Consequently, the populations in these areas experience higher rates of health-related issues. This Element incorporates an analysis of environmental justice issues in Santee and identifies goals, objectives, and policies aimed at addressing community issues in equity (see Section 7). Addressing equity and environmental justice plays an important part in achieving the General Plan vision of improving the quality of life for citizens, workers, and visitors of Santee.

Once a city identifies disadvantaged communities, the OPR Environmental Justice Element Guidelines recommend that local agencies work with these communities to understand existing conditions with respect to the following environmental justice topic areas to better understand the drivers of inequality:

- Pollution exposure, including access to clean air and water
- Access to public facilities and services, including access to transit, healthcare, childcare, parks, and other civic facilities
- Access to healthy food
- Access to safe and sanitary homes
- Access to physical activity and recreational opportunities
- Unique or compounded health risks, including climate exposure

# 6.1 Community Engagement

A key environmental justice principle is to involve the communities most impacted by pollution, toxins, and other environmental problems that can impact their health and well-being in the public decision-making process. Resident participation in decision-making processes can bring knowledge, information, and ideas that local governments may not have thought of. Community members affected by environmental issues can share their firsthand knowledge of problems and provide input on solutions.

The City conducted two community stakeholder meetings with City staff, members of community programs, and representatives of the Santee Fire Department, Santee Sheriff's Station, and healthcare districts. The stakeholder meetings were held on June 16, 2021 and December 1, 2021. The first stakeholder meeting on December 1, 2021, included a discussion of the goals, objectives, and policies presented in this Safety and Environmental Justice Element.

Following the first stakeholder meeting, the City developed an online Community Survey to identify what environmental justice topic areas were of greatest concern to residents. The Community Survey was made available in English and Spanish and was open from March 11, 2021, to April 30, 2021 and again from June 23, 2021 to July 7, 2021. The Community Survey included the following questions:

- 1. What conditions make it difficult for you to have good health and living conditions?
- 2. Which three issues do you think are the most important for the City to address to ensure that your neighborhood has access to healthy living conditions?
- 3. What improvements would you like to see in your City?
- 4. How much influence do you think residents have on City decisions that affect community health and environmental issues?
- 5. What is your age in years?
- 6. Which race/ethnicity category best describes you?
- 7. What is the highest education level you achieved?

A total of 121 responses were received from City residents. The results of the Community Survey were shared and discussed with community stakeholders during the second stakeholder meeting on June 16, 2021. The City used the Community Survey results and commentary from the stakeholders to refine the environmental justice goals, objectives, and policies to address environmental justice issues relevant to the community (Appendix E).

The key findings of the Community Survey are discussed in the Environmental Justice Existing Conditions Assessment (Appendix D), and survey results are provided in the Environmental Justice Community Survey Results (Appendix E).

#### 6.2 Mapping Disadvantaged Communities

#### <u>CalEnviroScreen</u>

The OPR Environmental Justice Element Guidelines recommend using CalEnviroScreen, a computer mapping tool used to identify communities disproportionately burdened by multiple sources of pollution and with population characteristics that make them more sensitive to pollution (i.e., disadvantaged communities). Using data from federal and state sources, CalEnviroScreen uses indicators to determine if a community is disadvantaged and disproportionately affected by pollution. Exposure and environmental effects are components comprising a Pollution Burden group, and the Sensitive Populations and Socioeconomic Factors are components comprising a Population Characteristics group. The four components are made up of environmental, health, and socioeconomic data from 21 indicators (Table 6.1, CalEnviroScreen 4.0 Indicator and Component Scoring). The CalEnviroScreen score is calculated by combining the individual indicator scores within each of the four components, then multiplying the Pollution Burden and Population Characteristics scores to produce a final score.

Pollution Burden Group	Population Characteristics Group
<u>Exposure</u>	Sensitive Populations
Ozone Concentrations	<ul> <li>Cardiovascular Disease</li> </ul>
<ul> <li>PM<sub>2.5</sub> Concentrations</li> </ul>	<ul> <li>Low Birth-Weight Births</li> </ul>
Diesel Particulate Matter Emissions	<ul> <li>Asthma Emergency</li> </ul>
<ul> <li>Drinking Water Quality</li> </ul>	Department Visits

#### Table 6.1. CalEnviroScreen 4.0 Indicator and Component Scoring

Pollution Burden Group	Population Characteristics Group
Pesticide Use	
Toxic Releases from Facilities	
Traffic Density	
<ul> <li>Children's Lead Risk from Housing</li> </ul>	
Environmental Effects	Socioeconomic Factors
<u>Cleanup Sites</u>	<ul> <li>Educational Attainment</li> </ul>
<ul> <li>Groundwater Threats</li> </ul>	Linguistic Isolation
Hazardous Waste	<ul> <li>Poverty</li> </ul>
Impaired Water Bodies	<ul> <li>Unemployment</li> </ul>
Solid Waste Sites and Facilities	<ul> <li>Housing Burdened Low</li> </ul>
	<ul> <li>Income Households</li> </ul>

Notes: PM<sub>2.5</sub> = fine particulate matter measuring no more than 2.5 microns in diameter

CalEnviroScreen scores are converted to percentiles for census tracts across California that can be ranked relative to other areas of the state. In general, the higher the score or percentile, the more impacted a community is compared to other areas of the state. As shown on Figure 6.1, *City of Santee Disadvantaged Communities: CalEnviroScreen*, the southernmost portion of Santee, west of SR-67, south of Mission Gorge Road, and bounded by the City boundary to the west and south, exceeds the 75th percentile of CalEnviroScreen scores. These areas are considered disadvantaged communities.

#### Low-Income Areas

In addition to using CalEnviroScreen, the OPR Environmental Justice Element Guidelines recommend mapping low-income areas to identify disadvantaged communities. To identify communities with low incomes, the City compared household income levels to two different thresholds:

1. Statewide median household income

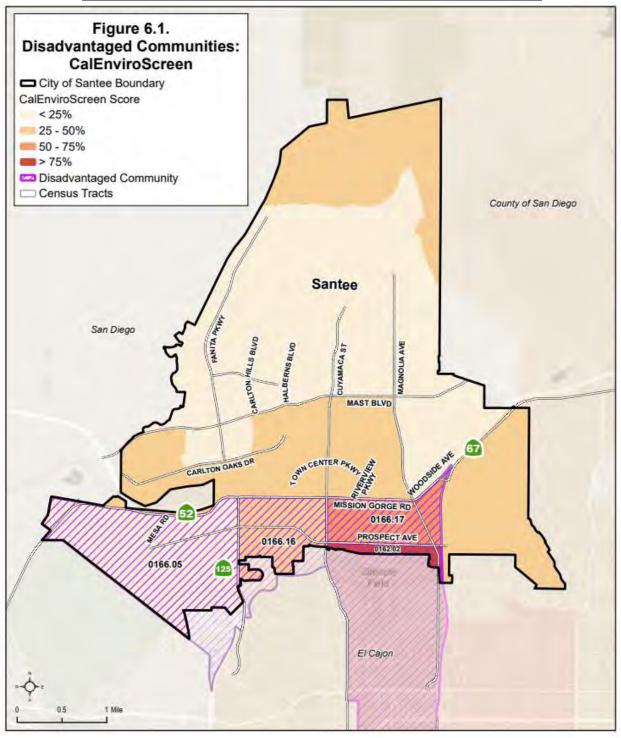
2. HCD state income limits/area median income

The average statewide median household income (in 2018 dollars) between 2015 and 2019 was \$75,235. As shown on Figure 6.2, *City of Santee Disadvantaged Communities: Statewide Median Income*, only a small portion of households along the southern edge of Santee are below the statewide median income threshold.

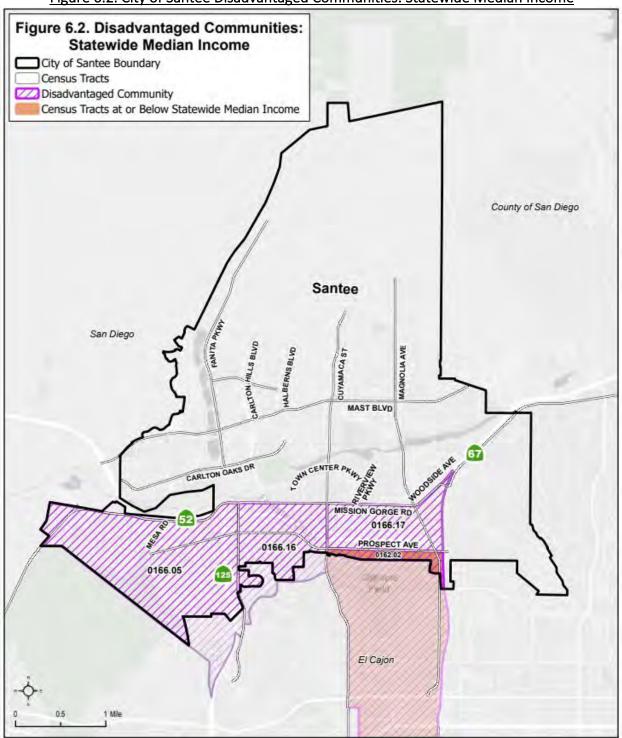
The 2021 area median income established by the HCD for a four-person household in the county was \$95,100. As shown on **Figure 6.3**, *City of Santee Disadvantaged Communities: HCD State Income Limits*, Santee identified four census tracts (166.05, 166.16, 16.17, 162.02) intersecting Santee with an average median household income below the HCD's state income limits for the region.

As shown on **Figure 6.1** through **Figure 6.3**, disadvantaged communities are in the southernmost portions of Santee, west of SR-67, south of Mission Gorge Road, and bounded by the City boundary to the west and south. In addition, the area of Santee between Cuyamaca Street east to SR-67 on the southern side of Prospect Avenue is mapped as a disadvantaged community by the California Office of Environmental Health Hazard Assessment.

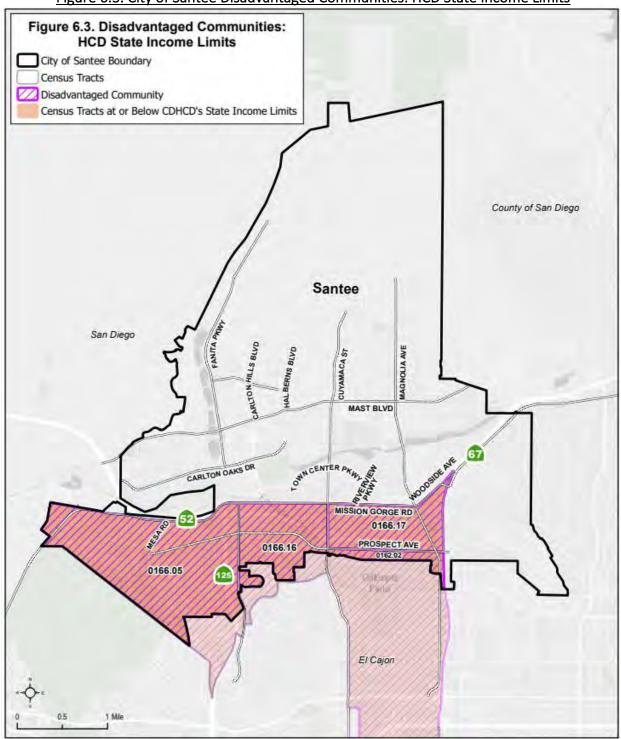
The Environmental Justice Existing Conditions Assessment (Appendix D) provides a full analysis of the extent that designated disadvantaged communities in Santee are exposed to environmental burdens or lack access to public goods and services. Key findings of this assessment are summarized in Section 6.3, Key Findings of the Existing Conditions Assessment.







#### Figure 6.2. City of Santee Disadvantaged Communities: Statewide Median Income



#### Figure 6.3. City of Santee Disadvantaged Communities: HCD State Income Limits

#### 6.3 Key Findings of the Existing Conditions Assessment

The Environmental Justice Existing Conditions Assessment (Appendix D) assessed six environmental, health, and socioeconomic topic areas, including pollution exposure, access to public facilities and services, access to healthy food, access to physical activity and recreational opportunities, access to safe and sanitary homes, and unique or compounded health risks related to climate change.

To assess existing conditions with respect to each environmental justice topic area, the City relied on U.S. Census data, which is the primary and standard source of high-resolution geographic information about the U.S. population; however, U.S. Census data can have large margins or error attributable to specific methodological decisions made by the U.S. Census Bureau. Therefore, U.S. Census data was supplemented by local data and knowledge, including the results of the Community Survey and community stakeholder meetings (refer to **Section 6.1**, *Community Engagement*). Stakeholders were able to "ground truth" data by providing individual observations of their lived experiences in Santee. The Community Survey also helped to quantify areas of concern to Santee residents. The key findings of the Environmental Justice Existing Conditions Assessment are listed below. See **Appendix D** for the full analysis of existing environmental justice conditions in Santee and **Appendix E** for the results of the Community Survey.

# Pollution Exposure

The Environmental Justice Existing Conditions Assessment analyzed areas of Santee with poor air guality and issues related to water quality, accessibility, and affordability. Proximity to high-volume roadways, hazardous waste sites, and heavy industrial land use types and other high-emission sources can result in adverse health impacts. Disadvantaged communities are often disproportionately subjected to adverse air quality and water quality due to proximity to polluting activities and are more likely to have underlying medical conditions that may be worsened by pollution. As recommended by the OPR Guidelines, the City employed California Office of Environmental Health Hazard Assessment indicators to assess water quality, accessibility, and affordability. The Environmental Justice Existing Conditions Assessment identified the following key findings related to pollution exposure:

- Disadvantaged communities experience greater exposure to air pollutants due to their proximity to high-traffic corridors and industrial activity (Refer to Figures 7 and 8).
- While drinking water quality is not an issue for Santee, Santee's disadvantaged communities experience greater instances of chemical, sediment, and sewage pollutants from illicit stormwater discharges due to their proximity to the San Diego River; however, these discharges do not impact the community's potable water quality (Refer to Figure 10).
- Although not analyzed explicitly due to the lack of data availability, the pollution source that residents (46 percent of Community Survey respondents) are most concerned about is the prevalence of trash and debris throughout Santee, with many specifically pointing to homeless encampments along the river as a major source of pollution (Refer to Figure 10).

#### Access to Public Facilities and Services

For this analysis, access to public facilities and services included access to transit, healthcare, childcare, parks, and other civic facilities. The Environmental Justice Existing Conditions Assessment identified the following key findings related to access to public facilities and services:

- Many residences in disadvantaged communities are not within walking distance to their nearest school. However, residences in disadvantaged communities are generally within walking distance of daycare centers and transit, which can provide residents with opportunities to access other community services without using their personal vehicle (Refer to Figures 11, 12, and 13).
- Despite low transit fares and well-distributed bus stops, most residents still rely on their personal vehicle. Nevertheless, 21 percent of Community Survey respondents indicated that heavy traffic restricted access to key destinations (Refer to Figure 13).
- Residents in disadvantaged communities are less likely to have health insurance, which may result in higher rates of avoidable emergency room visits (Refer to Figure 14).
- Several medical facilities serve the area in and around the City's disadvantaged communities (Refer to Figure 14).

#### Access to Healthy Food

Access to healthy food is essential to improving health conditions. Many Californians also experience "food insecurity," defined as a household's inability to provide enough food for every person to live an active, healthy life. Although individuals make food choices, those choices are made within the context of what is consistently accessible, affordable, or available. The Environmental Justice Existing Conditions Assessment identified the following key findings related to access to healthy food:

- Disadvantaged communities have slightly less access to healthy food outlets compared to other areas in Santee and San Diego County. Less access to healthy food and higher prevalence of fast-food establishments in disadvantaged communities may contribute to higher obesity rates. (Refer to Figure 16).
- While Santee has several food banks and summer meal program sites, the southwestern portion of Santee with disadvantaged communities is not served by these food distribution sites (Refer to Figure 15).
- Overall, Community Survey respondents felt that they had sufficient access to healthy food.

### Access to Physical Activity and Recreational Opportunities

Increasing physical activity is one of the most important contributors to improved health. It helps people manage weight; reduces risk of cardiovascular disease, type 2 diabetes, osteoporosis, and some cancers; and improves mental health and well-being. The Environmental Justice Existing Conditions Assessment identified the following key findings related to access to physical activity and recreational opportunities:

- Disadvantaged communities in the southwestern portion of Santee have fewer sidewalks and bike paths compared to other areas of Santee, limiting their ability to use active transportation modes (Refer to Figure 18).
- Nearly 46 percent of Community Survey respondents indicated that limited access to and/or deterioration of City infrastructure and facilities that support physical activity, including sidewalks, bicycle lanes, parks, and recreation centers, is the most important issue for the City to address to ensure all residents have access to healthy living conditions.

# Access to Safe and Sanitary Homes

Housing location, quality, affordability, and stability have health implications. Often, individuals who experience unique or compounding health risks face multiple, interrelated barriers to accessing safe, stable, and affordable housing. The Environmental Justice Existing Conditions Assessment identified the following key findings related to access to safe and sanitary homes:

- Although housing costs in Santee are less expensive than housing costs in other areas in the county and state, 48 percent of renters and 31 percent of homeowners in Santee are cost burdened (Figure 20).
- High housing costs impact renters in disadvantaged communities more severely because they often include low-income residents.
- Community Survey respondents were much more concerned with housing affordability than the safety and quality of homes—32 percent of respondents thought affordable housing is the most important issue for the City to address as opposed to the 2 percent of respondents who thought safe and sanitary housing is the most important issue.

# Unique or Compounded Health Risks

Disadvantaged communities that suffer disproportionate environmental burdens are also likely to be more vulnerable to climate impacts. Climate change may even cause displacement from increased frequency or severity of hazards like flooding, drought, wildfire, extreme heat, and other impacts (refer to **Section 5.3**). The Environmental Justice Existing Conditions Assessment identified the following key findings related to unique or compounded health risks due to climate change:

• The area with the greatest vulnerability to extreme heat, which poses a significant public health threat, is the southern portion of Santee. However, overall, Santee, including disadvantaged communities, is not particularly vulnerable to extreme heat (Refer to Figure 21).

The Safety and Environmental Justice Element aims to address these issues by integrating the primary areas of concern identified in the Environmental Justice Existing Conditions Assessment (Appendix D) into a series of implementation measures outlined in Section 7. These measures have been written in consultation with stakeholders to create a document that provides a blueprint for a more equitable, sustainable quality of life in Santee.

# Section 7. Goals, Objectives, and Policies

The City is adopting goals, objectives, and policies as defined below to address the different safety hazards and environmental burdens faced by the community:

- Goals: High-level objectives that address different safety and environmental justice topic areas, including those that were addressed in the Environmental Justice Existing Conditions Assessment (Appendix D).
- **Objectives:** Established focus areas and direction on how the City will accomplish each safety and environmental justice goal.
- Policies: Specific actions the City will take to advance a specific goal and objective.

In accordance with SB 379 and the process outlined in the California Adaptation Planning Guide, the City prepared a Vulnerability Assessment (Appendix A) that identifies the risks that climate change poses to Santee and the specific assets (i.e., critical facilities) and populations at risk from climate change impacts. The Safety and Environmental Justice Element includes several goals, objectives, and policies to address the potential for climate change-related impacts to critical facilities based on the results of the Vulnerability Assessment (Appendix A). In addition, the City prepared an Emergency Evacuation Route Analysis (Appendix B) in accordance with AB 747, SB 99, and AB 1409. The analysis identifies evacuation routes that are impacted by various hazard scenarios and the results of the Emergency Evacuation Route Analysis (Appendix B) when creating the goals, objectives, and policies related to public safety.

The OPR Guidelines recommend that local agencies work with residents to understand the environmental burdens and drivers of inequality when developing the Environmental Justice Element. Accordingly, the City prepared the Environmental Justice Existing Conditions Assessment (Appendix D), which includes information from the stakeholders and the Community Survey (Appendix E).

The City considered the findings from the Environmental Justice Existing Conditions Assessment (Appendix D) when creating the goals, objectives, and policies, which seek to address the following:

Reduce unique or compounded health risks

Promote civic engagement in the public decision-making process

Prioritize improvements and programs

# <u>Overall Goals:</u>

• The goal of the Safety Element is to minimize injuries, loss of life, and property damages resulting from natural and human-induced safety hazards.

• The goal of the Environmental Justice Element is to minimize the effects of climate change, pollution, and other hazards and environmental effects.

# 7.1 Safety Element

# Goal 1: Reduce impacts from and improve the City of Santee's capacity to adapt to natural hazards.

#### 5.0 Needs

While it is not possible to create an environment free from safety hazards, steps can be taken to minimize the level of risk for citizens and property. This can best be accomplished by having a population, which is aware of the hazards, and also of measures that can reduce or eliminate them. Those agencies within the City whose responsibility it is to further the health and well-being of Santee's residents need to continue striving for readiness in implementing any preventative or emergency actions which might be required.

# 5.1 Flooding

<u>Waterways</u> - The major waterways in the City may continue to cause flooding problems. Since urban development generally creates more runoff than vegetated lands, it is important that future planning take into consideration the impacts of potential increased runoff. Any project proposed within a floodplain area is subject to site plan review. In addition, planning for flood control improvements for the San Diego River and other City waterways must be comprehensive, and balanced with other goals such as providing recreation and protecting valuable habitat and species, prior to constructing any improvements.

<u>Water Reservoirs</u> - Some homes could be damaged by water runoff from a rupture of any of the seven water reservoirs and upstream dams. It is important that future planning takes into consideration the general direction of flow in the event of a rupture in any of the reservoirs and avoids the placement of buildings in those areas. The City should encourage the water district to complete inundation studies for existing and planned reservoirs in the <u>City</u>.

### 5.2 Geologic / Seismic Hazards

Potential geologic problem areas exist within the City of Santee, as indicated on the <u>Geotechnical/Seismic Hazard Map</u>, Figure 8 3. While the certainty of occurrence, timing, and degree of significance of geologic and/or seismic hazards cannot be accurately predicted today, it is possible to take appropriate actions which may minimize the loss of life and destruction of property within the City caused by geologic or seismic hazards.

The City should continue to evaluate geologic and seismic risks during the review of development proposals, as part of the environmental review process. Mitigation measures should be identified for any significant geologic or seismic risks that are identified and these measures should be placed as conditions of approval for the project. The identification of impacts and mitigation measures should be based on a project specific geotechnical investigation. The type of study required should be based on the type of project proposed and the location of the project site on the Geotechnical / Seismic Hazard Map.

<u>Seismic Hazards</u> - Potential seismic hazards within the City associated with movement along regionally active faults can neither be prevented nor predicted with any certainty. However, the existing City of Santee Emergency Plan needs to be reviewed and updated periodically to ensure that it continues to meet the changing needs of residents, transportation systems and public services in the event of a seismically induced emergency.

# 5.3 Fire Hazards

Santee's fire problems are primarily related to the large amount of brush-covered vacant land within the City, which are oftern not easily accessible. To minimize this potential hazard, the existing weed abatement program and other preventative measures should be emphasized. As development within the City's vacant hillside areas proceeds, adequate water pressure and delivery systems, emergency vehicle access, non combustible roofing material and brush clearance zones should be required to ensure fire safety.

# 5.4 Crime Hazards

The most frequent crime problems within the City are thefts and burglaries within higher density residential areas, and within businesses located along Mission Gorge Road. These problems can continue to be addressed for new development through the utilization of improved building design techniques and lighting, which take into consideration defensible space strategies and through the continued promotion of the Neighborhood and Kids Watch Programs and enforcement actions for existing developed areas of the City. In addition, parking lot surveillance systems for large scale commercial developments have also proven to be beneficial.

# 5.5 Traffic Hazards

Traffic accidents along Mission Gorge Road are primarily due to heavy traffic volumes in association with numerous entrances and exits, which results in an increase in conflicting traffic movements. The City should continue to require the installation of shared driveways and reciprocal access between adjoining properties, in association with the implementation of other traffic control devices including the utilization of center medians, left turn pockets and signalized intersections, all of which would reduce conflicting traffic movements and potential for traffic accidents.

# **5.6 Aircraft Hazards**

There are currently no areas in the City which are within designated crash hazard zones as identified in the Comprehensive Land Use Plans for either Gillespie Field or Marine Corps Air Station Miramar. However, the various Airport Safety Zones designated by the Caltrans Division of Aeronautics do extend into the City. While these areas are almost entirely developed, the City should ensure that future development or redevelopment in the most restrictive safety zones addresses airport safety issues through measures such as recordation of avigation easements and should discourage the establishment of sensitive uses such as hospitals and schools in those zones. Future updates of the CLUPs for these two airfields should be carefully reviewed by the City to identify any future aircraft safety issues.

#### **5.7 Disaster Preparedness**

The City has an Emergency Operations Plan that provides specific implementation measures in case of any natural or human-induced disasters. Update of this Plan is an ongoing process by which the City maintains an adequate level of public safety.

The City also has implemented procedures to initiate a coordinated Emergency Operations Center in the event of a significant natural or man-induced disaster. The City should continue to provide annual training to critical personnel to improve effectiveness in the event of an actual disaster.

#### <del>6.0 Goal</del>

The goal of the Safety Element is to minimize injuries, loss of life, and property damages resulting from natural and human-induced safety hazards. 7.0 Objectives and Policies

# *Objective 1: Minimize injuries, loss of life, and property damage resulting from flood hazards.*

#### **Policies**

<u>Policy 1.1</u> The City should <u>E</u>encourage the use of innovative site design strategies within the floodplain, which ensure the minimization minimizing of flood hazards and maintenance of the maintaining the natural character of waterways and maximize the use of water as a design feature.

<u>Policy 1.2 All-Require that developments</u> proposed within a floodplain area <u>use shall be required</u> by the City to utilize-design and site planning techniques to ensure that structures are elevated at least <u>1</u>one foot above the 100-year flood level.

<u>Policy 1.3</u> <u>All proposed projects which Ensure that proposed projects that</u> would modify the configuration of any of the three main waterways in Santee (San Diego River and Sycamore and Forester Creeks) <del>shall beare</del> required to submit a report prepared by a registered hydrologist that analyzes potential effects of the project downstream <del>as well as in and within</del> the local vicinity.

<u>Policy 1.4 The City should A</u>actively pursue the improvement of drainage ways and flood control facilities so as to lessen recurrent flood problems and include such public improvements in the Capital Improvements Program for <u>Santee the City</u>.

<u>Policy 1.5 The City should Ppursue</u> the identification of flood hazard areas along Fanita and Big Rock Creeks and apply protective measures where necessary.

<u>Policy 1.6 The City should R</u>require a hydrologic study, including the analysis of effects on downstream and upstream properties and on the flood-carrying characteristics of the stream, for

development proposed in the floodplain.

<u>Policy 1.7 Ensure that  $\subseteq_{c}$  ritical  $\equiv_{e}$  mergency uses (hospitals, fire stations, police stations, the Emergency Operations Center, public administration buildings and schools) shall not be located in flood hazard areas or in areas that would affect their ability to function in the event of a disaster.</u>

<u>Policy 1.8 Prohibit</u> <u>D</u>development within the 100-year floodway-shall be prohibited, subject to the provisions of the City's <u>of Santee's</u> Flood Damage Prevention Ordinance.

<u>Policy 1.9</u> For the purpose of land division, <u>Eensure that</u> floodway areas <u>areshall</u> not be included in the calculation of net area for the purpose of land division.

Objective 2:-0 Minimize the loss of life and destruction of property in Santee caused by seismic and geologic hazards. Increase awareness of geotechnical and seismic hazards to avoid or minimize the effects of hazards during the planning process for new development or redevelopment and to mitigate the risks for existing development.

#### **Policies**

<u>Policy 2.1 The City should Uutilize existing and evolving geologic, geophysical -and engineering knowledge to distinguish and delineate those areas that are particularly susceptible to damage from landslides and slope instability, liquefaction, and dam inundationseismic and other geologic conditions.</u>

<u>Policy 2.2 The City should ensure that if a project is For projects proposed in an areas identified in the geologic hazard category area, the geologic/geotechnical consultant shall establish herein as seismically and/or geologically hazardous, the proposal shall demonstrate through appropriate geologic studies and investigations that either the unfavorable conditions do not exist in the specific area in question or that they may be avoided or can be mitigated through proper site planning, design and construction.</u>

<u>Policy 2.3</u> The City shall require that all potential geotechnical and soil hazards be fully investigated at the environmental review stage prior to project approval. Such investigations shall include those identified by Table 8.1, <u>Determination of Geotechnical Studies Required</u>, and such soil studies as may be warranted by results of the Initial Environmental Study. As shown in Table A-1, Determination of Geotechnical Studies Required, of the Geotechnical/Seismic Hazard Study Group I, II, III, and IV facilities require a Geotechnical Investigation, a Geologic Investigation, and a Seismic Hazard Study specific to the project. Additionally, the State of California requires reports for public schools, hospitals, and other critical structures to be reviewed by the State Architect.

# *Objective 3:-O <u>Minimize injuries, loss of life, and property damage resulting from</u> <i>fire hazards.*

## <u>Policies</u>

**Policy 3.1** Proposed developments should Mandate that a proposed development in a State Responsibility Area or Very High Fire Hazard Severity Zone be approved only after it is determined that there will be a Fire Protection Plan is in place that includes measures to avoid or minimize fire hazards, such as adequate water pressure to maintain the required fire flow at the time of development.

<u>Policy 3.2</u> The City should e<u>E</u>nsure that all new development meets established response time standards for fire and life safety services <u>and that all new development in State Responsibility</u> <u>Areas or Very High Fire Hazard Severity Zones requires fuel modification around homes and subdivisions.</u>

**Policy 3.3** Avoid expanding new residential development, essential public facilities, and critical infrastructure in areas subject to extreme threat or high risk, such as High or Very High Fire Hazard Severity Zones, or areas classified by the California Department of Forestry and Fire Protection as having an Extreme Threat classification on Fire Threat Maps unless all feasible risk reduction measures have been incorporated into project designs or conditions of approval.

**Policy 3.4** Prohibit land uses that could exacerbate the risk of ignitions in High or Very High Fire Hazard Severity Zones, such as outdoor storage of hazardous or highly flammable materials, automobile service or gas stations, or temporary fireworks sales.

Policy 3.5 Prohibit land uses that could place occupants at unreasonable risk in High or Very High Fire Hazard Severity Zones, such as areas with large events or assembly of people and healthcare facilities.

Policy 3.6 Encourage the use of conservation easements or establish a Transfer of Development Rights Program in undeveloped wildland areas within High or Very High Fire Hazard Severity Zones.

<u>Policy 3.7</u> The City shall r<u>R</u>equire the installation of fire hydrants and establishment of emergency vehicle access, notably before construction with combustible materials can begin on an approved project.

<u>Policy 3.8</u> The City shall r<u>R</u>equire emergency access routes in all-developments to be adequately wide to allow the entry and maneuvering of emergency vehicles to ensure that new development has adequate fire protection.

<u>Policy 3.9</u> <u>All-Mandate that</u> proposed development shall satisfy the minimum structural fire protection standards in the adopted edition of the <u>Uniform Fire and Building Codes</u> <u>California Building</u> <u>Standards Code and California Fire Code</u>; however, where deemed appropriate, the City <u>of Santee</u> shall enhance the minimum standards to provide optimum protection.

**Policy 3.10:** Mandate that all new development in the Very High Fire Severity Zones comply with the most current version of the California Building Code and California Fire Code.

**Policy 3.11:** Mandate that all new development meet or exceed Title 14, California Code of Regulations, Division 1.5, Chapter 7, Subchapter 2, Articles 1–5 (starting with Section 1270) (SRA Fire Safe Regulations), and Title 14, California Code of Regulations, Division 1.5, Chapter 7, Subchapter 3, Article 3 (starting with Section 1299.01) (Fire Hazard Reduction Around Buildings and Structures Regulations), for State Responsibility Areas and/or Very High Fire Severity Zones.

#### Existing Development

Policy 3.12: Increase resilience of existing development in high-risk areas built prior to modern fire safety codes or wildfire hazard mitigation guidance.

**Policy 3.13:** Mandate that public and private landowners for all existing land uses comply with all applicable state and local requirements and implement site-specific safety measures that mitigate to a low-risk condition around or near public facilities, infrastructure, and natural resources.

Policy 3.14: Provide information regarding defensible space and building retrofits to achieve a lowrisk condition.

Policy 3.15: Require public and private landowners to minimize the risk of wildfire moving from wildland areas to developed properties or from property to property by increasing structural hardening measures (e.g., fire-rated roofing and fire-resistant construction materials and techniques), maintaining and improving defensible space on site, and supporting vegetation management in adjacent undeveloped areas.

Policy 3.16: Require structures with fire protection sprinkler systems to provide for outside alarm notification.

**Policy 3.17:** Mitigate existing non-conforming development to contemporary fire safe standards (e.g., road standards, vegetative hazards). The City should Support state legislation that would provide tax incentives to encourage the repair or demolition of structures that could be considered fire hazards.

Infill Development

**Policy 3.18:** Prioritize infill development within the existing developed footprint to avoid hazardous areas and support emergency response times.

**Policy 3.19:** Ensure that all infill development projects within State Responsibility Areas or Very High Fire Hazard Severity Zones are required to comply with applicable state or local fire safety and defensible space regulations or standards and any applicable fire protection or risk reduction measures identified in locally adopted plans.

**Policy 3.20:** Ensure that discretionary infill projects may be required to prepare a project-specific fire hazard and risk assessment and incorporate project-specific risk reduction measures, subject to the determination and approval of the Fire Marshal.

#### All Development

<u>Policy 3.21:</u> The City should sSupport the continuation of <u>long-term maintenance of fire hazard</u> reduction projects, such as a the existing weed abatement program (existing), community fire breaks, and private and public road clearance.

<u>Policy 3.22:</u> The City shall e<u>E</u>nsure that the distribution of fire hydrants and capacity of water lines is adequate through periodic review. <u>Collaborate with the Padre Dam Municipal Water District to ensure that the City's water supply location and long-term integrity are sufficient and future water supply needs are met.</u>

**Policy 3.23:** Encourage and support the delivery of a high level of emergency services through cooperation with other agencies and use of available financial opportunities.

<u>Policy 3.24:</u> Encourage the continued development, implementation, and public awareness of fire prevention programs.

<u>Policy 3.25:</u> In order to minimize fire hazards, t<u>T</u>he Santee Fire and Life Safety-Department shall routinely <u>continue to</u> be involved in the review of development applications <u>to minimize fire</u> <u>hazards</u>. Considerations shall be given to adequate emergency access, driveway widths, turning radii, <u>future water supply needs</u>, fire hydrant locations, and needed fire flow requirements, street addressing, and signage.

Policy 3.26: Coordinate with the Padre Dam Municipal Water District on future water supply needs and existing water infrastructure constraints and deficiencies that could affect the City's ability to meet fire flow requirements.

<u>Policy 3.27:</u> Ensure that ∓the timing of additional fire station construction or renovation (or new services) shall-relates to the rise of service demand in the City Santee and surrounding areas.

**Policy 3.28:** Ensure that re-development after a large fire complies with the requirements for construction in the Very High Fire Hazard Severity Zones for fire safety.

**Policy 3.29:** Ensure that the planning and design of re-development in very high Fire Hazard Severity Zones minimizes the risks of wildfire and includes adequate provisions for vegetation management, emergency access, and firefighting while also complying with current fire codes.

<u>Policy 3.30:</u> Support mutual aid agreements and communications links with the County <u>of San</u> <u>Diego</u> and the other municipalities participating in the Unified San Diego County Emergency Service Organization.

**Policy 3.31:** Provide adequate staffing, equipment, technology, training, and funding for the Santee Fire Department to meet the existing and projected service demands and response times.

Goal 2: Improve the City of Santee's capacity to prevent and respond to criminal activities.

# *Objective* 4<u>:</u>.0 *Minimize injuries, loss of life and property damage <u>and losses</u> resulting from <del>fire hazards</del> <u>criminal activities</u>.*

<u>Policy 4.1</u> The City shall eEncourage citizen and business participation in the Neighborhood and Kids-Watch Programs and the "Safe Santee" program and promote the establishment of new

neighborhood watch programs to encourage community participation in the patrol, and to promote the awareness of suspicious activity.

**Policy 4.2** The City shall incorporate Crime Prevention through Environmental Design (CPTED) principles into site planning for new developments, <u>publicly owned spaces</u> and renovations of existing developments, <u>taking into account considering</u> the concepts of defensible space, surveillance, territoriality, access control, and maintenance.

<u>Policy 4.3</u> The City shall e<u>E</u>ncourage the upgrading of building security requirements.

<u>Policy 4.4</u> The City shall c<u>Continue to</u> involve law enforcement personnel in the review of new development applications through participation in the Development Review process.

<u>Policy 4.5 All-Ensure that</u> structures should be <u>are</u> adequately identified by street address and lighted sufficiently to deter criminal activity.

<u>Policy 4.6</u> <u>The City should wW</u>ork with the school districts in the establishment of a permanent School Resource Officer program, or similar measure to provide a law enforcement presence at City schools.

<u>Policy 4.7 The City should s</u>Upport the County of San Diego's efforts to relocate the existing Las Colinas jail as part of a state-of-the-art consolidated justice facility to be located elsewhere on the County's Town Center Property.

Policy 4.8 Ensure that critical facilities, hazardous facilities, and special occupancy structures are located and designed to be functional in an event of a disaster. These facilities and structures include fire and police stations, hospitals, communication centers, schools, churches, and other high occupancy structures.

Goal 3: Improve public safety and minimize injuries, loss of life, and property damage resulting from transportation-related hazards.

Objective 5:-0 Minimize injuries, loss of life, and property damage and losses resulting from transportation-related hazards criminal activities. Policies

<u>Policy 5.1</u> The City shall <u>c</u>ontinue to review traffic safety problems <u>annually</u> and enforcement of parking regulations.

<u>Policy 5.2</u> The City shall pPromote the <u>utilization\_use</u> of traffic control devices such as signals, medians, and other street design measures along busy roadways to regulate, warn, and guide traffic, thereby diminishing traffic hazards.

<u>Policy 5.3</u> Encourage ridesharing, <u>and</u> the use of transit and other transportation systems management programs to reduce the number of vehicle miles traveled and traffic congestion.

<u>Policy 5.4</u> The City shall <u>pP</u>reclude through-city truck traffic on local roadways and limit truck routes through the City <u>Santee</u> to principal and major arterial roadways.

<u>Policy 5.5</u> The City shall pPromote the establishment of shared driveways and reciprocal access between adjoining properties to reduce the number of curb cuts and conflicting traffic movements on major roads.

#### <u>Objective 6:-0 Minimize injuries, loss of life, and property damage resulting from traffic</u> <u>hazards</u> Improve the safety and functionality of light-rail transit.

#### **Policies**

**Policy 6.1** Consider methods of improving service safety along and across the trolley line in coordination with San Diego Association of Governments, San Diego Metropolitan Transit System, and other relevant agencies.

**Policy 6.2** Coordinate with San Diego Metropolitan Transit System to encourage transit stops in areas serving vulnerable populations, such as near senior housing projects, medical facilities, major employment centers, and mixed-use areas.

# *Objective 7.0 Minimize injuries, loss of life, and property damage resulting from airport hazards.* Policies

**Policy 7.1** The City should review cContinue reviewing all development proposed in the Gillespie Field Airport Influence Areas using the Airport Land Use Compatibility Plan, which provides guidance on appropriate land uses surrounding airports to protect the health and safety of people and property within the vicinity of an airport. Ensure consistency determinations are received from the Airport Land Use Commission to ensure that design features are incorporated into the site plan to address identified aircraft safety and noise hazards.

<u>Policy 7.2</u> The City should c<u>Continue to</u> discourage the establishment of additional high-risk uses, including schools, hospitals, nursing homes, and daycare centers <del>(excluding residential care facilities and small family daycare)</del> in the Runway Protection and Inner Approach / Departure <del>Zones for Gillespie Field</del> Airport Safety Zones and receive consistency determinations from the Airport Land Use Commission.

**Policy 7.3:** Receive final airspace determination from the Federal Aviation Administration for projects in Airport Influence Areas in accordance with Code of Federal Regulations, Title 14, Part 77, Safe, Efficient Use, and Preservation of the Navigable Airspace.

# Goal 4: Improve the City of Santee's capacity to prevent and respond to emergencies and hazardous materials incidents.

*Objective* 8:-*O Ensure the efficient control of emergency operations during natural or* 

#### *human-caused disasters.* <u>Policies</u>

<u>Policy 8.1</u> <u>The City shall C</u>eontinue to hold periodic disaster exercises in cooperation with the appropriate <u>s</u>-tate and <u>f</u>-ederal agencies.

<u>Policy 8.2</u> <u>The City shall-Uupdate its adopted Santee Eemergency Oeperations Pplan periodically</u> to ensure the safety of residents, employees, and visitors in times of <u>natural</u> man made or <u>human-caused</u> natural disaster.

**Policy 8.3:** Maintain an Emergency Operations Center to coordinate resources, information, and communication, which would strengthen the City of Santee's ability to detect and respond to threats.

# *Objective* 3.09: *Minimize the risk of damage to persons people, property, and the environment caused by hazardous materials.*

<u>Policy 9.1 The City shall C</u>ontinue to implement the County's <u>of San Diego's</u> Hazardous Waste Management Plan or develop and implement an equivalent plan.

<u>Policy 9.2 The City shall-C</u>eontinue to participate in the <u>San Diego County Joint Powers Authority</u> Hazardous Materials <del>Incident</del>-Response Team in dealing with hazardous materials incidents.

<u>Policy 9.3</u> The City shall <u>R</u>require that any potential hazardous materials issues be fully investigated at the environmental review stage prior to project approval.

<u>Policy 9.4</u> The Cit y shall <u>R</u>review any proposed uses involving the use, transport, storage or handling of hazardous waste to ensure that such uses will not represent a significant risk to surrounding uses or the environment.

<u>Policy 9.5</u> The City shall <u>C</u>eontinue to provide for a household hazardous waste collection program for City <u>Santee</u> residents as part of the contract with the City <u>of Santee</u> trash franchisee.

<u>Policy 9.6</u> The City shall <u>C</u>eontrol the location, manufacture, storage or use of hazardous materials in Santee through Zoning Ordinance implementation and the <u>d</u>evelopment <u>r</u>Review process.

<u>Policy 9.7</u> Encourage safe and proper disposal of household hazardous waste.

Policy 9.8 Promote safe, environmentally sound means of solid waste disposal for the community.

<u>Policy 9.9</u> Investigate ways to encourage businesses to recycle their waste.

Policy 9.10: Continue to implement the Construction and Demolition Diversion Ordinance as required by Cal Recycle.

Goal 5: Increase Santee's resiliency to climate change-related impacts.

# Objective 10: Build capacity to adapt to climate-related hazards through resilient emergency management and hazard mitigation strategies.

# **Policies**

**Policy 10.1:** Integrate findings of climate vulnerability into emergency planning, including mitigation, preparedness, response, and recovery efforts. In doing so, the City of Santee will respond to any unique challenges in the community identified through the Vulnerability Assessment.

**Policy 10.2:** Ensure that emergency management activities are conducted equitably and are responsive to the needs of all community members, primarily by communicating emergency plans in many different formats and in multiple languages, as appropriate, and conducting outreach with and to seek feedback from members of the community who face equity issues.

**Policy 10.3:** Continue to collaborate with local and regional partners to support business resiliency through preparedness education, training, and resources.

**Policy 10.4:** Collaborate with local, regional, state, and federal partners to provide communitywide outreach to educate people on how to prepare for and recover from climate change effects.

Policy 10.5: Provide information on the benefits of the resiliency of existing residential and commercial development through structural strengthening, fire safe landscaping, and energy efficiency upgrades.

**Policy 10.6:** Coordinate with transportation agencies to identify local and regional transportation corridors that are at risk from climate change effects while using the best available science and resilient design features to improve resiliency to extreme climate events.

**Policy 10.7:** Coordinate with regional transit providers to identify alternative routes, stops, and modes of transit if normal infrastructure is damaged or closed because of extreme events.

Policy 10.8: Promote climate preparedness and provide outreach to vulnerable populations.

# Objective 11: Increase resiliency to the impacts of extreme heat.

### **Policies**

Policy 11.1: Increase the energy reliability of municipal facilities to withstand increased energy demands.

**Policy 11.2:** Continue expedited review of building permits for solar equipment and electric vehicle charging stations.

Policy 11.3: Encourage the conservation of energy during peak demand hours.

**Policy 11.4**: Promote adequate protection for outdoor workers and people experiencing homelessness from extreme conditions.

**Policy 11.5:** Provide information to the public in cooperation with community-based organizations to ensure that emergency shelters and cooling centers are available during climate events, such as extreme heat events, poor air quality, severe weather events, and other highly hazardous conditions.

Policy 11.6: Encourage shade trees near buildings, in parking lots, and along bike and pedestrian pathways.

Policy 11.7: Promote reverse 911 calls to notify residents of serious heat events or natural disasters and encourage residents to register into the Alert San Diego system.

## Objective 12: Increase resiliency to the impacts of wildfire.

# <u>Policies</u>

**Policy 12.1:** Continue to require fire prevention planning and defensible space in all new development within Very High Fire Hazard Severity Zones or wildland-urban interface.

**Policy 12.2:** Review development proposals and coordinate with regional transportation agencies, as needed, to ensure that multiple evacuation routes are available under a range of scenarios and to identify alternative routes that are accessible to people without life-supporting resources.

Policy 12.3: Continue to educate the public on the importance of fire safety with information on topics including but not limited to defensible space, evacuation routes, and road clearance, with a focus on reaching at-risk, vulnerable populations.

Policy 12.4: Identify fire-prone habitats to plan for increased risk of larger and more frequent wildfires.

### Objective 13: Increase resiliency to the impacts of extreme precipitation.

### **Policies**

Policy 13.1: Continue to encourage the implementation of low-impact development (e.g., rain gardens, rainwater harvesting, green roofs) to reduce flooding.

Policy 13.2: Continue to promote the application of nature-based solutions (e.g., greenways, tree trenches) to improve resilience and preserve biodiversity.

Policy 13.3: Continue to encourage the use of climate-smart landscaped surfaces (e.g., permeable pavement, stormwater parks, green streets) in new and existing development.

### Policies

Policy 14.1: Provide information on water efficiency and conservation efforts.

**Policy 14.2:** Continue to implement the City of Santee's Water Efficient Landscape Ordinance for private and public projects.

Policy 14.3: Provide information on building code requirements for water conservation features (e.g., low-flow toilets, faucets, appliances).

**Policy 14.4:** Explore programs to expand access to limited water resources for at-risk, vulnerable populations (e.g., people experiencing homelessness).

### 7.2 Environmental Justice Element

# Goal 1: Reduce pollution exposure and improve air quality.

# Objective 1: Continue to minimize the potential impact of pollution on disadvantaged communities by mitigating the factors and conditions that contribute to exposure.

### **Policies**

**Policy 1.1:** Continue to protect natural resources from pollution, such as trash and debris in creeks, rivers, and storm drainage areas, especially in areas where transient populations are prevalent.

Policy 1.2: Increase maintenance of public spaces, such as parks and trails, to protect natural resources from pollution.

**Policy 1.3:** Continue to reduce the potential danger related to the use, storage, transport, and disposal of hazardous materials to an acceptable level of risk.

Policy 1.4: Continue to protect the air, water, soil, and biotic resources from damage by exposure to hazardous materials.

# Objective 2: Maintain and improve air quality, especially in areas identified as disadvantaged communities, by defining sources of air pollution and reducing emissions from said sources.

### **Policies**

Policy 2.1: Continue to maintain or improve the current air quality level within the City of Santee's jurisdiction.

**Policy 2.2:** Remove particulate matter from mobile source emissions through implementation of the Sustainable Santee Plan's public transit, active transportation, and electrification strategies.

**Policy 2.3:** Seek to partner with the San Diego County Air Pollution Control District and the California Department of Transportation to establish a mitigation program, such as a roadside vegetation barrier program, to reduce the impacts of pollution, notably for homes in the disadvantaged communities bounded by Magnolia Avenue, Prospect Avenue, Cuyamaca Street, and Mission Gorge Road.

**Policy 2.4:** Explore creating a program to provide education on how to improve air quality for City residents impacted by air pollutants, especially those living within proximity to Gillespie Field.

Policy 2.5: Seek to partner with the San Diego County Air Pollution Control District to (1) establish a mitigation program to reduce the impact of air pollution on disadvantaged communities and (2)

create targeted permit inspection programs in disadvantaged communities to help ensure enforcement of air quality permits.

**Policy 2.6:** Create land use patterns that encourage people to bicycle, walk, or use public transit to reduce emissions from mobile sources, such as plans that (1) require vegetative barriers to be included in industrial developments near residential areas in Santee and/or (2) improve tree canopy and promote green infrastructure development in disadvantaged communities, particularly the neighborhoods that do not already have access to green space.

**Policy 2.7:** Encourage stronger pollution controls at facilities in/near disadvantaged communities, especially the neighborhoods around Magnolia Avenue, Prospect Avenue, Cuyamaca Street, and Mission Gorge Road.

### Goal 2: Promote access to public facilities and services.

Objective 3: Promote access to public transit by increasing frequency of buses and trolleys, decreasing travel duration for commuters, and updating system networks to connect riders to priority areas, such as shopping centers, schools, and parks and recreation facilities.

#### **Policies**

**Policy 3.1:** Implement the Santee Parks and Recreation Master Plan to increase access to diverse, high-quality parks, green space, recreation facilities, and natural environments for disadvantaged communities.

**Policy 3.2:** Work with the San Diego Metropolitan Transit System and the San Diego Association of Governments to encourage transit providers to establish, maintain, and increase frequency of routes to jobs, shopping, schools, daycares, parks, and healthcare facilities that are convenient to the disadvantaged communities in both the southeastern and the southwestern portions of Santee.

**Policy 3.3:** Promote and support the continued expansion of the San Diego Trolley system that benefits residents of Santee, especially in higher-density areas. Work with the San Diego Metropolitan Transit System to ensure that public transportation is provided from disadvantaged communities to commercial and recreational facilities. Work with the San Diego Metropolitan Transit System to increase frequency of the Green Line, particularly during weekends, which provides access to and from the City of Santee and the City of San Diego.

**Policy 3.4:** Encourage the use of alternative transportation modes, such as walking, cycling, and public transit. Maintain and implement the policies and recommendations of the Active Santee Plan and the San Diego Association of Governments San Diego Regional Safe Routes to School Strategic Plan to improve safe bicycle and pedestrian access to major destinations.

**Policy 3.5:** Coordinate with the San Diego Metropolitan Transit System and San Diego Association of Governments to provide efficient, cost-effective, and responsive systems; multimodal support facilities; and adequate access near and to and from transit stops for bicyclists and pedestrians, including children and youth, older adults, and people with disabilities.

**Policy 3.6:** Encourage and provide ridesharing, park and ride, and other similar commuter programs that eliminate vehicles from freeways and arterial roadways. Encourage businesses to provide flexible work schedules for employees and employers to offer shared commute programs and/or incentives for employees to use public transit.

**Policy 3.7:** Work to increase public transit ridership among transit-dependent populations by providing greater access to public transit throughout Santee.

# Objective 4: Improve the quality of public facilities and promote equitable access to community (public) spaces.

#### **Policies**

**Policy 4.1:** Prioritize seeking public funding to upgrade public facilities in disadvantaged communities, particularly the neighborhoods around Magnolia Avenue, Prospect Avenue, Cuyamaca Street, and Mission Gorge Road.

**Policy 4.2:** Continue the City of Santee's maintenance and operation of parks and other recreational spaces throughout Santee, especially in the regions along the river, with more frequency. Provide and maintain the highest level of service possible for all community public services and facilities.

Policy 4.3: Continue to evaluate current agreements and work to improve joint-use agreements with schools for access to indoor facilities and use of fields to adopt a more cooperative approach to providing services to the community.

**Policy 4.4:** Explore providing more community centers throughout Santee, especially in residential areas that lack a community center within walking distance from home, such as the southwestern areas of Santee.

**Policy 4.5:** Prioritize new investments in community-building facilities that will foster a sense of belonging among its residents.

# Objective 5: Continue to create a "livable community" by offering supportive community programs and services, providing alternative transportation choices, and promoting equitable, affordable housing.

### **Policies**

**Policy 5.1:** Create a vibrant town center by developing a connected system of multi-modal corridors that encourages walking, biking, and riding public transit. A mobility hub should be considered at the existing Santee Trolley Square to provide features such as bike-share, bike parking, car-share, neighborhood electric vehicles, real-time traveler information, demand-based shuttle services, wayfinding signage, bicycle and pedestrian improvements, and urban design enhancements.

**Policy 5.2:** Continue to implement the Santee Town Center Specific Plan, which provides retail commercial, office, recreational, and other appropriate uses to establish a focal point for Santee.

**Policy 5.3:** Allow for the development of a wide range of commercial and residential building and structure types in Santee and ensure that development in Santee is consistent with the overall community character and contributes positively to Santee's image.

**Policy 5.4:** Ensure that industrial uses are compatible with adjacent land uses, ensure that natural and human-induced hazards are adequately addressed in the location and intensity of development in Santee, and minimize land use conflicts between land uses in adjacent areas and existing and planned land uses in Santee.

Policy 5.5: Continue to increase sidewalks, crosswalks, and safety for people who walk and/or use mobility devices, such as wheelchairs.

Policy 5.6: Implement the Complete Streets Policy in the Santee General Plan Mobility Element.

**Policy 5.7:** Continue to plan for and implement a comprehensive network of safe pedestrian facilities to promote pedestrian travel.

**Policy 5.8:** Continue to design pedestrian walkways in a way that promotes walking by providing a safe, aesthetically pleasing path of travel.

Policy 5.9: Maintain access for pedestrian travel where it already exists and provide it where it does not to prevent or eliminate barriers to pedestrian travel.

Policy 5.10: Coordinate with local school districts and nonprofit organizations to improve access and resources to engage in active forms of transportation (e.g., bicycles, skates, helmets, and related equipment) for disadvantaged communities.

Goal 3: Promote access to physical activity and recreational opportunities.

# Objective 6: Improve access to and connectivity between community services, including group meetings, recreation programs, and health classes.

Policies

**Policy 6.1:** Continue to provide a comprehensive program of recreational services for all ages, with an emphasis on programs for children and youth.

**Policy 6.2:** Continue to consider alternative recreation programs, such as providing basketball equipment to private groups, using church and commercial center facilities, and closing streets to through-traffic, where feasible, in neighborhoods with park deficiencies.

Policy 6.3: Provide readily accessible meeting space and inclusive programming at the community centers to meet the needs of people of all ages, physical conditions, and socioeconomic situations, especially Santee's diverse communities, including but not limited to the art and lesbian, gay, bisexual, and transgender communities.

**Policy 6.4:** Encourage service clubs, civic groups, individual donors, and others to help develop recreational facilities. Encourage private employee recreation in business and industrial areas to provide recreational opportunities for employees.

**Policy 6.5:** Consider providing affordable and free educational programming in disadvantaged communities to highlight practices that can improve one's health, such as physical activity and healthy eating.

**Policy 6.6:** Actively seek public and private funding sources to support recreation development, programs, and operation in the process of reviewing recreation programming to ensure that recreation programs reach all segments of the community.

**Policy 6.7:** Collaborate with organizations like California Walks to improve active transportation in Santee through policy, project, and program development and implementation; grant writing; and neighborhood needs assessments.

# <u>Objective 7: Continue to create green spaces, such as community gardens, open</u> <u>spaces, and public parks, that support food education, promote healthy lifestyles,</u> <u>and foster community building.</u>

# **Policies**

**Policy 7.1:** Continue to create safe, attractive spaces for recreation, including well-lit parks and pedestrian paths, through implementation of the Santee Parks and Recreation Master Plan, which is a roadmap used to address the need for additional trails for activities such as biking and hiking to improve connectivity throughout the Santee and to provide a system of public parks and recreation facilities that serve the residents of Santee.

Policy 7.2: Continue to provide adequate recreational acreage and facilities in all areas of Santee by identifying vacant lots and underused public land that can be turned into neighborhood-run community gardens. Provide additional park and recreational facilities for Santee residents, which could include a combination of local parks, trails, school playgrounds, and other public facilities that meet part of the need for local recreational facilities.

**Policy 7.3:** Encourage the development of a San Diego River Park with passive recreation uses throughout Santee as part of an overall master plan concept for the entire San Diego River. Encourage the inclusion of recreational facilities in all mixed land use developments, especially in the Santee Trolley Square Town Center.

**Policy 7.4:** Locate mini-parks in the built-up areas of Santee where recreational facilities are needed and where available land is limited. Pursue the development of additional publicly owned parks and recreation facilities that are distributed throughout Santee to meet the needs of all residents.

**Policy 7.5:** Continue and expand the City of Santee's community garden program and provide information on how existing community gardens operate and how residents can get involved.

Policy 7.6: Assess and, if feasible, develop open land for community gardens.

**Policy 7.7:** Identify and implement opportunities to incorporate open spaces suitable for community gardens into larger development projects.

# Objective 8: Continue to create a "livable community" by investing in environmental education initiatives and streetscape beautification projects.

# <u>Policies</u>

**Policy 8.1:** Consider creating an environmental education program that will include the following to encourage the appreciation of Santee's natural resources:

- Development of trails, interpretive signs, and overlooks at public parks adjacent to sensitive environments
- Encouragement of private environmental organizations to sponsor wetlands enhancement programs and to provide docents for wetlands tours
- Coordination with school districts to use specified areas as outdoor learning laboratories

**Policy 8.2:** Consider developing and implementing a Green Infrastructure Plan, including a combination of stormwater features, habitat, trees, and other greenery.

**Policy 8.3:** Identify strategies for grassroots implementation of green infrastructure and restoration by Santee residents, such as through the promotion of eco-literacy with a focus on urban gardening.

### Goal 4: Promote access to healthcare.

# Objective 9: Expand healthcare access and readiness by working with partners at the regional, state, and federal levels to increase affordability of physical and mental healthcare services.

## **Policies**

**Policy 9.1:** Encourage new healthcare facilities, including mental health facilities, to locate to Santee, with a focus on areas where residents lack health insurance or are underinsured, such as the southwestern portion of Santee.

**Policy 9.2:** Encourage existing healthcare organizations to provide safety improvement and service enhancements, as needed, to implement new technologies and best industry practices.

**Policy 9.3:** Explore partnerships with local and regional healthcare providers to provide free community healthcare and dental screenings and services throughout the year, particularly in disadvantaged communities.

Goal 5: Improve access to healthy food.

# Objective 10: Improve the nutrition and overall health of the population by expanding the already existing network of food banks and meal sites into neighborhoods with disadvantaged communities.

# **Policies**

**Policy 10.1:** Encourage the establishment and operation of additional farmers markets, farm stands, ethnic markets, mobile health food markets, and convenience/corner stores that sell healthy foods, including fresh produce where feasible and appropriate.

Policy 10.2: Encourage new developments to include a healthy food supply or edible garden (e.g., urban garden).

**Policy 10.3:** Work with nonprofits to expand and diversify alternative food access points, such as farmers markets and community-supported agriculture, and other healthy and local food distribution models.

Policy 10.4: Prioritize healthy food supplies in economic development efforts, especially in areas where a healthy food supply, farmers market, or community garden is not within a half mile of residential areas.

Policy 10.5: Work with food banks that serve the Santee community to maintain them as a food source to Santee residents, farmworkers, and youth.

Policy 10.6: Provide healthy food options at all municipal buildings and at City of Santee events where food is made available by the City.

Policy 10.7: Find incentives that encourage school districts to develop a program that integrates gardening and nutrition, making the connection between healthy food choices and fresh, locally grown produce.

**Policy 10.8:** Utilize the City of Santee's social media and newsletter to promote messages regarding healthy eating habits and food choices and information about food assistance programs, such as the Supplemental Nutrition Assistance Program (SNAP).

## Goal 6: Improve access to safe and sanitary homes.

Objective 11: Continue to ensure community health and well-being by supporting rehabilitation programs, enforcing municipal codes, and supporting affordable

# housing projects that allow for members of disadvantaged communities, such as low-income residents, to live in safe, healthy housing.

# <u>Policies</u>

Policy 11.1: Continue to support and coordinate with social service providers and regional agencies to address the housing-related needs of Santee residents, particularly those with special needs. Continue the operation of the Residential Rehabilitation Program, which offers a limited amount of low-interest, deferred loans to income-eligible homeowners to facilitate home improvements and/or correct any health and safety or building code violations.

Policy 11.2: Continue to prioritize and enforce the existing Buildings and Construction Code based on safety and blight as required through existing—and, if necessary, expanded—code enforcement efforts. Continue to use the City of Santee's Code Compliance Program to bring substandard units into compliance with City of Santee codes and to improve overall housing quality and neighborhood conditions in Santee.

**Policy 11.3:** Continue to use HOME Investment Partnerships and other funding sources to assist residents with extremely low, very low, and low incomes with housing rehabilitation Citywide. Develop and maintain collaborative efforts among nonprofits, for-profit developers, and public agencies to encourage the development, maintenance, and improvement of affordable housing.

**Policy 11.4:** Continue to provide information to the public regarding resources for housing repairs for single-family homes, multi-family properties, and mobile or manufactured homes to address unsafe and unhealthy conditions in neighborhoods.

**Policy 11.5:** Continue to educate and/or provide resources and weatherization (i.e., weatherproofing) measures that can improve housing conditions and reduce energy costs.

Objective 12: Increase affordable housing so households can put their income toward other goods and services, healthcare needs, and basic necessities and so households can avoid overcrowding, displacement of residents, and increased homelessness.

## <u>Policies</u>

Policy 12.1: Address housing affordability through the Housing Element and Land Use Element to optimize land use for housing and to encourage affordable housing development.

**Policy 12.2:** Consider establishing a Community Revitalization and Investment Authority in the Santee Town Center area that would allow the City of Santee to use a portion of the property tax increment generated in that area to develop affordable housing and otherwise support Santee Town Center community revitalization projects.

Policy 12.3 Encourage both the private and public sectors to produce or assist in the production of housing, with particular emphasis on housing affordable to lower-income households, including extremely low-income households, and housing suitable for people with disabilities, older adults, large families, and female-headed household.

**Policy 12.4:** Ensure that all new housing development and redevelopment in Santee is properly phased in amount and geographic location so that City of Santee services and facilities can accommodate growth.

**Policy 12.5:** Coordinate with affordable housing developers and social service providers in Santee to provide Santee residents with education on how to qualify and apply for affordable housing and other housing-related needs.

**Policy 12.6:** Increase affordable homeownership opportunities for Santee's low-income households and provide free homeownership education programs.

Policy 12.7: Collaborate with local social service providers to address the needs of Santee's homeless population.

## Goal 7: Promote community involvement in decisions.

# Objective 13: Increase community involvement and participation in defining community needs, establishing local priorities, and creating programs to meet these needs.

#### **Policies**

**Policy 13.1:** Establish and clearly communicate the purpose of outreach efforts and the role the public shall play in decisions or outcomes through the City of Santee's social media and newsletter to share updates, resources, and other information from the City of Santee.

**Policy 13.2:** Consider providing multi-lingual requirements for published City of Santee notices and materials, meetings, and facilitation events, where appropriate.

**Policy 13.3:** Leverage online tools for community engagement when beneficial, including videos and podcasts, e-comments, online forums, interactive web-based mapping, interactive planning, and tools that allow community members to use data and create their own reports. Consider instituting broadband initiatives, such as providing laptops or internet hotspots to the households in Santee affected by inadequate internet access (i.e., "digitally divided" households).

**Policy 13.4:** Leverage offline tools for community engagement and continue to work with local media services, such as television and radio stations, to ensure adequate public awareness of events, City of Santee resources, recreation opportunities, and policy decisions under consideration.

**Policy 13.5:** Collaborate with community-based organizations that have relationships, trust, and cultural competency with target communities to outreach for local initiatives and issues.

**Policy 13.6:** Continue to hold meetings and other public engagement forums at accessible locations and times to include a wide range of residents. Consider holding virtual meetings alongside in-person meetings to enable more residents and other stakeholders to conveniently participate in public meetings.

**Policy 13.7:** Prioritize outreach efforts to target communities that will be most impacted by an issue or a decision.

**Policy 13.8:** Continue community outreach that introduces residents to the City of Santee's functions and services while equipping residents to get involved in their community.

Goal 8: Unique or compounded health risks.

Objective 14: Implement the Sustainable Santee Plan to help communities reduce greenhouse gases that cause climate change and to adapt to a changing climate with more extreme, more common weather phenomena.

# **Policies**

**Policy 14.1:** Invest in census tracts in the areas of Santee that are more exposed to extreme heat events to build community resilience to and minimize impacts from climate change-induced phenomena.

**Policy 14.2:** Reduce greenhouse gas emissions, increase renewable energy, and promote energy efficiency through implementation of the Sustainable Santee Plan.

**Policy 14.3:** Prioritize disproportionately vulnerable populations for adaptation and mitigation investments identified in the Local Hazard Mitigation Plan.

**Policy 14.4:** Plan responsive measures to wildfire events. Provide public information on emergency preparedness, evacuation, shelters, food, water, and recovery in both Spanish and English. Use the City of Santee's social media and newsletter to provide information for climate-related hazards.

**Policy 14.5:** Work with the County of San Diego and community-based organizations to identify resources and funding sources for those who may otherwise not qualify for financial assistance from the Federal Emergency Management Administration in the event of a disaster.

**Policy 14.6:** Prevent or limit significant increases in housing costs or essential supplies ("price gouging") following disasters either through ordinances or other measures.

**Policy 14.7:** Prioritize dissemination of public information on emergency preparedness, evacuation, shelters, food, water, and recovery in languages primarily spoken by the ethnic and immigrant groups in the community.

**Policy 14.8:** Implement green infrastructure projects, including tree planting in disadvantaged communities, through implementation of a Green Infrastructure Plan through implementation of the Sustainable Santee Plan, Urban Forestry Plan, and private development proposals.

Policy 14.9: Integrate the natural and human-made landscapes of Santee to enhance the quality of life, revitalize older neighborhoods and community places, and sustain a beautiful, distinctive, and well-organized community for Santee residents.

# Objective 15: Prioritize the health and safety of residents to create a resilient, adaptable community.

# **Policies**

**Policy 15.1:** Continue to create an environment that promotes racial, ethnic, and religious tolerance and is free from discrimination and continue to support community and religious efforts and programs that advance tolerance and embrace diversity and anti-discrimination.

**Policy 15.2:** Use tools and services, such as Neighborhood Watch, law enforcement, community services, rehabilitation loan programs, code compliance, and waste management services, to support and enhance neighborhoods and streetscapes in need of revitalization.

# Section 8.0 Implementation

There are a variety of existing Federal, State and local programs and strategies that can be utilized within the City to reduce the potential public safety hazards described within this Element. Existing regulations and review procedures and other programs which can be undertaken within the City in response to identified public safety needs for each potential public safety hazard are described below. Gov. Code, Section 65302(g)(2)(C), Section 65302(g)(3)(C), and Section 65302(g)(4)(C), require jurisdictions to establish a set of feasible implementation measures designed to carry out the goals, policies, and objectives established in the Safety Element of a General Plan. The policies outlined in **Section 7** function as implementation measures designed to carry out the Element's goals and objectives in compliance with the Gov. Code sections identified above.

The City will be responsible for ensuring that implementation of the policies identified in this Safety and Environmental Justice Element are monitored on an ongoing basis. The City is required to report on the implementation status of the Santee General Plan Elements in the City's Annual Progress Report in accordance with Gov. Code, Section 65400(a). The Annual Progress Report also informs the public of the City's progress toward meeting the community's goals. The Annual Progress Report is required to be prepared and submitted to City Council, the OPR, and the HCD by April 1 of each year. Additionally, implementation of policies identified in this Safety and Environmental Justice Element will be tracked and discussed during other regular City department meetings.

The policies will be implemented by various City departments and authorities. For example, the Santee Fire Department will be responsible for implementing policies related to wildfire response (e.g., Safety Policy 3.2, Environmental Justice Policy 14.4). Implementation of policies related housing, planning, and code compliance (e.g., Safety Policies 6.2 and 7.1, Environmental Justice Policies 12.4 and 14.2) will be the responsibility of the City's Development Services Department. The City's Community Services Department is responsible for implementation of policies related to recreational opportunities in Santee (e.g., Environmental Justice Policies 6.3 through 6.5). The City will implement these policies in coordination with the appropriate agencies, departments, and non-governmental organizations, as well as other jurisdictions.

The City acknowledges it is important to review the plan regularly and update it at least once every 8 years per Gov. Code, Section 65302(g)(5). The City will also ensure that as new safety hazard and equity information is discovered or produced, City staff will review and determine the appropriateness of incorporation. As part of this effort, as major disasters and other significant events affect Santee, City staff will be convened to review and assess the Safety and Environmental Justice Element.

The public will continue to be involved whenever the Safety and Environmental Justice Element is updated and as appropriate during the monitoring and evaluation process. Before the adoption of updates, the City will provide the opportunity for the public to comment on the updates. A public notice will be published before the meeting to announce the comment period and meeting logistics. Moreover, the City will engage stakeholders in community safety and environmental justice planning.

Various existing federal, state, and local programs and strategies can be used in Santee to reduce the potential public safety hazards and environmental justice issues described in this Element. The Safety and Environmental Justice policies established in this Element must be integrated in the long-term with regional and state efforts to promote public safety and equity. The information in this Element, including results from the Vulnerability Assessment (Appendix A), Emergency Evacuation Route Analysis (Appendix B), and Environmental Justice Existing Conditions Assessment (Appendix C), will be used by the City to help inform updates and the development of local plans, programs, and policies. The City also incorporated the County's 2023 MJHMP into this Safety and Environmental Justice Element, as recommended by AB 2140. The 2023 update to the MJHMP was adopted prior to approval of the Safety and Environmental Justice Element and is incorporated by reference. However, much of the information included in this Element was informed by information gathered for preparation of the 2023 MJHMP update.

#### 8.1 Floodplain Management Regulations and Review Procedures

1. The Colby Alquist Floodplain Management Act prohibits the placement of structures in the floodway, except for public utility or communications lines.

2. The City's Flood Damage Prevention Ordinance limits the placement of structures and uses in flood prone areas, controls dredging, filling or other activities that could modify the natural floodplain and prevents construction of barriers or structures that could divert floodflows and cause upstream or downstream impacts.

3. The City Zoning Ordinance applies the Park/Open Space district designation to all property within the floodway of the San Diego River and Forester Creek. The development of property within the floodplain of these waterways is reviewed by the City to ensure that all building elevations are one foot higher than the peak flow level of a 100 year flood.

4. The City's Public Works Standards give specific requirements for design of drainage facilities to ensure they are properly sized to handle 100 year flood conditions.

5. The State Department of Water Resources' Division of Safety of Dams inspects all dams in California.

6. In order for property owners within the City to qualify for Federal flood insurance, the City must have a program of identifying flood hazard areas and controlling development within these areas. The City has met these qualifications by maintaining up-to-date floodplain maps and controlling new development through the floodplain designator of the Zoning Ordinance and other provisions of the Municipal Code.

7. The Uniform Building Code and Subdivision Ordinance regulate new development and other activities that may impact drainage ways or flood control facilities.

8.2 Geologic / Seismic Hazards Regulations and Review Procedures

The implementation of an effective geologic/geotechnical review process necessitates the development of a methodology for determining the level of geologic risk or hazard associated with the development of various types and/or functions of structures within particular (geologic) areas within the City of Santee. This review process shall include:

1. A classification of structure types or functions relative to their sensitivity to potential geologic risk.

2. Minimum suggested requirements for the level of geotechnical investigation for various combinations of site location and type of structure or development.

3. Design considerations that can be integrated into the proposed project design to avoid or adequately mitigate potential geologic hazards.

The factors requiring consideration are the type and/or function of a structure, the presence of geological hazards at the proposed site and the level of risk that can be accepted. In areas of potentially higher risk or where more critical structures are planned, special design considerations will be necessary to reduce the level of risk to an acceptable factor. The intent is to provide a basis for evaluating specific site/structure combinations and to eliminate those that are unsuitable.

Implementation of step (1) and (2) of the aforementioned review process can be accomplished through implementation of those actions stated in Table 8.1, <u>Determination of Geotechnical Studies Required</u>. This Table indicates the minimum suggested requirements for the level of geotechnical study for various combinations of site location and type of structure or development. Table 8.2, <u>Types of Geotechnical Studies</u> provides a description of the various report types.

#### Table 8.1

#### Geotechnical Studies Required

**Group I**: Occupancy Category 1, Essential and Critical facilities (hospitals, fire and police, power generation, communications and dams. In addition, Occupancy Category 2, hazardous facilities including structures housing or supporting toxic or explosive chemicals or substances

**Group II**: Occupancy Category 3, Special Occupancy structures including schools, churches, main roads, large commercial and industrial structures, high-rises, and other high occupancy structures

**Group III**: Occupancy Category 4, Residential, single-family homes, small apartments, motels, small commercial and industrial structures, and warehouses

**Group IV**: Relatively insensitive to geologic or seismic risk including golf courses, open spaces, parks, and landfill areas. Landfill areas may require detailed geologic studies for environmental considerations.

Stability Category	Group I	Group II	Group III	Group IV
Generally Stable Areas Underlain by granitic rock or gentle slopes	Geotechnical Investigation Geologic Investigation Seismic Hazard Study	Geotechnical Investigation Geologic Reconnaissance Seismic Hazard Study	Geotechnical Investigation Geologic Reconnaissance	Geologic Reconnaissance
Moderately Stable Areas Underlain by Stadium Conglomerate	Geotechnical Investigation Geologic Investigation Seismic Hazard	Geotechnical Investigation Geologic Investigation Seismic Hazard	Geotechnical Investigation Geologic Reconnaissance	Geologic Reconnaissance
	Study	Study		
oderately nstable Areas nderlain by Friars ormation, andslides or bris flow	Geotechnical Investigation Geologic Investigation Seismic Hazard Study	Geotechnical Investigation Geologic Investigation Seismic Hazard Study	Geotechnical Investigation Geologic Investigation Seismic Hazard Study	Geologic Reconnaissance
<b>otentially</b> <b>quefiable Areas</b> ossibly Underlain alluvium and a gh water table	Geotechnical Investigation Geologic Investigation Seismic Hazard Study	Geotechnical Investigation Geologic Investigation Seismic Hazard Study	Geotechnical Investigation Geologic Investigation Seismic Hazard Study	Geologic Reconnaissance

Table 8.2

Types of Geotechnical Studies

Report Type	Description
Geologic Reconnaissance	<ul> <li>Performed under the supervision of, and signed by a Certified Engineering Geologist in the State of California</li> <li>Conducted during the initial planning stages</li> <li>Includes a literature search (available records, published geologic maps, aerial photographs), research on existing problems in the area, a site description, and a field inspection to identify and assess potential geologic hazards requiring further study</li> <li>Recommends the scope of additional geotechnical studies</li> <li>Engineering design recommendations are not included in a Geologic Reconnaissance</li> </ul>
Geologic Investigation	<ul> <li>Performed under the supervision of, and signed by a Certified Engineering Geologist in the State of California</li> <li>Can be conducted during the environmental review process, but usually occurs at the tentative map stage</li> <li>Considers the conditions of preliminary grading plans, i.e. hazardous building sites, stabilization, excavations, and / or avoidance of hazardous soils types</li> <li>Includes literature review, field investigation, subsurface testing, laboratory analysis, and special design criteria</li> <li>Includes preparation of a Geologic Map and a description of geologic conditions</li> </ul>
	Recommends the scope for additional geotechnical studies
Geotechnical Investigation	<ul> <li>Performed under the supervision of, and signed by a Certified Engineering Geologist and licensed Registered Civil Engineer practicing in the field of soil engineering or a Geotechnical Engineer registered in California</li> <li>Normally conducted in conjunction with Geologic Investigations</li> <li>Considers final grading plans</li> <li>Includes literature review, field investigation, subsurface testing, laboratory analysis, and special design criteria. Conclusions and recommendations include foundation design and recommended grading specifications</li> <li>Includes preparation of a Geologic Map and a description of geologic conditions</li> </ul>
Seismic Hazard Study	<ul> <li>Performed under the supervision of, and signed by a Certified Engineering Geologist and licensed Registered Civil Engineer practicing in the field of soil engineering or a Geotechnical Engineer registered in California</li> <li>Conducted in accordance with the guidelines set forth by the California Geological Survey</li> </ul>

Critical structures, as shown under Group I in the Table, are primarily emergency facilities that must remain in service in the event of a disaster, or any large structures intended for high occupancy. In regard to seismic investigations for critical structures, very thorough studies should be conducted. These studies should be performed in accordance with "Guidelines to Geologic/Seismic Reports," California Division of Mines and Geology (CDMG), Notes Number 37 and "Recommended Guidelines for Determining the Maximum Credible and the Maximum Probable Earthquakes," CDMG Notes Number 43.

Step (3) of the review process can be implemented through the environmental review process as mandated by the California Environmental Quality Act (CEQA). CEQA requires all significant environmental effects of a proposed project, including geologic and soil conditions, to be identified and discussed, and identified significant effects are adequately mitigated. The

procedure consists of a review to ensure that all pertinent geotechnical considerations had been adequately addressed and that appropriate land use and design considerations or siting alternatives be integrated into the project to mitigate identified hazards.

#### 8.3 Fire Hazard Regulations and Review Procedure

1. The Uniform Building and Fire Code adopted by the City provides fire protection standards for all construction with requirements for fire separation walls, special setbacks and fire buffers and, interior sprinkler systems.

2. The Santee Fire Department administers a weed abatement program to limit fire hazards in and around developed areas.

3. City Building Inspectors and/or the City Fire Marshal inspect all new or altered buildings or structures to be sure they do not contain fire or safety hazards.

4. The Municipal Code includes regulations pertaining to emergency operations in case of fire, disaster or extreme peril.

5. Provide Uniform Fire Code and California Code of Regulations training to Santee Fire and Life Safety Department so they can better enforce the code by risk analysis and interpretation.

#### 8.4 Traffic Safety

1. The California Highway Patrol is responsible for enforcing traffic laws on State Routes 67, 52, and 125.

2. The Santee Sheriff's Department is responsible for enforcing the State Vehicle Code within Santee.

3. The City has traffic and parking regulations to ensure the safe movement of traffic and emergency vehicle access.

4. The City uses the environmental review process to determine traffic analysis requirements and improvements that may be necessary with all proposed development.

#### 8.5 Crime Prevention Laws and Codes

1. The Santee Sheriff's Department is responsible for enforcing the State Vehicle Code and Penal Code within Santee.

2. Incorporate Crime Prevention through Environmental Design and defensible space principles into the Zoning Ordinance.

3. Establish a funding source in conjunction with the school district to maintain School Resource Officers or other similar intervention presence in local schools. 4. The City shall support the Neighborhood and Kids Watch programs by assisting the Sheriffs Department in initiating and continuing Neighborhood Watch programs. A similar program for commercial areas should be considered and may be implemented by the Chamber of Commerce or other similar organizations.

5. The City Municipal Code includes provisions regulating the use of firearms and for emergency procedures during civil disturbances.

#### 8.6 Light Rail Transit

#### 8.7 Airport Safety Regulations and Review Procedure

1. The San Diego County Regional Airport Authority reviews all projects and actions proposed within the boundaries of the designated Area of Influence for the Gillespie Field and the Miramar MCAS Comprehensive Land Use Plans. The California Public Utilities Code provides that the Regional Airport Land Use Commission may conduct a hearing to determine a project's compatibility with an airport's Comprehensive Land Use Plan. The recommendation is binding on the local agency unless its governing body overrules the decision by at least a four fifths vote.

2. The Federal Aviation Administration enforces standards for the construction or alteration of any structures that may affect the navigable airspace. Advisory Circular No. 70/7460-2G provides specific details on height limits at various distances from airports.

3. The Airport Approaches Zoning Law, contained in the California Government Code, includes regulations pertaining to land use in the vicinity of and within airports.

4. The City should review all development proposed within the Gillespie Field Airport Influence Area to ensure that design features are incorporated into the site plan to address identified aircraft crash hazards.

5. The California Environmental Quality Act (Section 21096) requires the use of the Airport Land Use Planning Handbook prepared by the California Department of Transportation's Division of Aeronautics to be used as a technical resource in evaluating airport-related noise and safety issues.

#### 8.8 Emergency Operations Strategies

1. The City has adopted an Emergency Operations Plan as a means of dealing with a range of events that could interfere with normal operations in Santee. The Santee Fire Department shall periodically update the Emergency Operations Plan to address public safety needs.

2. The Fire Department shall continuously assess the level of community risk in the City to evaluate its ability to provide an adequate level of fire and emergency services.

3. The City shall maintain communication with State safety personnel, County, local school districts and City Fire and Sheriff departments to coordinate emergency response efforts.

4. The City shall continue to provide and promote public access cardiac defibrillators and community based Cardiopulmonary Resuscitation (CPR) programs to citizens via neighborhood watch, health clubs, professional groups, youth groups, churches and any other groups and individuals willing to learn life saving CPR.

5. The Development Services Department should review and provide recommendations to the City Council for revisions to the Implementation Program as needed in order to continue implementation of the Santee General Plan. Item 12 attachment Final Safety and Environmental Justice Element is available via the link below:

https://www.cityofsanteeca.gov/departments/cityclerk/document-central/city-clerk/councilagendas/2025/05-14-2025-item-12-attachmentsafety-element.pdf

Item 12 attachment Final Negative Declaration/Initial Study is available via the link below:

https://www.cityofsanteeca.gov/departments/cityclerk/document-central/city-clerk/councilagendas/2025/05-14-2025-item-12-attachmentnegative-declaration.pdf

# Initial Study/Environmental Checklist Form for the Safety & Environmental Justice Element Santee, California

# GPA2019-4/AEIS2019-8

#### Letters of Comment and Responses

The following letter of comment was received from the California Department of Transportation during the public review period (October 25, 2024 to November 25, 2024) of the Draft IS/ND. A copy of the comment letter along with corresponding staff responses is included here. Some of the comments did not address the adequacy of the environmental document. The comments received did not affect the conclusions of the document, and no changes to the text of the Draft IS/ND were required.

Letter	Author	Page Number
А	California Department of Transportation	RTC-2

	CALIFORNIA STATE TRANSPORTATION AGENCY	GAVIN NEWSOM, GOVERNOR		
	California Department of Transportation DISTRICT 11 4050 TAYLOR STREET, MS-240 SAN DIEGO, CA 92110 (619) 985-1587   FAX (619) 688-4299 TTY 711 www.dot.ca.gov	Letter A		
	November 20, 2024	11-SD-52		
	City of Santee Safety and Er	VAR Ivironmental Justice Element		
	Ms. Christing Rios	ND/SCH#2024101127		
	Senior Planner Planning and Building Department City of Santee 10601 Magnolia Avenue Santee, CA 92071			
	Dear Ms. Rios:			
1	environmental review process for the Negative Declaration Santee's Safety and Environmental Justice Element. The m provide a safe and reliable transportation network that ser the environment. The Local Development Review (LDR) Pr	for including the California Department of Transportation (Caltrans) in the ntal review process for the Negative Declaration (ND) of the City of afety and Environmental Justice Element. The mission of Caltrans is to afe and reliable transportation network that serves all people and respects iment. The Local Development Review (LDR) Program reviews land use ad plans to ensure consistency with our mission and state planning priorities.		These comments are informational in nature and do not raise a significant environmental issue for which a response is required.
1	Safety is one of Caltrans' strategic goals. Caltrans strives to make the year 2050 the first year without a single death or serious injury on California's roads. We are striving for more equitable outcomes for the transportation network's diverse users. To achieve these ambitious goals, we will pursue meaningful collaboration with our partners. We encourage the implementation of new technologies, innovations, and best practices that will enhance the safety on the transportation network. These pursuits are both ambitious and urgent, and their accomplishment involves a focused departure from the status quo as we continue to institutionalize safety in all our work.			
1	Caltrans is committed to prioritizing projects that are equite meaningful benefits to historically underserved communitie transportation accessibility and quality of life for people in	es, to ultimately improve		
1	We look forward to working with the City of Santee in area Caltrans have joint jurisdiction to improve the transportatio			

RESPONSE

Ms. Christina Rios, Senior Planner November 20, 2024 Page 2

between various modes of travel, with the goal of improving the experience of those who use the transportation system.

Caltrans has the following comments:

#### Transportation Safety

A-2

A-2

A-2

When a local land-use development project has potential impacts on the State Highway System (SHS), a traffic safety team would likely investigate several key issues such as increased traffic volume and safety, intersection capacity and overall system impact. Caltrans has set a goal to reach zero traffic-related fatalities and serious injuries in California by 2050, which is part of the Federal Highway Administration's (FHWA) nationwide zero fatalities goal. The following six challenges areas were identified as high priorities in California as they represent the greatest opportunity to reduce fatalities and sever injuries:

- Lane Departures
- Impaired Driving
- Speed Management
- Pedestrians
- Bicyclist
- Intersection

#### Traffic Safety and Accessibility Considerations

The Environmental Document should also incorporate a schematic illustrating existing walking, biking, and auto conditions at the project site and surrounding roadways. This information, along with the Local Development Review (LDR) Safety Review Practitioner's Guidance https://dot.ca.gov/-/media/dot-media/programs/safety-programs/documents/202402-ldr-safety-review-practitioners-guidance-ally.pdf provided by Caltrans, can be used to assess potential traffic safety concerns impacting the State Transportation Network (STN). The safety evaluation should include proposed countermeasures to address potential Vehicle Miles Traveled (VMT) increases and any trade-offs that may result from mitigation strategies. The project design should ensure continued access for pedestrians, bicyclists, and transit users.

#### System Planning

The City of Santee Safety and Environmental Justice Element discusses emergency evacuation information in the Emergency Evacuation Route Analysis in Appendix B and summarizes findings in Section 4 of the main report. Please continue to work with Caltrans District 11 regarding wildfire, flood, and earthquake evacuation discussions and planning for transportation projects and transportation corridors.

"Provide a safe and reliable transportation network that serves all people and respects the environment"

A-2 These comments are informational in nature and specific to new development. The Safety Element is a planning document and not site specific. Therefore, a response is not required. Ms. Christina Rios, Senior Planner November 20, 2024 Page 3

Please refer to the evacuation strategies included in Caltrans planning documents, such as the Coast, Canyons, and Trails Comprehensive Multimodal Corridor Plan (https://www.sandag.org/regional-plan/comprehensive-multimodal-corridorplans/coast-canyons-trails-cmcp) and the San Vicente Comprehensive Multimodal Corridor Plan (https://www.sandag.org/regional-plan/comprehensive-multimodalcorridor-plans/san-vicente-cmcp). Additionally, the District 11 – San Diego Ramona Emergency Response Plan, currently in draft form, was created to address issues and improve mobility for the community of Ramona if an emergency situation arises. Please stay tuned for the final document release.

#### Environmental

Caltrans appreciates the opportunity to comment on this City of Santee Safety and Environmental Justice Element. The analysis of potential future projects presented mc impact on Caltrans' Right-of-Way in the future. Should future projects based upon the changes enacted from the Negative Declaration have elements and/or mitigation measures that change or effect Caltrans' Right-of-Way, Caltrans would be a Responsible Agency under the California Environmental Quality Act (CEQA) and would use your environmental assessment in your environmental documentation for Caltrans subsequent environmental compliance. These projects may be applicable f the Caltrans encroachment permit process, which would naturally evolve from our continued coordination.

#### **Right-of-Way**

Per Business and Profession Code 8771, perpetuation of survey monuments by a licensed land surveyor is required, if they are being destroyed by any construction.

Any work performed within Caltrans' R/W will require discretionary review and approval by Caltrans and an encroachment permit will be required for any work within the Caltrans' R/W prior to construction.

If you have any questions or concerns, please contact Mark McCumsey, LDR Coordinator, at (619) 985-4957 or by e-mail sent to mark.mccumsey@dot.ca.gov.

Sincerely,

Kímberly D. Dodson

KIMBERLY D. DODSON, GISP Branch Chief Local Development Review A-3 These comments are informational in nature and specific to new development. The Safety Element is a planning document and not site specific. Therefore, a response is not required.

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#### <u>Errata</u>

#### GENERAL PLAN AMENDMENT (GPA2019-4)

#### Section 1

The current Santee General Plan was adopted in 2003 by Resolution 63-2003 to guide new development in the City of Santee (City) through the year 2020. This document serves as an update to the Santee General Plan's Safety Element and incorporates a new Environmental Justice Element. All referenced maps and reports are intended to be incorporated into the application of the Safety Element and may be subject to periodic amendments. The Safety and Environmental Justice Element (Element) is integral to guiding future development in Santee as it addresses public safety concerns and provides goals and policies to minimize public safety hazards. Land use planning, implemented through the Santee Municipal Code and General Plan, is an important component of both hazard mitigation and environmental injustice prevention. Site selection that avoids proximity to natural hazards or hazardous facilities and building construction techniques designed for fire protection, life safety and temporary systems failure can reduce hazard risks in the built environment and promote quality of life.

#### Section 4.1

In 2019, the City completed a comprehensive update of the City's Municipal Code that included updates to the Flood Damage Prevention Ordinance (Santee Municipal Code, Chapter 11.36) to minimize the public and private losses due to flooding. The intent of the ordinance is to reduce the risks to residents and public and private improvements from flooding. The ordinance precludes development in flood-prone floodway areas and requires all new development to be designed to be above the height of the 100-year flood. Development is subject to the Flood Damage Prevention Ordinance and the floodway maps in Figure 4.0 The ordinance establishes a basis for the areas deemed special flood hazard, incorporating an engineering analysis entitled San Diego River Flood Study (1992) and the City's Flood Insurance Study from 1983. The studies identify the amended 100-year peak discharge for six locations and are on file at the City Engineer's office. The City's Flood Damage Prevention Ordinance is incorporated into this Safety and Environmental Justice Element by reference.

#### Section 4.3

The location of SRAs and FHSZs are identified using the California Department of Forestry and Fire Protection's (CAL FIRE's) Fire and Resources Assessment Program (FRAP). According to FRAP data, no SRAs are within the City boundary; therefore, the City has sole local financial responsibility for fire protection. There are, however, Very High FHSZs within the City boundary (Figure 4.6, Fire Hazard Map). The identification of FHSZs is used to implement WUI building standards for new construction, real estate disclosure at time of sale, 100-foot defensible space clearance requirements around buildings, and property development standards, such as road widths, water supply, and signage. Areas identified as a Very High FHSZs are primarily in the northern section of Santee. Much of the FHSZ covers undeveloped land. However, the zone also covers land along the western and eastern borders. Figure 4.6 identifies Santee's critical facilities (e.g., City operations, fire stations, police departments, schools, medical facilities, utilities) in the Moderate, High, and Very High FHSZs. The State Board of Forestry and Fire Protection updated the FHSZ map in March 2025 and designated new very high fire hazard safety zones within the City. This map was published before adoption of this Safety and Environmental Justice Element update. The updated map, as adopted by the Santee City Council via Ordinance is incorporated into this Safety and Environmental Justice Element update.

#### Section 4.4

One of the proactive strategies used by the County Sheriff's Department to address thefts and other crimes in the community is the Crime Prevention through Environmental Design (CPTEDCEPTD) program. This program emphasizes the application of preventative measures in new construction and existing spaces. To reduce potential incidents of crime, CPTEDCEPTD emphasizes the importance of the physical environment of a building or neighborhood related to four primary concepts—natural surveillance, territoriality, access control, and maintenance. Site design, landscaping, and lighting are major components of the four concepts. Decisions made by local governments including planners, designers, and law enforcement officials can influence resident and business conditions and behavior. The CPTED CEPTD program is incorporated into Section 13.10.040M of the Santee Municipal Code, by establishing the minimum site and building standards, including defined entrances, landscaping, architectural design, lighting; natural surveillance through visibility and lighting; defined site boundaries and territorial reinforcement through landscaping and decorative fencing; designed wayfinding signage; and maintenance requirements.

The County Sheriff's Department COPPS and Crime Prevention Units review all new development proposals as part of the City development review process to incorporate safety recommendations and <u>CPTED\_CEPTD</u> principles into the design of new developments.

#### Section 4.6

From the Grossmont Trolley Station in La Mesa, both the Orange and Green Lines head northeast to the Arnele Avenue station in El Cajon where the Orange line terminates. From there, the <u>Copper Green</u> Line continues into Santee.

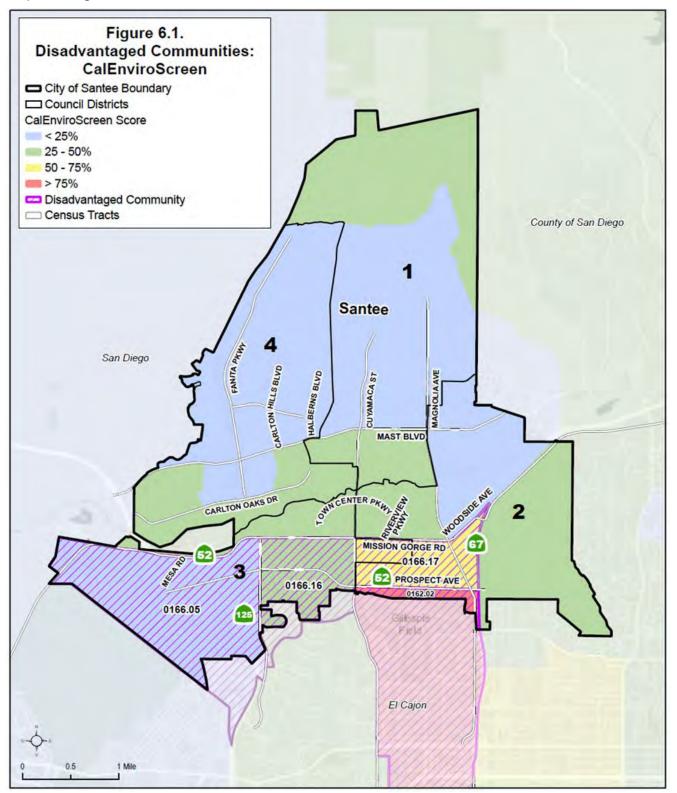
#### Policy 3.3

Promote and support the continued expansion of the San Diego Trolley system that benefits residents of Santee, especially in higher-density areas. Work with the San Diego Metropolitan Transit System to ensure that public transportation is provided from disadvantaged communities to commercial and recreational facilities. Work with the San Diego Metropolitan Transit System to increase frequency of the Green and Copper Lines, particularly during weekends, which provides access to and from the City of Santee and the City of San Diego.

Policy 4.7

Support the County of San Diego's efforts to relocate existing Las Colinas as part of a stateof-the-art consolidated justice facility to be located elsewhere on the County's Town Center Property.

Replace Figure 6.1



Item 12 attachment Figure 4.0 City of Santee Flood Way Maps is available via the link below:

https://www.cityofsanteeca.gov/departments/cityclerk/document-central/city-clerk/councilagendas/2025/05-14-2025-item-12-attachmentfloodway-maps.pdf

# COUNCIL AGENDA STATEMENT CITY OF SANTEE

MEETING DATE May 14, 2025

**ITEM TITLE** PUBLIC HEARING FOR A CONDITIONAL USE PERMIT (CUP-2024-0001) TO CONSTRUCT AN 87,090 SQUARE-FOOT SELF-STORAGE BUILDING LOCATED AT 10835 WOODSIDE AVENUE IN THE GENERAL COMMERCIAL (GC) ZONE AND FINDING THE PROJECT CATEGORICALLY EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) PURSUANT TO CEQA GUIDELINES SECTION 15332 (APPLICANT: EXTRA SPACE STORAGE)

DIRECTOR/DEPARTMENT Sandi Sawa, AICP, Planning & Building Department

**SUMMARY** The proposed project is to allow for the construction of an 87,090 square-foot self-storage facility on a 2.81-acre lot. Currently, there are four single-story self-storage buildings that will remain. However, 3,465 square feet will be demolished from portions of the west side of each of the four buildings to accommodate site improvements. This includes the demolition of a caretaker's residence which will be relocated to the new building. The proposed self-storage facility will have three floors (and a basement level) with a maximum building height of 39 feet and 18 parking spaces will be provided.

The project site has a General Plan and Zoning land use designation as General Commercial (GC). Uses immediately adjacent to the site and within the vicinity include residential and commercial uses. The proposed project is within 50 feet of a residential district to the south; therefore, this portion is subject to the maximum building height of 25 feet and the portion beyond the 50 feet is subject to the maximum building height of 40 feet. To minimize potential impacts to the residences south of the project site, the project is conditioned to comply with the noise regulations and provide a noise disturbance coordinator during construction.

The proposed project complies with the required development standards including building height, setbacks, and parking. Project conditions of approval include constructing a second 30-foot-wide commercial driveway on Woodside Avenue and modifying the existing "Bell" communication manhole and vault on Woodside Avenue which will also require replacing existing curb, gutter, and sidewalk in this area.

**ENVIRONMENTAL REVIEW** The project is exempt from environmental review per Section 15332, Class 32 (In-Fill Development Projects) of the California Environmental Quality Act (CEQA) guidelines, because the project is consistent with the General Plan and Zoning Code, is located in an urbanized area on property less than five acres, has no habitat value, would not result in any significant effects on traffic, noise, air quality or water quality, and can be served by all required utilities and public services.

**<u>FINANCIAL STATEMENT</u>** <sup>1</sup>Staff costs for application processing are paid on an actual cost recovery basis. Development Impact Fees are estimated to total \$307,251.35.

**<u>CITY ATTORNEY REVIEW</u>** □ N/A ⊠ Completed





# RECOMMENDATION H

- Conduct and close the public hearing; and
   Find CUP-2024-0001 Categorically Exempt from the provisions of CEQA pursuant to Section 15332 and authorize the filing of a Notice of Exemption; and
   Approve Conditional Use Permit CUP-2024-0001 per the attached Resolution.

# **ATTACHMENT**

Staff Report Resolution **CEQA** Analysis Plans



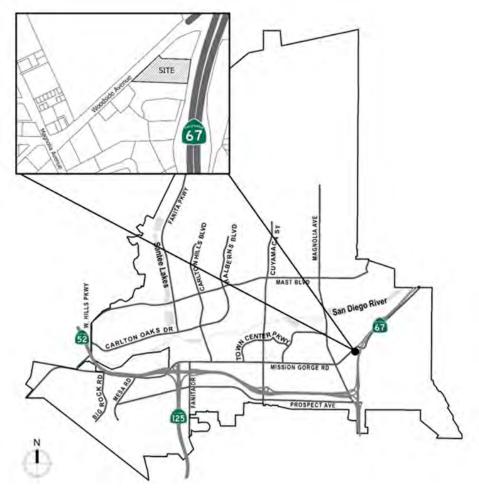
#### **STAFF REPORT**

#### PUBLIC HEARING FOR A CONDITIONAL USE PERMIT (CUP-2024-0001) TO CONSTRUCT AN 87,090 SQUARE-FOOT SELF-STORAGE BUILDING LOCATED AT 10835 WOODSIDE AVENUE IN THE GENERAL COMMERCIAL (GC) ZONE AND FINDING THE PROJECT CATEGORICALLY EXMEPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) PURSUANT TO CEQA GUIDELINES SECTION 15332

#### APPLICANT: EXTRA SPACE STORAGE APN: 384-120-46-00

#### CITY COUNCIL MEETING MAY 14, 2025

The Notice of Public Hearing was published in the *East County Californian* on May 2, 2025, and mailed via U.S. Mail on the same day to 540 property owners and occupants within 300 feet of the project site, the owner of the subject property, and other interested parties.



# A. SITUATION AND FACTS

1.	Requested by	. Extra Space Storage	
2.	Land Owner	Extra Space Storage	
3.	Type and Purpose of Request	<u>Conditional Use Permit to construct a multi-story self-</u> storage building	
4.		10835 Woodside Avenue	
5.	Site Area	2.81 Acres	
6.	Number of lots	. <u>1</u>	
7.	Hillside Overlay	. <u>No</u>	
8.	Existing Zoning	. GC (General Commercial)	
9.	Surrounding Zoning	. North: GC (General Commercial)	
		South: R-14 (Medium High Density Residential)	
		East: R-14 across State Route (SR-67)	
		West: <u>R-2 (Low-Density Residential) across</u> Woodside Avenue	
10.	General Plan Designation	. <u>GC (General Commercial)</u>	
11.	Existing Land Use	. Self-Storage Building	
12.	Surrounding Land Use	. North: Feed and supply store	
		South: Multiple Family Development	
		East: Multi-Family Development beyond SR-67	
		West: Mission Del Magnolia Mobile Home Park across Woodside Avenue	
13.	Terrain	<u>The property slopes to the north and the east with</u> <u>elevations ranging from approximately 370 to 394 feet</u> <u>Mean Sea Level (MSL).</u>	
14.	Environmental Status	<u>A Class 32 Exemption has been prepared in accordance with the California Environmental Quality Act (CEQA).</u>	
15.	APN	. <u>384-120-46-00</u>	
16.	Within Airport Influence Area	The project is within Airport Influence Area 1 and is conditionally consistent with the Gillespie Field Airport Land Use Compatibility Plan (ALUCP).	

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#### B. <u>BACKGROUND</u>

#### **Existing Conditions:**

The 2.81-acre project site includes an existing storage facility consisting of four onestory buildings with a combined square footage of 30,146 square feet. The storage facility was constructed in the mid 1970's prior to the City's incorporation. The storage facility office operating hours are 9:30 a.m. to 6:00 p.m. Monday through Friday, 9:00 a.m. to 5:30 p.m. on Saturdays, and closed on Sundays. The storage facility access hours are 6:00 a.m. to 10:00 p.m. Monday through Sunday.

Currently, customers park directly in front of the storage units to load and unload. A paved parking lot is not provided, therefore; the facility is deemed nonconforming. However, the parking nonconformity may be continued for the existing four selfstorage buildings (Santee Municipal Code (SMC) Section 13.04.110 C) while the proposed project is required to meet the parking requirements per SMC Section 13.24.040.

Land uses immediately adjacent to the site and within the vicinity includes residential and commercial uses. A



feed and supply store are located north of the site, SR-67 is located to the east, Mission Del Magnolia Mobile Home Park is located to the west, and Riderwood Terrace multi-family development is located to the south.

#### C. <u>PROJECT DESCRIPTION</u>

#### **Overview:**

The proposed project is to allow for the construction of an 87,090 square-foot selfstorage facility on a 2.81-acre lot. Currently, there are four single-story self-storage buildings that will remain. However, 3,465 square feet will be demolished from portions of the west side of each of the four buildings to accommodate site improvements. This includes the demolition of a caretaker's residence which will be relocated to the new building.

The proposed self-storage facility will be located in the undeveloped portion that is currently used for the storage of recreational vehicles. The new facility will consist of three floors and a basement level. The proposed square footage breakdown is as follows: Staff Report, May 14, 2025 Extra Space Storage – CUP-2024-0001 Page 4

- Basement: 22,050 square feet
- First Floor: 22,050 square feet
- Second Floor: 22,200 square feet
- Third Floor: 20,790 square feet

The existing storage facility consists of four one-story buildings with a combined square footage of 30,146 square feet. The existing and proposed square footage breakdown is as follows:

- Building 1: Existing 7,082 square feet Proposed 6,308 square feet
- Building 2: Existing 7,973 square feet
   Proposed 7,077 square feet
- Building 3: Existing 7,685 square feet
   Proposed 6,792 square feet
- Building 4: Existing 7,406 square feet Proposed 6,504 square feet

The project site is immediately adjacent to Riderwood Terrace, therefore, the portion of the building within 50 feet of the residential district shall not exceed 25 feet in height. A maximum building height of 40 feet is required for the portion of the building beyond 50 feet. The proposed building height within 50 feet of the residential district is 24 feet 10 inches and the proposed building height beyond the 50 feet is 39 feet. SMC Section 13.04.140 defines a basement as a portion of a building partly or wholly underground and having more than one-half of its height below the average level of the adjoining ground. The project meets the definition of the basement, therefore; it is not included in the building height

The proposed operating hours of the storage facility would remain the same. The storage facility office operating hours are 9:30 a.m. to 6:00 p.m. Monday through Friday, 9:00 a.m. to 5:30 p.m. on Saturdays, and closed on Sundays. The storage facility access hours are 6:00 a.m. to 10:00 p.m. Monday through Sunday.

#### D. ANALYSIS

#### General Plan/Zoning:

The project site has a General Plan and Zoning land use designation as General Commercial (GC) which is intended for general commercial activities and services of more intensive nature designed to serve the City or the region. Self-storage facilities

are conditionally allowed in the GC zone and a caretaker's residence is permitted as an accessory use.

Uses immediately adjacent to the site and within the vicinity include residential and commercial uses. A CUP is required to evaluate the operating characteristics and performance standards. To minimize any potential impacts to the residences to the west and south of the project site, the project is conditioned to comply with the noise regulations.

The GC development standards are delineated in Section 13.12.030 of the SMC and the relevant parking requirements are set forth in Section 13.24.040(B) of the SMC. Table 1 below shows key development standards and project compliance. The proposed storage facility, as conditioned, would meet the development standards of the GC zone including building height, setbacks, and parking.

	Table 1	
	General Commercial (GC) Development Standards	Proposed Project
Maximum Height	40'	39'
	25' *	24'10"
Building Setbacks		
Street	10 feet	20'
Rear	5 feet	NA(existing building
		at the rear)
Side (Interior)	5'	40'
	*20'	40'
Parking/Landscaping Setbacks		
Street	10'	20'
Rear	0'	NA (existing)
Side (Interior)	5'	5'
	*10'	10'
Parking		
1 space / 5,000 square feet of gross floor area	17 spaces	18 spaces
Caretaker Residence	2 spaces, with at least 1 space in a garage	2 spaces within a garage

\*Adjacent to residential

#### Access:

There is currently one access driveway along Woodside Avenue in the northwest corner of the project site, which will be reconstructed. A second driveway will be constructed in the southwest corner of the project site along Woodside Avenue. Therefore, upon completion, the proposed project would provide vehicular access via two driveways along Woodside Avenue, both of which would feature new automatic lift gates. The gates would be open to the public from 6:00 a.m. to 10:00 p.m. daily.

#### Loading/Unloading:

Elevator access to the upper floors and basement of the proposed building would be provided near the loading area located at the rear of the building. Stair access would be provided via one of two stairwells at either the southwest edge of the proposed building or the northernmost tip of the proposed building.

#### Grading:

Based on the preliminary grading plans, the proposed project would require approximately 7,850 cubic yards (cy) of cut and 375 cy of fill, resulting in a total of 7,475 cy to be exported off site. Construction of the proposed project would require a maximum excavation depth of 13 feet.

#### Architecture and Finishes:

The exterior of the new storage facility would feature a modern architectural style with a neutral color palette consisting of corrugated metal panel siding, tempered glass, and a smooth stucco finish. The project has been conditioned to screen any roofmount mechanical equipment from view.

#### Fencing:

In accordance with SMC Section 13.30.020(F)(4), a minimum six-foot high decorative masonry block wall will be provided along the northern and eastern property boundaries adjacent to the residential uses. The project would also provide wrought iron fencing adjacent to the business park and SR-52 along the southern and western property lines.

#### Landscaping:

A total of 13,092 square feet of landscaping would be provided for the proposed project which consists of trees, low water use plants, and groundcover. Hydro seed would be provided on the sloped areas to the south and east of the existing four building development.

#### Compatibility with On-site and Adjacent Land Uses:

The project proposes the addition of a new self-storage building on a site currently developed with self-storage facilities. The use remains consistent with the existing property use and is compatible with surrounding commercial development. In addition, the project complies with the development standards adjacent to commercial and residential uses including building height and setbacks.

#### Sustainable Santee Plan (SSP):

The project is conditioned to comply with the following greenhouse gas reduction measures included in the SSP:

• Measures 2.1 and 4.1. New construction meet or exceed California Green Building Standards Tier 2 Voluntary Measures, such as obtaining green building ratings including LEED, Build it Green, or Energy Star Certified building certifications.

- **Measure 5.1.** Utilize tree planting for shade and energy efficiency such as tree planting in parking lots and streetscapes as shown on the landscape plan.
- **Measure 5.2.** Use light-reflecting surfaces such as enhanced cool roofs on commercial buildings.
- **Measure 7.1.** Install one electric vehicle charging station for the caretaker's residence.
- Measure 10.1. Install photovoltaic solar systems.

#### **Development Impact Fees:**

The applicant shall pay all development impact fees in effect at the time of issuance of building permits. The fees for this project are estimated to be as follows:

#### Site Development Impact Fees

Traffic Signal -	\$ 20,962.36
Traffic -	\$ 149,710.09
Drainage -	\$ 112,805.82
Fire Facilities -	\$ 16,985.37
Long Range Planning -	\$ 763.00
Administration -	\$ 6,024.71
Total	\$ 307,251.35

#### Street Improvements:

Improvements include constructing a second 30-foot-wide commercial driveway on Woodside Avenue per City of Santee Standards and modifying the existing "Bell" communication manhole and vault on Woodside Avenue which will also require replacing existing curb, gutter, and sidewalk in this area.

#### Traffic:

A Transportation Analysis prepared by LSA, dated August 1, 2024, states that the proposed project would generate approximately 121 new net daily trips, including 9 trips in the a.m. peak hour and 15 trips in the p.m. peak hour. The existing and proposed project would generate a total of 165 daily trips including 12 trips in the a.m. peak hour and 20 trips in the p.m. peak hour. As such, the proposed project would not exceed the daily or peak-hour trip thresholds for a level of service (LOS) -based analysis or a vehicle miles traveled (VMT) analysis. Therefore, the proposed project would have a less than significant transportation impact.

#### Noise:

The Noise Element of the General Plan and SMC Chapter 5.04 Noise Abatement and Control is used to protect the citizens of Santee from excessive exposure to noise. Noise levels would not exceed the City's normally acceptable compatibility level of 65 Community Noise Level Equivalent Level (CNEL) for residential uses. In addition, the caretaker's residence is located outside of the Airport Land Use Compatibility Plan (ALUCP) compatible noise level limit of 60 CNEL for residential uses.

A noise analysis prepared by LSA, dated August 5, 2024, concluded that construction noise, vehicle traffic noise, and on-site noise, such as air conditioning equipment and loading and unloading, would comply with the City noise standards and result in less than significant noise impacts.

In accordance with the Noise Abatement and Control Ordinance of the SMC, the project is conditioned to 1) require advance notice of construction to surrounding properties within 300 feet of the site; 2) limit construction activities between 7:00 a.m. and 7:00 p.m. Mondays through Saturdays and prohibit construction activities on Sundays; and 3) limit unloading/loading operating hours. In addition, the project is required to provide a noise disturbance coordinator that shall be responsible for responding to any local complaints about construction noise.

#### **Environmental Status:**

The project is exempt from environmental review per Section 15332, Class 32 (In-Fill Development Projects) of the California Environmental Quality Act (CEQA) guidelines, because the project is consistent with the General Plan and Zoning Code, is located in an urbanized area on property less than five acres, has no habitat value, would not result in any significant effects on traffic, noise, air quality or water quality, and can be served by all required utilities and public services.

#### E. <u>STAFF RECOMMENDATION</u>

- 1. Conduct and close the public hearing; and
- 2. Find CUP-2024-0001 Categorically Exempt from the provisions of CEQA pursuant to Section 15332 and authorize the filing of a Notice of Exemption; and
- 3. Approve Conditional Use Permit CUP-2024-0001 per the attached Resolution.

#### **RESOLUTION NO.**

#### RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTEE, CALIFORNIA APPROVING A CONDITIONAL USE PERMIT (CUP-2024-0001) TO CONSTRUCT AN 87,090 SQUARE-FOOT SELF-STORAGE BUILDING LOCATED AT 10835 WOODSIDE AVENUE IN THE GENERAL COMMERCIAL (GC) ZONE AND FINDING THE PROJECT CATEGORICALLY EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) PURSUANT TO CEQA GUIDELINES SECTION 15332

#### (APPLICANT: EXTRA SPACE STORAGE) ASSESSOR'S PARCEL NUMBER: 384-120-46-00

WHEREAS, on March 13, 2025, Extra Space Storage submitted a complete application for Conditional Use Permit CUP-2024-0001 to allow for the construction of an 87,090 square-foot self-storage facility; and

WHEREAS, the project site is located within the GC (General Commercial) zone; and

WHEREAS, Table 13.12.030(A) of the Santee Municipal Code (SMC) allows a self-storage facility with approval of a Conditional Use Permit and allows a caretaker's unit as an ancillary use in the GC zone; and

WHEREAS, based on the environmental assessment, the City, as lead agency under the California Environmental Quality Act (CEQA), Public Resources Code Section 21000 et seq. has determined the project is located in an urbanized area on property less than 5 acres, has no habitat value, would not result in any significant effects to traffic, noise, air quality, or water quality, and can be served by all required utilities and public services; and

WHEREAS, the proposed project is located within Airport Influence Area 1 of the Gillespie Field Airport Land Use Compatibility Plan (ALUCP). The Federal Aviation Administration (FAA) determined that the project, as designed, presented no hazard to air navigation, and the Airport Land Use Commission (ALUC) determined that the project as conditionally consistent with the ALUCP pursuant to the ALUC determination letter dated March 4, 2024; and

**WHEREAS,** the Airport Land Use Commission determined an overflight notification is required for the caretaker's residence; and

**WHEREAS,** the project was determined to pose no hazard to air navigation by the Federal Aviation Administration (FAA) on January 17, 2024; and

**WHEREAS,** the project is subject to the payment of development impact fees based on the project's commercial use classification and square footage; and

WHEREAS, development impact fees ensure that new development will not

#### **RESOLUTION NO.**

burden the existing service population with the cost of facilities required to adequately support new development; and

WHEREAS, new development requires the construction of capital improvements, including, without limitation, drainage improvements, traffic improvements, traffic signals, public park facilities, community facilities and other public improvements, public services and community amenities; and

WHEREAS, the purpose of the development impact fees imposed on the subject project is to provide a funding source from the project to fund-related capital improvements that serve the project, specifically drainage improvements, traffic mitigation, public facilities, park-in-lieu, fire facilities, traffic signals, and to fund long-range planning and administration of development related fee program requirements; and

WHEREAS, it is in the interest of the public's health, safety and welfare for the project to pay the costs of constructing these public facilities that are reasonably related to the impacts of the project; and

WHEREAS, a reasonable relationship exists between the use of the development impact fees and the project as capital improvements funded by these fees are expected to provide a citywide network of parks, public facilities, fire facilities, drainage, and trafficrelated facilities beneficial to the project; and

WHEREAS, the project's facilities need, specifically the need for parks, public facilities, drainage, fire, traffic and traffic signal facilities, is based on the project's residential classification and on the demand generated by the project for those facilities and the project's corresponding fair share contribution toward funding of said needed facilities; and

WHEREAS, the subject project is not subject to Measure N as the project is not a General Plan amendment, Planned Development Area, or new Specific Planning Area, nor would it increase the residential density permitted by law, make changes to the General Plan Residential Land Use categories that would intensify use, make changes to the land use designation of any parcel in a manner that intensifies use, nor make changes to slope criteria, minimum parcel sizes, or lot averaging provisions of the General Plan that would permit increased density or intensity of use; and

WHEREAS, the development impact fees established for the project are based on the square footage of the units to ensure a reasonable proportionality between the project and the cost of the facilities attributable to the project; and

**WHEREAS,** the Planning & Building Director set a May 14, 2025, public hearing for Conditional Use Permit CUP-2024-0001; and

**WHEREAS,** on May 14, 2025, the City Council held a duly advertised and noticed public hearing on the project; and

#### **RESOLUTION NO.**

**WHEREAS,** the City Council considered the staff report, all recommendations by staff, and all public testimony.

**NOW, THEREFORE, BE IT RESOLVED** by the City of Santee City Council, after considering the evidence presented at the public hearing, as follows:

**SECTION 1**: On May 14, 2025, the City Council approved filing a CEQA Exemption and determined that the project site has no value as habitat for endangered, rare, or threatened species and it will not result in significant effects to traffic, noise, air quality, or water quality. No further environmental review is required for the City to adopt this Resolution.

**<u>SECTION 2</u>**: The findings in accordance with Section 13.06.030 (E) of the Santee Municipal Code (SMC) for a Conditional Use Permit are made as follows:

A. That the proposed use is in accord with the General Plan, the objectives of the zoning ordinance, and the purposes of the district in which the site is located.

The proposed uses are in accordance with the General Plan, the objectives of the Zoning Ordinance, and the purposes of the district in which the site is located. The site is located in the General Commercial (GC) land use district which is intended for general commercial activities and services of more intensive nature. The proposed self-storage storage facility is an expansion of an existing self-storage facility on the subject site and is conditionally permitted in the GC zone with ancillary uses such as a caretaker's unit. The proposed project is subject to and would be developed in accordance with the GC development standards including but not limited to building height and setbacks for sites adjacent to commercial and residential districts.

B. That the proposed use, together with the conditions applicable thereto, will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.

The proposed uses, as designed and conditioned, will not be detrimental to the public health, safety, or welfare or materially injurious to properties or improvements in the vicinity because 1) the project meets the applicable provisions of the Zoning Ordinance; 2) is similar to nearby commercial uses; 3) was determined as not a hazard to air navigation by the Federal Aviation Administration and conditionally consistent with the Gillespie Field Airport Land Use Compatibility Plan; and 4) is not a substantial noise generator but would require compliance with the City's Noise Ordinance.

C. That the proposed use complies with each of the applicable provisions of the zoning ordinance.

The proposed uses comply with each applicable provision of the Zoning Ordinance. The building heights and setbacks comply with the setbacks for adjacent to commercial and residential districts as prescribed in Table 13.12.040(A) and Table 13.12.040(B) of the SMC and parking as prescribed in Section 13.24.040 of the SMC. The project site is immediately adjacent to a multifamily development, therefore, the portion of the building within 50 feet of the residential district shall not exceed 25 feet in height. A maximum building height of 40 feet is required for the portion of the building beyond 50 feet. The proposed building height beyond the 50 feet is 39 feet. In addition, the existing storage facility is deemed nonconforming due to parking. However, the nonconformity may be continued (Santee Municipal Code (SMC) Section 13.04.110(C)) and the project is required to meet the parking requirements for the new building. Seventeen parking spaces are required, and 18 parking spaces are provided.

D. Regarding all properties designated as general commercial, neighborhood commercial or office professional: Development and redevelopment shall be comprehensively designed, entitled and developed whenever it is determined by the City that the permitting of incremental construction and uses may significantly inhibit or otherwise be detrimental to fulfilling the economic and development potential of the site.

Development of the site has been comprehensively designed to the maximum extent possible. The proposed project is an expansion of the existing self-storage facility. The project will not significantly inhibit or otherwise be detrimental to fulfilling the economic and development potential of the site.

**<u>SECTION 3</u>**: Conditional Use Permit CUP-2024-0001, to construct a self-storage facility at 10835 Woodside Avenue is hereby approved, subject to the following conditions:

- A. All construction shall be in substantial conformance with the approved project plans received February 3, 2025, as amended by this Resolution. (All Departments)
- B. The applicant shall comply with all applicable requirements of the Santee Municipal Code (SMC), Land Development Manual, and Public Works Standards of the City of Santee. (All Departments)
- C. The applicant shall obtain building permits, as necessary, for the proposed work in compliance with all applicable SMC sections, Uniform Building Code, California Building Code, Uniform Plumbing Code, National Electric Code, Uniform Mechanical Code, Public Works Standards of the City of Santee, and all requirements of the Fire Department. (All Departments)
- D. The project shall be compliance with the adopted California Building Standards

Code at the time of building permit application and shall be subject to expirations for plan review per SMC Section 11.04.030 (Building)

- E. Minor or Major Revisions to the Conditional Use Permit, such as, but not limited to, changes to the uses, building elevations, site design, landscaping design and changes to business hours, shall be approved by the Director of Development Services, unless, in the Director's judgment, a Major Revision should be reviewed by the City Council.
- F. Following project approval, the applicant shall schedule with the City Project Planner a post approval meeting to discuss the project conditions of approval, timing of design and construction and implementation of the project conditions. The meeting shall be scheduled within 30 days of project approval and prior to any plan submittals. The applicant should include their project design team including project architect, their design engineer and their landscape architect. (Planning)
- G. Prior to building permit issuance, the applicant shall:
  - 1. Submit a landscape plan for the site prepared in accordance with the City of Santee Water Efficient Landscape Ordinance (Chapter 13.36 of the Santee Municipal Code). (Planning)
  - 2. Record a Notice of Restrictions which discloses the conditions of Conditional Use Permit CUP-2024-0001 and existing zoning regulations to the future property owners. The form and content of said document shall be approved by the Planning & Building Department. (Planning)
  - 3. Record an overflight notification for the residential unit. The form and content of said document shall be approved by the Planning & Building Director. (Planning)
  - 4. Design on-site parking in accordance with Chapter 13.24 of the Santee Municipal Code. (Planning)
  - 5. Provide lighting on the facility in compliance with Section 13.30.030(B) of the Santee Municipal Code. (Planning)
  - 6. Submit a photometric study to show that lights will be shielded and directed so as to not cause glare on adjacent properties. (Planning)
  - 7. Submit a Construction and Demolition debris deposit as required by Chapter 9.04 of the Santee Municipal Code. (Building)
  - 8. All buildings shall meet or exceed California Green Building Standards Tier 2 Voluntary Measures, such as obtaining green building ratings including LEED, Build it Green, or Energy Star Certified building certifications. (Building)

- The applicant shall include a roof-mounted solar photo-voltaic system for the storage facility and the caretaker's residence to the maximum feasible extent given roof space or as required by the current California Code of Regulations Title 24 and/or the Santee Municipal Code at the time of building permit issuance. (Planning & Building)
- 10. The garage of the caretaker's residence shall be installed with complete 40 amp electrical service and minimum AC Level 2 electrical vehicle charging station. (Planning)
- 11. The garage of the caretaker's residence shall have a minimum interior dimension of 20 feet by 20 feet in accordance with SMC Section 13.24.030(B)(1)(d).
- 12. All commercial buildings shall be installed with cool roofs and designed as required by Title 24. (Planning & Building)
- 13. Signage shall comply with Chapter 13.32 of the SMC and shall not cause glare on adjacent properties or motorists. (Planning)
- 14. Following project approval the applicant shall schedule with the City Project Planner a post approval meeting to discuss the project conditions of approval, timing of design and construction, and implementation of the project conditions. The meeting shall be scheduled within thirty days of project approval and prior to any plan submittals. The applicant should include their project design team including the project architect, their design engineer and their landscape architect. (Planning)
- 15. The driveways shall be reconstructed per City of Santee Standard Drawing PW-38. (Traffic)
- 16. The eastern driveway shall be exit only if gated with no turn around. (Traffic)
- 17. Equip the storm drain inlets along North Woodside Avenue with Full Trash Capture (FTC) devices which receive flows from Drainage Basins 1A, 2A, 2B, and 3A of post- developed conditions (e.g. the two inlets COSID 2241 & 2340, using a blue pin/marker) to the satisfaction of the Engineering Director. (Storm Water).
- 18. The applicant shall include provisions in their design contract with their design consultants that following approval by the City, all construction drawings or technical reports accepted by the City, exclusive of architectural building plans, shall become the property of the City. Once accepted, these plans may be freely used, copied or distributed by the City to the public or other agencies, as the City may deem appropriate. A letter of acknowledgement of this

requirement from each design consultant is required at the time of plan submittal. This letter shall be in a format acceptable to the City Engineer. (Engineering)

- 19. To coordinate with the City Geographic Information System, horizontal and vertical control for all construction drawings, grading plans, landscape plans, street improvement plans, plot plans, etc., shall be obtained from ROS 11252. All plans, exclusive of building plans, shall be prepared at an engineering scale of 1"=20' unless otherwise approved by the project engineer. (Engineering)
- 20. Applicant shall ensure that all property corners are properly monumented. If corners have been lost of do not exist, corners shall be set and a Record of Survey filed prior to issuance of a building permit. (Engineering)
- 21. Starting with the first plan check submittal, all plan sets shall be submitted concurrently to Padre Dam Municipal Water District for review and approval. The City does not coordinate the review process with Padre Dam, this is the responsibility of the design engineer and the landscape architect. Failure to properly coordinate this review may result in delay of issuance of permits required for construction. It is incumbent upon the applicant to oversee the plan submittals of their design consultants. (Planning)
- 22. **Street Improvement Plans** shall be submitted to the Engineering Department for review and acceptance. Prior to the start of construction of any improvements, public or private, within the limits of the public right-of-way, the applicant shall have plans accepted, agreements executed, securities posted, and an encroachment permit issued. All improvements shall be installed in accordance with City standards and at the applicant's cost unless otherwise indicated. The following improvements are conditioned as part of this development:
  - a. Construct a second 30-foot-wide commercial driveway on Woodside Avenue per City of Santee Standards. The driveway design shall be per the City of Santee Public Works Standard Drawing PW-38 and to the satisfaction of the Director of Engineering.
  - b. Modify the existing "Bell" communication manhole and vault on Woodside Avenue such that the gutter flow is not in conflict and the manhole is raised to grade. Reconstruction shall include, but not limited to replacement of the existing curb, gutter, and sidewalk in this area.
  - c. Sewer and water connections must meet Padre Dam Municipal Water District conditions provided on the water and sewer availability letters. PDWMD requirements include the removal of the existing septic system, 20-foot easement dedication and extension of the existing sewer system as indicated in their availability letter dated March 15, 2023.

- d. Street Improvement plans shall be one hundred percent **(100%)** complete at the time of plan check submittal, be prepared in accordance with City guidelines and the requirements set forth herein and be ready for acceptance by the City. Partial or incomplete submittals will not be accepted for plan check. The applicant shall make an electronic submittal via the City of Santee Permitting and Licensing Portal. The items to be submitted include but are not limited to the following: (Engineering)
  - 1) 100% complete improvement plans.
  - 2) Estimate for the cost of construction.
  - 3) Resolution of Approval approving the project.

In addition to the above electronic submittal requirements, one hard copy of the full-sized improvement plans shall be provided to the project engineer. Plan check and inspection fees shall be paid in accordance with the City Fee Schedule. The amount due will be determined by staff after the initial intake. To begin the review process, fees must be paid in full.

- 23. Precise Grading Plans shall be submitted to the Engineering Department for review and acceptance. (Engineering)
  - a. Horizontal and vertical control for all plans shall be obtained from ROS 11252 and shall be prepared at an engineering scale of 1"=20' unless otherwise approved by the City project engineer.
  - b. All recommended measures identified in the approved geotechnical study shall be incorporated into the project design and construction.
  - c. Grading plans shall include preliminary recommendations for all pavement design sections within the project limits. The pavement structural section shall be designed based on the "R" value method using a minimum traffic index of 5.0. Structural sections shall consist of asphalt concrete over approved aggregate base material. Minimum concrete section shall be 5 1/2 inches PCC over compacted, non-expansive soil. Mix design shall be a minimum class 520-C-2500. R-value test data and design calculations shall be submitted for approval to the Engineering Department a minimum of seven days prior to placement of paving. The pavement design report shall conform to City of Santee Form 435 PAVEMENT DESIGN AND R-VALUE TEST SUBMITTAL PROCEDURES.
  - d. Grading plans shall be one hundred percent **(100%)** complete at the time of plan check submittal, be prepared in accordance with City guidelines and be ready for acceptance by the City. Partial or incomplete submittals will not be accepted for plan check. The applicant shall make an electronic submittal via the City of Santee Permitting and Licensing Portal. The items to be submitted include but are not limited to the following:

- 1) 100% complete Grading, landscape, and irrigation plans.
- 2) A completed grading permit application.
- 3) Estimate for the cost of construction.
- 4) Drainage Study specified here within.
- 5) Storm Water Quality Management Plan specified here within.
- 6) Operation & Maintenance (O&M) plan specified here within.
- 7) Storm Water Pollution Prevention Plan specified here within.
- 8) Geotechnical Study specified here within.
- 9) Letters of permission from any adjoining property owners if grading is proposed off-site. Letters shall be in a form acceptable to the City.
- 10) Letters of acknowledgement signed and sealed, from each design consultant acknowledging City ownership of all construction drawings following City approval as specified here within.
- 11) Resolution of Approval approving the project.

In addition to the above electronic submittal requirements, one hard copy of the above-mentioned full-sized plans, documents and reports shall be provided to the project engineer. Plan check and inspection fees shall be paid in accordance with the City Fee Schedule. The amount due will be determined by staff after the initial intake. To begin the review process, fees must be paid in full.

- 24. Landscape and Irrigation Plans shall be submitted to the Engineering Department for review as part of the grading plan submittal. (Engineering)
  - a. Horizontal and vertical control for all plans shall be obtained from ROS 11252 and shall be prepared at an engineering scale of 1"=20' unless otherwise approved by the City project engineer.
  - b. Landscape and irrigation plans shall be one hundred percent (100%) complete at the time of plan check submittal, be prepared in accordance with City guidelines and be ready for acceptance by the City. Partial or incomplete submittals will not be accepted for plan check. The applicant shall make an electronic submittal via the City of Santee Permitting and Licensing Portal. The items to be submitted include but are not limited to the following:
    - 1) 100% complete landscape and irrigation plans.
    - 2) Estimate for the cost of construction.
    - 3) Letter of acknowledgement, signed and sealed, from each design consultant acknowledging City ownership of all construction drawings following City approval as specified here within.

In addition to the above electronic submittal requirements, one hard copy of the above-mentioned full-sized plans, documents and reports shall be provided to the project engineer. Plan check and inspection fees shall be paid in accordance with the City Fee Schedule. The amount due will be

determined by staff after the initial intake. To begin the review process, fees must be paid in full.

- 25. Provide a geotechnical study prepared in accordance with the Santee General Plan. The investigation may be subject to an independent third-party review to be paid for by the applicant. The applicant shall place a deposit with the Engineering Department in an amount satisfactory to the Director of Engineering to cover the cost of the review. All recommended measures identified in the approved study shall be incorporated into the project design. The <u>Geotechnical/Seismic Hazard Study for the Safety Element of the Santee General Plan</u> which details, in Table A-1, study criteria necessary to conform to the General Plan requirements, can be accessed from the City's website. (Engineering)
  - a. The geotechnical report shall analyze any proposed infiltration techniques (trenches, basins, dry wells, permeable pavements with underground reservoir for infiltration) for any potential adverse geotechnical concerns. Geotechnical conditions such as: slope stability, expansive soils, compressible soils, seepage, groundwater depth, and loss of foundation or pavement subgrade strength should be addressed, and mitigation measures provided.
- 26. Replace failed or inadequate pavement to the centerline and/or sidewalk adjacent to the site on Woodside Avenue the satisfaction of the Director of Engineering. (Engineering)
- 27. Applicant shall pay all development impact fees in effect at the time of issuance of building permits. Effective March 10, 2025, the fees are estimated to be as follows: (Engineering)
  - a. Traffic Signal ..... \$20,962.36 calculated based on a fee rate of \$240.67/1000 square feet of building area.
  - b. Traffic ..... \$ 149,710.09 calculated based on a fee rate of \$ 1,718.83/1000 square feet of building area.
  - c. Drainage ..... \$ 112,805.82 (estimated) calculated based on \$ 1,295.13/1000 square feet of increased impermeable area.
  - d. Fire Facilities ..... \$ 16,985.37 calculated based on a fee rate of \$ 195.01/1000 square feet of building area.
  - e. Long Range Planning .... \$ 763.00 calculated based on a fee rate of \$ 8.76\1000 square feet of building area.

f. Administration . . . . . \$ 6,024.53 calculated based on a fee rate of 2% of all Development Impact fees

**Note:** The Development Impact Fees provided above were estimated using the City of Santee's updated Development Impact Fees Program amounts going into effect on March 10, 2025.

Development Impact Fee amounts shall be calculated in accordance with current fee ordinances in effect at issuance of building permit. Fees shall be adjusted on an annual basis in accordance with the Municipal Code. The applicant shall provide site and building footage certified by their engineer of work to the Director of Engineering for approval for use in calculating the final fee amounts.

- 28. Following issuance of a grading permit the applicant shall complete rough grading in accordance with the approved grading plans and the recommendations of the project's geotechnical engineer. Following completion of the rough grading and prior to issuance of any building permits, provide three originals of the pad compaction certification from the geotechnical engineer and three originals of the pad elevation certification from the project civil engineer to the City project engineer. (Engineering)
- 29. Provide a drainage study prepared by a registered Civil Engineer, with demonstrated expertise in drainage analysis and experience in fluvial geomorphology and water resources management. Storm drainage shall be designed to adequately convey storm water runoff without damage or flooding of surrounding properties or degradation of water quality. (Engineering)
  - a. The drainage study shall identify and calculate storm water runoff quantities expected from the site and upstream of the site and verify the adequacy of all on-site or off-site facilities necessary to discharge this runoff. The drainage system design shall be capable of collecting and conveying all surface water originating within the site, and surface water that may flow onto the site from upstream lands, and shall be in accordance with the latest adopted Master Drainage Plan, the requirements of the City of Santee Public Works Standards, including analysis of the 10-year, 50-year and 100-year frequency storms, and be based on full development of upstream areas.
  - b. The drainage study shall compute rainfall runoff characteristics from the project area including, at a minimum, peak flow rate, flow velocity, runoff volume, time of concentration, and retention volume. These characteristics shall be developed for the 10-year, 50-year and 100-year frequency sixhour storm during critical hydrologic conditions for soil and vegetative cover.

Storm events shall be developed using isopluvial maps and in accordance with the San Diego County Hydrology Manual.

30. Provide a Storm Water Quality Management Plan (SWQMP) prepared and in accordance with the City of Santee Storm Water Ordinance and in accordance with the City of Santee Best Management Practices (BMP) Design Manual dated February 2016. The SWQMP must include best management practices (BMPs) to address water quality and hydromodification. An Operation and Maintenance Plan describing maintenance requirements and costs for BMP maintenance and provision of maintenance verification shall be provided. (Engineering)

The SWQMP shall include the following:

- a. Develop and implement appropriate Best Management Practices (BMPs) to ensure that the project does not increase pollutant loads from the site. A combination of respective storm water BMPs, including Site Design, Source Control, and Structural Treatment Control shall be implemented in accordance with the approved SWQMP.
- b. The project design shall incorporate Low Impact Development (LID) and site design BMPs to minimize directly connected impervious areas and to promote infiltration using LID techniques as outlined in the County of San Diego's LID handbook. Parking areas shall be designed to drain to landscape areas. Private roads shall be designed to drain to vegetated swales or landscaped areas.
- c. The site shall comply with full trash capture requirements by providing completely enclosed trash and recycling enclosures, and fitting all storm drain inlets with a State certified grate/screen or trash rack. Said devices must be designed to capture debris of 5 mm or greater, while preventing flooding potential. In addition, any adjacent public storm drain inlet structure to which the site discharges must also be retrofitted with trash capture devices. The device which shall be used for public inlets is the ADS FlexStorm Connector Pipe Screen system or approved equal.
- d. All inlets must be labeled with concrete stamp or equivalent stating, "No Dumping Drains to River". If work is performed on a public inlet, the public inlet must be labeled with the following standard specification: Public storm drain inlet markers shall be 4" diameter, stainless steel, natural embossed, inlet marker as manufactured by Almetek Industries or approved equal. Marker shall contain/state "No Dumping" with "Fish w/ Wave" symbol and "Drains to Waterways" legend. Marker shall contain 2" long x 1/4" diameter threaded rod and shall be installed flush and wet-set in top of inlet, centered on width of inlet opening.

- e. Down spouts and HVAC systems are not permitted to be connected to any storm drain conveyance system. All non-storm water discharges must either drain to landscaped areas or be plumbed to the sewer.
- f. Fire suppression systems must be designed to be able to discharge to a sewer clean out for all maintenance and testing activities or otherwise captured and contained on-site.
- g. California native/drought-tolerant plants shall be used to the maximum extent feasible to minimize the need for irrigation. Where irrigation is necessary, then the system shall be designed and installed to prevent overspray or irrigation runoff during normal operations and during a break in the line.
- h. The final project submittal shall include a standalone Operation and Maintenance (O&M) Plan in accordance with the City of Santee BMP Design Manual.
- 31. Minimum best management practices for storm water and water quality will be incorporated into the development's CC&R's via reference to the project's Storm Water Quality Management Plan (SWQMP). (Engineering)
- 32. Construction Site Storm Water Compliance (Engineering)
  - a. Provide proof of coverage under the General Permit for Discharges of Storm Water Associated with Construction Activity (Construction General Permit, WQ 2022-0057-DWQ) prior to start of construction. This project disturbs one or more acres of soil or disturbs less than one acre but is part of a larger common plan of development that in total disturbs one or more acres. Construction activity subject to this permit includes clearing, grading and disturbances to the ground such as stockpiling, or excavation.
  - b. Submit a copy of the draft project specific Storm Water Pollution Prevention Plan (SWPPP) to the City for review and approval. The Construction SWPPP should contain a site map(s) which shows the construction site perimeter, existing and proposed buildings, lots, roadways, storm water collection and discharge points, general topography both before and after construction, and drainage patterns across the project. The Construction SWPPP must list Best Management Practices (BMP's) the applicant will use to protect storm water runoff and the placement of those BMP's. Section XIV of the Construction General Permit describes the SWPPP requirements.
- 33. In new development, all underground utilities, hydrants, water mains, curbs, gutters and sidewalks must be installed, and the drive surface shall be approved prior to combustibles being brought on site. (SMC 11.18.020(B)(2)) (Fire)

- 34. The owner/owner's agent and/or responsible licensed builder shall be responsible for the development, implementation, and maintenance of an approved, written Site Safety Plan establishing a Fire Prevention Program at the Project site that is applicable throughout all phases of the construction, repair, alteration, or demolition work. This plan shall be required to be submitted at the Construction Permit phase. (CFC Chapter 33 & NFPA 241). (Fire)
- 35. Two fire hydrants are required for the Project. The hydrants shall have one, 21/2" port and two, 4" ports. Hydrants shall be of all bronze construction, painted "fire hydrant yellow" and be installed per Padre Dam Municipal Water District requirements. The exact installation location shall be approved by the Fire Department prior to installation via the grading permit plan review process. (CFC §507.1) (Fire)
- 36. If the fire hydrants are to be privately owned, a deferred submittal is required for the private fire service main and private hydrant system and must be submitted to the Santee Fire Department. (CFC §105.6.18) (Fire)
- 37. An operational permit from the Santee Fire Department is required to operate a private fire hydrant system. The operational permit shall be applied for and obtained at the completion of the private fire service main and hydrant installation and acceptance. (CFC §105.5.41) (Fire)
- 38. Fire apparatus access roads shall have an unobstructed width of not less than 26 feet and an unobstructed vertical clearance of not less than 13 feet 6 inches. (Fire)
- 39. Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be provided with an approved paved surface. (SMC §11.18.020(B)(2)) (Fire)
- 40. Address numbers for the Project shall be on the street side, near the roofline, visible from the street. Numbers shall be block-style, a minimum of 12" in height, 1" stroke and black in color (or other approved color), in contrast with their background. (CFC §505.1) (Fire)
- 41. Automatic fire sprinkler system is required for this Project. A deferred submittal is required and must be submitted to the Santee Fire Department. (SMC 11.18.020(C)(1) & CFC 105.6.1) (Fire)
- 42. One or more exterior approved audio/visual device(s) shall be connected to every automatic sprinkler system in an approved location. Such sprinkler waterflow alarm devices shall be activated by water flow equivalent to the flow of a single sprinkler of the smallest orifice size installed in the system. Where a building fire alarm system is installed, actuation of the automatic sprinkler system shall actuate the building fire alarm system. (SMC 11.18.020(C)(2)) (Fire)

- 43. A fire alarm control unit is required for the monitoring of valves controlling the water supply for the automatic sprinkler systems. A deferred submittal is required and must be submitted to the Santee Fire Department. (CFC 903.4 & 105.6.6) (Fire)
- 44. All construction plans shall include the following notes: (Planning)
  - a. Operations shall conform to the City's Municipal Code Section 5.04.090.
  - b. All equipment shall be equipped with properly maintained mufflers.
  - c. The construction contractor shall place noise-generating construction equipment and locate construction staging areas at the greatest possible distance from sensitive uses whenever feasible during all project construction.
  - d. The construction contractor shall use on-site electrical sources to power equipment rather than diesel generators where feasible.
- 45. A "noise disturbance coordinator" shall be established. The disturbance coordinator shall be responsible for responding to any local complaints about construction noise. The disturbance coordinator shall determine the cause of the noise complaint (e.g., starting too early, bad muffler) and shall be required to implement reasonable measures to reduce noise levels. (Planning)
- 46. The following shall be incorporated into the project construction plan: "Control of Construction Hours. Construction activities occurring as part of the project shall be subject to the limitations and requirements of Section 5.04.090 of the City Municipal Code which states that construction activities may occur between 7:00 a.m. and 7:00 p.m. Mondays through Saturdays. No construction activities shall be permitted outside of these hours or on Sundays and federal holidays." (Planning)
- H. Prior to Grading Permit Issuance:
  - 1. Prior to the start of ground-disturbing activities, the Applicant shall retain a qualified archaeologist who meets the Secretary of the Interior's Professional Qualifications Standards for Archaeology. The Applicant shall also retain a Native American monitor of Kumeyaay decent. (Planning)
  - 2. At least 15 days prior to any grading activity all property owners and tenants 300 feet from the project site shall receive a notice of the slated grading activity that includes a project timeline and the contact information, including telephone number and e-mail address, for the site construction superintendent and "noise disturbance coordinator" where comments and complaints can be lodged. The

mailing shall be coordinated with the Project Planner. The City will prepare the notice and mailing; however, the project proponent is responsible for the postage. In addition, a 4'x8' temporary sign shall be placed on the property in a visible location. (Planning)

- 3. Prior to start of ground-disturbing activities, the qualified archaeologist shall conduct cultural resources sensitivity training for all construction personnel. Construction personnel shall be informed of the types of archaeological resources that may be encountered, and of the proper procedures to be enacted in the event of an inadvertent discovery of archaeological resources or human remains. The Applicant shall ensure that construction personnel attend the training and sign an attendance acknowledgement form. The Applicant shall retain documentation demonstrating attendance. (Planning)
- I. During grading, site preparation or construction activities:
  - 1. The gualified archaeologist, or an archaeological monitor (working under the direct supervision of the qualified archaeologist), shall observe all initial grounddisturbing activities, including but not limited to brush clearance, vegetation removal, grubbing, grading, and excavation. The qualified archaeologist, in coordination with the Applicant and the City, may reduce or discontinue monitoring if it is determined by the gualified archaeologist that the possibility of encountering buried archaeological deposits is low based on observations of soil stratigraphy or other factors. Archaeological monitoring shall be conducted by an archaeologist familiar with the types of archaeological resources that could be encountered within the project site. The archaeological monitor shall be empowered to halt or redirect ground-disturbing activities away from the vicinity of a discovery until the qualified archaeologist has evaluated the discovery and determined appropriate treatment (as prescribed below). The archaeological monitor shall keep daily logs detailing the types of activities and soils observed, and any discoveries. After monitoring has been completed, the qualified archaeologist shall prepare a monitoring report that details the results of monitoring. The report shall be submitted to the City and any Native American groups who request a copy. A copy of the final report shall be filed at the South Coastal Information Center (SCIC). (Planning)
  - 2. The Native American monitor shall be present for any pre-construction meeting and for all ground-disturbing activities associated with the project. Should any cultural or tribal cultural resources be discovered, no further grading shall occur in the area of the discovery until the City Planner, or designee, with concurrence from the Native American monitor, is satisfied that treatment of the resource has occurred. In the event that a unique archaeological resource or tribal cultural resource is discovered, and in accordance with Public Resources Code Section 21083.2(b)(1), (2), and (4), the resource shall be moved and buried in an open space area identified by the Native American monitor, which will not be subject to further grading activity, erosion, flooding,

or any other ground disturbance that has the potential to expose the resource. No identification of the resource shall be made; however, the Applicant shall plot the new location of the resource on a map showing latitudinal and longitudinal coordinates and provide that map to the Native American Heritage Commission (NAHC) for inclusion in the Sacred Lands File. Disposition of the resources shall be at the discretion of the City of Santee, but in accordance with the foregoing. (Planning)

- 3. In the event of the unanticipated discovery of archaeological materials, all work shall immediately cease in the area (within 100 feet) of the discovery until it can be evaluated by the qualified archaeologist in consultation with the Native American monitor. Construction shall not resume until the qualified archaeologist has conferred with the Applicant and the City on the significance of the resource. (Planning)
- 4. If it is determined that the discovered archaeological resource constitutes a historical resource or a unique archaeological resource under CEQA, avoidance and preservation in place is the preferred manner of mitigation. Preservation in place may be accomplished by, but is not limited to, avoidance, incorporating the resource into open space, capping, or deeding the site into a permanent conservation easement. In the event that preservation in place is demonstrated to be infeasible and data recovery through excavation is the only feasible mitigation available, a Cultural Resources Treatment Plan shall be prepared and implemented by the qualified archaeologist in consultation with the Applicant and the City that provides for the adequate recovery of the scientifically consequential information contained in the archaeological resource. The qualified archaeologist and the City shall consult with appropriate Native American representatives in determining treatment for prehistoric or Native American resources to ensure cultural values ascribed to the resources, beyond those which are scientifically important, are considered. (Planning)
- 5. If human remains are encountered, all work shall halt in the vicinity (within 100 feet) of the discovery and the San Diego County Coroner will be contacted in accordance with Public Resources Code (PRC) Section 5097.98 and Health and Safety Code Section 7050.5. The Applicant and the City will also be notified. If the County Coroner determines that the remains are Native American, the NAHC will be notified in accordance with Health and Safety Code Section 7050.5, subdivision (c), and PRC Section 5097.98 (as amended by Assembly Bill 2641). The NAHC will designate a Most Likely Descendant (MLD) for the remains per PRC Section 5097.98. The MLD shall complete the inspection of the site within 48 hours of being granted access and shall provide recommendations for the treatment of the remains. Until the landowner has conferred with the MLD, the Applicant shall ensure that the immediate vicinity where the discovery occurred is not disturbed by further activity and is adequately protected according to generally accepted cultural or archaeological standards or practices. (Planning)

- 6. The applicant shall comply at all times with the following work hour requirements: (Engineering)
  - a. No site work, building construction, or related activities, including equipment mobilization will be permitted to start on the project prior to 7:00 am and all work for the day shall be completed by 7:00 pm, no exceptions.
  - b. No work is permitted on Sundays or City Holidays.
  - c. No deliveries, including equipment drop off and pick-up, shall be made to the project except between the hours of 8:00 am and 6:00 pm, Monday through Saturday, excluding Sundays and City Holidays. Deliveries of emergency supplies or equipment necessary to secure the site or protect the public are permitted.
  - d. If the applicant fails or is unable to enforce compliance with their contractors, subcontractors and material suppliers regarding the specified work hours, additional reduction of work hours may be imposed by the Department of Development Services.

In addition to the above the applicant shall erect one or more signs stating the work hour restrictions. Signs shall be installed as may be required, in the vicinity of the project construction trailer if a job site trailer is used, or at such other locations as may be deemed appropriate by the Department of Development Services. The sign shall be a minimum of 24" x 36" and shall be weather proofed. The sign content shall be provided by the Department of Development Services.

- 7. Trench work when required within City streets shall be completed within two weeks of the initial start date, including placement of the final trench patch. Trench plates or temporary pavement placement shall be installed at the end of each work day. Advance warning signs on lighted barricades notifying the public of trench plates and or uneven pavement shall be placed and maintained until permanent pavement repairs are made. The maximum length of time including weekends and holidays that trench plates may remain on the street is 72 hours after which temporary or permanent asphalt paving shall be placed. (Engineering)
- 8. Comply with all applicable sections of the Municipal Code, Land Development Manual and Public Works Standards of the City of Santee. (Engineering)
- 9. The construction contractor shall use construction equipment powered by California Air Resources Board (CARB) certified Tier 4, or newer, engines and haul trucks that conform to current U.S. Environmental Protection Agency truck standards. (Planning)

- 10. During all grading and site preparation activities, the on-site construction superintendent shall ensure implementation of standard best management practices as required by the San Diego Air Pollution Control District (SDAPCD) Rule 55, Fugitive Dust Control. (Planning)
- 11. During all grading and site preparation activities, the on-site construction superintendent shall ensure implementation of applicable California Department of Resources Recycling and Recovery (CalRecycle) Sustainable (Green) Building Program Measures, as specified on the CalRecycle website. (Planning)
- 12. The project shall utilize high-efficiency equipment and fixtures consistent with the current California Green Building Standards Code and Title 24 of the California Code of Regulations. The project shall include the installation of infrastructure to make the proposed project solar-ready. (Building)
- 13. The project shall include the installation of infrastructure necessary for electric vehicle parking, as well as providing preferential parking for electric vehicles. The project shall provide bike parking on-site. (Planning)
- 14. The project shall comply with the Santee Water Efficient Landscape Ordinance. The ordinance promotes water conservation and efficiency by imposing various requirements related to evapotranspiration rates, irrigation efficiency, and plant factors. (Planning)
- 15. The project shall comply with Chapters 9.02 and 9.04 of the Santee Municipal Code that pertain to solid waste management and demolition and construction debris recycling. (Storm Water)
- 16. In conformance with SDAPCD Rule 67.0.1, Architectural Coatings, the project shall use low volatile organic compound (VOC) paints.
- 17. In conformance with CEQA, the Migratory Bird Treaty Act and the California Fish and Game Code, brushing, clearing and/or grading shall not be allowed during bird breeding season (between January 15 and September 15). If vegetation disturbance is to be cleared during the bird breeding season a qualified biologist shall perform a nesting bird survey within the proposed construction area and appropriately sized buffer no more than 72 hours prior to vegetation disturbance. If the planned vegetation disturbance does not occur within 72 hours of the nesting bird survey, then the area shall be resurveyed. If nesting birds are found, the qualified biologist shall establish an adequate buffer zone (on a species-by-species, case-by-case basis) in which construction activities would be prohibited until the nest is no longer active. The size of the buffer zone shall be determined by the biologist based on the amount, intensity, and duration of construction and can be altered based on

site conditions. If appropriate, as determined by the biologist, additional monitoring of the nesting birds may be conducted during construction to ensure that nesting activities are not disrupted. (Planning)

- 18. All vehicles, equipment, tools, and supplies shall stay within the limits of the impact area. (Planning)
- 19. Best management practices (BMP) features (e.g., silt fencing, straw wattles, and gravel bags) shall be installed where necessary to prevent and/or limit offsite sedimentation runoff in accordance with an approved BMP plan. (Storm Water)
- 20. Any planting stock to be brought onto the project site for landscaping shall be first inspected to ensure that it is free of pest species that could invade natural areas, including, but not limited to, Argentine ants (Linepithema humile), non-native fire ants (e.g., Solenopsis invicta), and other insect pests. (Planning)
- 21. The Construction Contractor shall ensure that construction of the project complies with the recommendations identified in the project-specific geotechnical investigation. Recommendations related to general construction, seismic considerations, earthwork, foundations, building floor slabs, lateral earth pressures, corrosivity, drainage, storm infiltrations, exterior concrete and masonry flatwork and paved areas shall be adhered to during all project design and construction. (Engineering)
- J. Prior to Occupancy:
  - Applicant shall place all new utilities required to serve the project underground. No overhead facilities or extension of overhead facilities is permitted. (Engineering)
  - Applicant shall dedicate right-of-way along Woodside Avenue adjacent to the site such that the ultimate right-of-way width to centerline is 61 feet. Additional right-of-way may be required as necessary to provide adequate transition to match existing improvements. (Engineering)
  - 3. All vertical cuts and top of retaining walls must have fall off protection per CBC requirements. (Engineering)
  - 4. Plant all new trees in and within 10 feet of the public right-of-way with root control barriers.
  - 5. Construct all improvements within the public right-of-way and improvements as shown on the approved precise grading plans. Improvements shall be completed to the satisfaction of the Director of Engineering.

- K. Upon establishment of the Conditional Use Permit, the following conditions shall apply:
  - 1. The storage facility office operating hours shall be from 9:30 a.m. to 6:00 p.m. Monday through Friday, 9:00 a.m. to 5:30 p.m. on Saturdays, and closed on Sundays. The storage facility access hours are 6:00 a.m. to 10:00 p.m. Monday through Sunday. (Planning)
  - 2. The project shall comply with the noise regulations in SMC Chapter 5.04. (Planning)
  - 3. Trucks rentals are not permitted. (Planning)
  - 4. Surveillance cameras shall be installed with HD recording capability at the entrance to the facility that will capture the face of persons entering the property as well as vehicle license plate. (Planning)
  - 5. Sufficient lighting shall be installed to assist in the videotaping of any suspected criminal acts being conducted within the facility. (Planning)

**SECTION 4**: The terms and conditions of this Conditional Use Permit (CUP-2024-0001) approval shall be binding upon the permittee and all persons, firms and corporations having an interest in the property subject to these permits and the heirs, executors, administrators, successors and assigns of each of them, including municipal corporations, public agencies and districts.

**SECTION 5**: This Conditional Use Permit (P2019-5) expires on <u>May 14, 2027</u>, except where substantial use has commenced prior to its expiration. If use of the development has not commenced within the three-year period, said expiration date may be extended pursuant to a request for time extension received 60 days prior to the original expiration date. The City Council expressly grants to the Director of Planning & Building the authority to extend the expiration date of this approval pursuant to Section 13.04.090(B) of the Santee Municipal Code, when a request for an extension is filed 60 days prior to the original expiration date.

**SECTION 6:** In addition to all other available remedies, the City of Santee Municipal Code, Chapter 1.14, provides for the issuance of Administrative citations for Municipal Code violations. Should non-compliance with said terms and conditions of this Conditional Use Permit or any violation of the Municipal Code that includes the City's Storm Water Ordinance, the City has the right to issue administrative citations containing an assessment of civil fines for each violation and collect administrative fines for violations.

**SECTION 7**: Pursuant to Government Code Section 66020, the 90-day approval period in which the applicant may protest the imposition of any fees, dedications, reservations, or exactions imposed pursuant to this approval, shall begin on May 14, 2025.

**SECTION 8**: The applicant shall defend with counsel of City's choice the City of Santee and its officers, employees and agents from any claim, action, or proceeding against the City and/or its officers, employees or agents to attack, or set aside, void, or annul the approval of the City of Santee concerning this Resolution or any action relating to or arising out of its approval, and further agrees to indemnify and hold harmless from all costs and expenses (including attorney's fees) associated with any such defense.

**ADOPTED** by the City Council of the City of Santee, California, at a regular meeting thereof held this 14<sup>th</sup> day of May, 2025, by the following roll call vote to wit:

AYES:

NOES:

ABSENT:

**APPROVED:** 

JOHN W. MINTO, MAYOR

ATTEST:

JAMES JEFFRIES, CITY CLERK

Item 13 CEQA Analysis attachment is available via the link below:

https://www.cityofsanteeca.gov/departments/cityclerk/document-central/city-clerk/councilagendas/2025/05-14-2025-item-13-attachmentceqa-analysis.pdf

Item 13 Plans attachment is available via the link below:

https://www.cityofsanteeca.gov/departments/cityclerk/document-central/city-clerk/councilagendas/2025/05-14-2025-item-13-attachmentplans.pdf COUNCIL AGENDA STATEMENT CITY OF SANTEE

MEETING DATE May 14, 2025

**ITEM TITLE** PUBLIC HEARING ON THE ADOPTION OF THE RESOLUTION AMENDING THE TRANSNET LOCAL STREET IMPROVEMENT PROGRAM FOR FISCAL YEARS 2026 THROUGH 2030 TO ALIGN THE RTIP WITH THE PROPOSED CAPITAL IMPROVEMENT PROGRAM BUDGET AND FINDING THE ACTION IS NOT A PROJECT SUBJECT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT

#### DIRECTOR/DEPARTMENT Carl Schm

Carl Schmitz, Engineering Sm. For:

# SUMMARY

The SANDAG Board of Directors adopted the 2025 Regional Transportation Improvement Plan (RTIP) on September 27, 2024 that covers five fiscal years (FY 2025 through 2029). On February 19, 2025 City Staff were notified by SANDAG that the revenue for FY 2025 decreased and the forecasted revenue for FY 2026 to 2030 revenue estimates have also decreased. The City is required to amend the Local Street Improvements (LSI) program to reflect the changed estimates. Staff has prepared an amendment to the current Regional Transportation Improvement Program (RTIP) to reflect the updated revenue forecast for *TransNet* LSI through fiscal year 2030 as provided by SANDAG and to align the RTIP with the proposed Capital Improvement Program (CIP). The attached Resolution requests City Council amend two (2) *TransNet* LSI projects in the program, including the Santee Rehabilitation and Major Repair Work (SNT04) and Santee Slurry Seal Roadway Maintenance (SNT22) projects.

Under the *TransNet* Extension Ordinance each jurisdiction must hold a public hearing when amending projects or budgets using *TransNet* LSI funding that have regional significance consistent with the long-range regional transportation plan. Exhibit A - Table 1, of the Resolution reflects the funding changes through FY 2027. Street recommendations within Santee Rehabilitation and Major Repair Work (SNT04) and Santee Slurry Seal Roadway Maintenance (SNT22) projects remain consistent with the current Pavement Management report.

# **ENVIRONMENTAL REVIEW**

The proposed funding changes are not a "project" as defined by the California Environmental Quality Act ("CEQA") because it involves the creation of a government funding mechanism or fiscal activity of government and does not commit the City to a specific project. Further, the proposed funding changes do not have the potential for resulting in either a direct physical change in the environment, or a reasonably foreseeable indirect physical change in the environment. (State CEQA Guidelines § 15378.) Compliance with the CEQA for individual projects would be required prior to construction authorization.

# FINANCIAL STATEMENT

The revised TransNet revenues for Fiscal Years 2026 through 2030 have decreased in total by \$224,000. Estimated available TransNet funding for the recommended projects over next five (5) years is as follows:

TransNet LSI	<b>FY 2026</b>	<b>FY 2027</b>	<b>FY 2028</b>	<b>FY 2029</b>	<b>FY 2030</b>
	\$1,208,000	\$1,227,000	\$1,269,000	\$1,325,000	\$1,512,000
		<u>₩</u> □ N/A	⊠ Complete	ed	





# RECOMMENDATION

- 1. Conduct the public hearing; and
- 2. Adopt the resolution amending the *TransNet* Local Street Improvement Program of Projects for Fiscal Years 2026 through 2030 to align the RTIP with the proposed Capital Improvement Program budget.

# **ATTACHMENTS**

Resolution with Attachment Exhibit A – Table 1



#### RESOLUTION OF THE CITY OF SANTEE ADOPTING/APPROVING AN AMENDMENT TO THE *TRANSNET* LOCAL STREET IMPROVEMENT PROGRAM OF PROJECTS FOR FISCAL YEARS 2025 THROUGH 2029 AND FINDING THE ACTION IS NOT A PROJECT SUBJECT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT

WHEREAS, on November 4, 2004, the voters of San Diego County approved the San Diego Transportation Improvement Program Ordinance and Expenditure Plan (*TransNet* Extension Ordinance); and

**WHEREAS**, the *TransNet* Extension Ordinance provides that SANDAG, acting as the Regional Transportation Commission, shall approve on a biennial basis a multi-year program of projects submitted by local jurisdictions identifying those transportation projects eligible to use transportation sales tax (*TransNet*) funds; and

WHEREAS, the City of Santee was provided with an estimate of annual *TransNet* local street improvement revenues for fiscal years 2025 through 2029; and

WHEREAS, the City of Santee approved its 2025 TransNet Local Street Improvement Program of Projects (POP) on April 10, 2024, and the City/County of Santee desires to make adjustments to its Program of Projects; and

WHEREAS, the City of Santee has held a noticed public hearing with an agenda item that clearly identified the proposed amendment prior to approval of the projects by its authorized legislative body in accordance with Section 5(A) of the *TransNet* Extension Ordinance and Rule 7 of SANDAG Board Policy No. 31.

#### NOW THEREFORE,

**BE IT RESOLVED** that the proposed changes to the 2025 POP are not a "project" as defined by the California Environmental Quality Act ("CEQA") because it involves the creation of a government funding mechanism or fiscal activity of government and does not commit the City to a specific project. Further, the proposed funding changes do not have the potential for resulting in either a direct physical change in the environment, or a reasonably foreseeable indirect physical change in the environment. (State CEQA Guidelines § 15378.); and

**BE IT FURTHER RESOLVED** that City of Santee requests that SANDAG make the following changes to its POP (the "Amendment") as programmed in the 2025 RTIP: and

**BE IT FURTHER RESOLVED** that pursuant to Section 2(C)(1) of the *TransNet* Extension Ordinance, the City of Santee certifies that no more than 30 percent of its annual revenues shall be spent on local street and road maintenance-related projects as a result of the Amendment.

**BE IT FURTHER RESOLVED** that pursuant to Section 4(E)(3) of the *TransNet* Extension Ordinance, the City of Santee certifies that all new or changed projects, or major reconstruction projects included in the Amendment and funded by *TransNet* revenues shall accommodate travel by pedestrians and bicyclists, and that any exception to this requirement permitted under the Ordinance and proposed was clearly noticed as part of the City of Santee's public hearing process for the Amendment.

**BE IT FURTHER RESOLVED** that the City of Santee does hereby certify that all applicable provisions of the *TransNet* Extension Ordinance and SANDAG Board Policy No. 31 have been met.

**BE IT FURTHER RESOLVED** that the City of Santee continues to agree to indemnify, hold harmless, and defend SANDAG, the San Diego County Regional Transportation Commission, and all officers and employees thereof against all causes of action or claims related to City of Santee's *TransNet* funded projects.

**PASSED AND ADOPTED** by the City Council of the City of Santee, California, at a Regular meeting thereof held this 14<sup>th</sup> day or May 2025 by the following roll call vote to wit:

AYES:

NOES:

ABSENT:

APPROVED:

JOHN W. MINTO, MAYOR

ATTEST:

#### JAMES JEFFRIES, CITY CLERK

Attachment: Exhibit A – Table 1 – 2025 Regional Transportation Improvement Program Amendment No. 7

Santee, City of											
MPO ID: SNT04	_									RTIP #::	25-08
Project Title:	Pavement Re	pair and F	Rehabilitati	on				Tı	ansNet - LSI:	CR	
	Multiple locati report and as rehabilitation pavement sec pedestrian rai as part of the	provided in the forr ctions 2 in mps, side	on attache n of remov ches minir walk impro	ed street lis ral and rep num, 1.5 in ovements,	sts Reco lacement nch minim	onstructior of existing num overla	n and ) ay,				
	Revise fundin		-								
	ity Status:NCI				Pavemer	it resurfac	ing and/or	rehabilita	ation		
Est Total Cost: \$42,3		'									
	TOTAL	PRIOR	24/25	25/26	26/27	27/28	28/29		PE	RW	CON
TransNet - Bond	\$9,855	\$9,856							\$343		\$9,512
TransNet - L	\$7,729	\$7,729									\$7,729
TransNet - LSI	\$7,916	\$2,508	\$840	\$841	\$854	\$888	\$927	\$1,05	\$814		\$7,102
TransNet - LSI (Cash)	\$1	\$1									\$1
TransNet - LSI Carry Ove	r \$4,966	\$4,457	\$31	\$478					\$219		\$4,747
Local Funds	\$11,894	\$5,842	\$949	\$2,641	\$615	\$615	\$615	\$61	5 \$15		\$11,879
TOTAL	\$42,361	\$30,393	\$1,820	\$3,960	\$1,469	\$1,503	\$1,542	\$1,673	\$1,391		\$40,970
PROJECT LAST AM	ENDED 25-00	)							1		
	TOTAL	PRIOR	24/25	25/26	26/27	27/28	28/29	FUTURE	PE	RW	CON
TransNet - Bond	\$9,855	\$9,856							\$343		\$9,512
TransNet - L	\$7,729	\$7,729									\$7,729
TransNet - LSI	\$7,046	\$2,508	\$871	\$884	\$896	\$930	\$956		\$679		\$6,367
TransNet - LSI (Cash)	\$1	\$1									\$1
TransNet - LSI Carry Ove	r \$4,457	\$4,457							\$219		\$4,238
Local Funds	\$10,787	\$5,842	\$949	\$1,899	\$699	\$699	\$699		\$15		\$10,772
TOTAL	\$39,875	\$30,393	\$1,820	\$2,783	\$1,595	\$1,629	\$1,655		\$1,256		\$38,619

Santee, City of MPO ID: SNT22										RTIP #::	25-08
Project Title: Pa	vement Ro	adway Ma	aintenance	;				Tra	nsNet - LSI:	Maint	
Ar	arious locati nalysis Rep pair in the f ape seal or	ort and pr orm of cra	ovided on ack filling, g	the projec grind and p	t street lis	t Mainte	nance				
Change Reason: Re	evise fundin	g betweei	n fiscal yea	ars							
Capacity	Status:NCI	Exem	pt Catego	ry:Safety -	Pavemer	nt resurfac	ing and/o	r rehabilitati	on		
Est Total Cost: \$15,514	L .										
	TOTAL	PRIOR	24/25	25/26	26/27	27/28	28/29	FUTURE	PE	RW	CON
TransNet - LSI	\$5,519	\$3,201	\$360	\$360	\$366	\$381	\$398	\$454	\$551		\$4,968
TransNet - LSI Carry Over	\$2,021	\$1,802	\$13	\$206					\$78		\$1,943
Local Funds	\$7,974	\$3,438	\$949	\$1,125	\$615	\$615	\$615	\$615	\$9		\$7,965
TOTAL	\$15,514	\$8,441	\$1,322	\$1,691	\$981	\$996	\$1,013	\$1,069	\$638		\$14,876
PROJECT LAST AMEN	NDED 25-00	)						ļ			
	TOTAL	PRIOR	24/25	25/26	26/27	27/28	28/29	FUTURE	PE	RW	CON
TransNet - LSI	\$5,145	\$3,201	\$373	\$379	\$384	\$399	\$410		\$436		\$4,709
TransNet - LSI Carry Over	\$1,802	\$1,802							\$78		\$1,724
Local Funds	\$7,183	\$3,438	\$949	\$699	\$699	\$699	\$699		\$9		\$7,174
TOTAL	\$14,130	\$8,441	\$1,322	\$1,078	\$1,083	\$1,098	\$1,109		\$523		\$13,607

MPO ID: SNT23										RTIP #:2	25-08
Project Title:	Traffic Signal	Upgrades						RAS	(T2-11)		
Project Description:	Magnolia Ave Boulevard, an existing traffic cameras and the City's Trat the existing of signal inter-co Regional Star	nd Town C signals, o other imp nsportatio bsolete sig onnection	enter Park communica rovements n Improver gnal traffic cabling in o	way - City ation system pursuant to nent Master controllers order to co	wide impro ms, video to the reco er Plan; in and insta nform to t	ovements detection ommendat cludes up illation of t he San Di	to ions of grading raffic				
Change Reason: Capac	Other, Revise city Status:NCI	,		· · · · · · · · · · · · · ·		. •		i projects			
Est Total Cost: \$7,09	97										
	TOTAL	PRIOR	24/25	25/26	26/27	27/28	28/29	FUTURE	PE	RW	CON
Local Funds	\$4,081	\$3,010						\$1,070	\$113		\$3,968
Local RTCIP	\$3,016	\$2,476						\$540	\$515		\$2,501
TOTAL	\$7,097	\$5,486						\$1,610	\$628		\$6,469
PROJECT LAST AM	1ENDED 25-00	)									
	TOTAL	PRIOR	24/25	25/26	26/27	27/28	28/29	FUTURE	PE	RW	CON
Local Funds	\$4,842	\$3,010	\$1,831						\$125		\$4,717
Local RTCIP	\$3,644	\$2,476	\$18	\$550	\$600				\$595		\$3,049
TOTAL	\$8,486	\$5,486	\$1,849	\$550	\$600				\$720		\$7,766

Santee, City of											
MPO ID: SNT30										RTIP #:2	5-08
Project Title:	Smart Traffic	Signals						RAS	(T2-11)		
Project Description	All signalized Mission Gorg roadways in t	e Road - Ir	nstall smar	5	2		U				
Change Reason:	Revise fundin	g between	fiscal year	rs							
Capa	acity Status:NCI	Exemp	ot Category	:Other -	Traffic sigi	nal synchr	onizatior	n projects			
Est Total Cost: \$1,	615										
	TOTAL	PRIOR	24/25	25/26	26/27	27/28	28/29	FUTURE	PE	RW	со
Local Funds	\$66		\$66								\$6
Local RTCIP	\$1,549		\$554	\$721							
	\$ 1,6 10		ψ <b>0</b> 0 <del>-</del>	\$721	\$274				\$91		\$1,458
TOTAL	\$1,615		\$620	\$721 \$721	\$274 <b>\$274</b>				\$91 <b>\$91</b>		\$1,458 <b>\$1,524</b>
TOTAL PROJECT LAST A	\$1,615	)									
-	\$1,615	PRIOR				27/28	28/29	FUTURE		RW	\$1,524
-	\$1,615 MENDED 25-00		\$620	\$721	\$274	27/28 \$950	28/29	FUTURE	\$91	RW	

MPO ID: SNT32										RTIP #:2	5-08
Project Title:	Cuyamaca St	reet Right	Turn Lane	es at Missio	on Gorge I	Road					
Project Description:	Intersection a right-of-way a dedicated righ Project will in the Cuyamac pedestrian cr	nd widen nt turn lan stall ADA a Street/M	northboun e onto Mis compliant	d Cuyamao sion Gorge pedestrian	ca Street i Road tra ramps at	to provide veling eas all 4 corne	a t bound. ers of				
Change Reason:	Revise fundin	g betweer	n fiscal yea	irs							
Capac	city Status:NCI	Exem	pt Categor	y:All Projec	cts - Char	nges in ver	tical and	horizontal a	lignment		
Est Total Cost: \$2,67	74										
	TOTAL	PRIOR	24/25	25/26	26/27	27/28	28/29	FUTURE	PE	RW	CON
Local Funds	\$1,454	\$45	\$1,409						\$90		\$1,364
Local RTCIP	\$1,220		\$1,120	\$100							\$1,220
TOTAL	\$2,674	\$45	\$2,529	\$100					\$90		\$2,584
PROJECT LAST AM	IENDED 25-00	)									
	TOTAL	PRIOR	24/25	25/26	26/27	27/28	28/29	FUTURE	PE	RW	CON
Local Funds	\$135	\$45	\$90						\$90		\$45
Local RTCIP	\$1,120		\$1,120								\$1,120
TOTAL	\$1,255	\$45	\$1,210						\$90		\$1,165

Santee, City of											
MPO ID: SNT34									1	RTIP #:2	5-08
Project Title:	Broadband Int	frastructur	e Improver	nents							
Project Description	Mission Gorg for the final st implementation should City H cables will be Boulevard, Ma provide a sec Public Works operate an of connections to Community C	ep in the 6 on of a rec all becom installed agnolia A ured, wire Operatior fsite "sate o Fire Sta	City's disas lundant, off e unusable to connect venue and l d fiber options Center w llite City Ha	ter recove -site locati . In additio existing tra Mission Go c connection ith the req ill" to serve	r plan, wh on to cont in fiber op affic signa orge Roac on from C uired ban e the com	ich is the tinue oper- tic commu ls on Mast I. The proj ity Hall to dwidth neu munity and	ations inication ect will the City's eded to d provide				
Change Reason:	Revise fundin		n fiscal vear	s							
· · · · · · · · · · · · · · · · · · ·	acity Status:NCI		pt Category		Non signa	lization tra	offic cont	ol and opera	· · · · · · · · · · · ·		
Est Total Cost: \$1,	162				· · · · · · • • • • · · ·			or and opere	ating		
									ating		
	TOTAL	PRIOR	24/25	25/26	26/27	27/28	28/29		ating PE	RW	CON
Local Funds	<b>TOTAL</b> \$1,000	<b>PRIOR</b> \$10	24/25	<b>25/26</b> \$990	26/27					RW	CON \$956
Local Funds Local RTCIP	-		<b>24/25</b> \$1		26/27				PE	RW	
	\$1,000			\$990	26/27				PE \$44	RW	\$956
Local RTCIP	\$1,000 \$162 <b>\$1,162</b>	\$10 <b>\$10</b>	\$1	\$990 \$161	26/27				<b>PE</b> \$44 \$1	RW	\$956 \$161
Local RTCIP TOTAL	\$1,000 \$162 <b>\$1,162</b>	\$10 <b>\$10</b>	\$1	\$990 \$161	26/27				<b>PE</b> \$44 \$1	RW	\$956 \$161
Local RTCIP TOTAL	\$1,000 \$162 \$1,162 MENDED 25-00	\$10 <b>\$10</b>	\$1 <b>\$1</b>	\$990 \$161 <b>\$1,151</b>		27/28	28/29	FUTURE	PE \$44 \$1 <b>\$45</b>		\$956 \$161 <b>\$1,117</b>
Local RTCIP TOTAL PROJECT LAST A	\$1,000 \$162 \$1,162 MENDED 25-00 TOTAL	\$10 <b>\$10</b> PRIOR	\$1 \$1 24/25	\$990 \$161 <b>\$1,151</b>		27/28	28/29	FUTURE	PE \$44 \$1 \$45 PE		\$956 \$161 <b>\$1,117</b> CON

#### **RTIP Fund Types**

Local Funding	
Local Funds AC	Local Funds - Advanced Construction; mechanism to advance local funds to be reimbursed at a later fiscal year with federal/state funds
RTCIP	Regional Transportation Congestion Improvement Program
TransNet-L	Prop. A Local Transportation Sales Tax - Local Streets & Roads
TransNet-LSI	Prop. A Extension Local Transportation Sales Tax - Local System Improvements
TransNet-LSI Carry Over	TransNet - LSI funds previously programmed but not requested/paid in year of allocation
TransNet-LSI (Cash)	TransNet - LSI funds which agencies have received payment, but have not spent



MEETING DATE May 14, 2025

**ITEM TITLE** RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTEE, CALIFORNIA, AWARDING THE CONSTRUCTION CONTRACT TO EAGLE PAVING LLC FOR THE CITYWIDE SLURRY SEAL AND ROADWAY MAINTENANCE PROGRAM 2025 (CIP 2025-02) PROJECT AND DETERMINING THE PROJECT IS CATEGORICALLY EXEMPT FROM ENVIRONMENTAL REVIEW UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT ("CEQA") PER STATE CEQA GUIDELINES SECTION 15301 (c)

#### DIRECTOR/DEPARTMENT

Carl Schmitz, Engineering Sm. For.

#### SUMMARY

On May 1, 2025, the City Clerk publicly opened and examined two sealed bids for the Citywide Slurry Seal and Roadway Maintenance Program 2025 (CIP 2025-02) Project. The lowest responsive and responsible bidder is Eagle Paving LLC.

Staff recommends the City Council award the construction contract for the Citywide Slurry Seal and Roadway Maintenance Program 2025 (CIP 2025-02) Project to the lowest responsive and responsible bidder, Eagle Paving LLC, in the amount of \$906,350.00. This project will resurface 1 street (Cuyamaca St) as identified in the 2022 Pavement Management Report and 1 City Council priority street (Fanita Dr). The attached project map and street list identifies the streets to be resurfaced as part of this contract.

In compliance with the City's purchasing ordinance, Santee Municipal Code Section 3.24.100(E), City staff administered a formal bid process on April 11, 2025. Upon review of the submitted bids, the lowest responsive and responsible bid was submitted by Eagle Paving LLC, in the amount of \$906,350.00. The bid submitted by Eagle Paving LLC is 12% lower than the Engineer's construction estimate of \$1,017,000.00.

Staff also requests authorization for the Director of Engineering/City Engineer to approve change orders in a total amount not to exceed \$100,000.00 (11% of the contract price) for unforeseen items and additional work associated with the Project.

#### ENVIRONMENTAL REVIEW

This action is categorically exempt from the California Environmental Quality Act ("CEQA"), pursuant to Section 15301(c), Existing Facilities, of the CEQA Guidelines.

# FINANCIAL STATEMENT

Funding for this project is provided in the adopted and proposed Capital Improvement Program budgets as part of the Citywide Slurry Seal and Roadway Maintenance Program. Funding for this project is provided by Transnet funds, Gas Tax-RMRA funds and the General Fund.

Design and Bidding	\$ 39,844.14
Construction Contract	906,350.00
Construction Change Orders	100,000.00
Construction Engineering/Management	60,000.00
Project Closeout	1,000.00
Total Anticipated Project Cost	\$ 1,107,194.14





#### **CITY ATTORNEY REVIEW**

☑ Completed

# RECOMMENDATION (14

Adopt the Resolution:

1. Awarding the construction contract for the Citywide Slurry Seal and Roadway Maintenance Program 2025 (CIP 2025-02) Project to Eagle Paving LLC for a total amount of \$906,350.00; and

D N/A

- 2. Authorizing the City Manager to execute all necessary documents to execute the contract on behalf of the City; and
- 3. Authorizing the Director of Éngineering/City Engineer to approve change orders in a total amount not to exceed \$100,000.00; and
- 4. Determining this action is categorically exempt from the California Environmental Quality Act ("CEQA") pursuant to Section 15301(c), Existing Facilities, of the CEQA Guidelines.

# **ATTACHMENTS**

Resolution Bid Summary Chart Project Map Street List



#### RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTEE, CALIFORNIA, AWARDING THE CONSTRUCTION CONTRACT TO EAGLE PAVING LLC FOR THE CITYWIDE SLURRY SEAL AND ROADWAY MAINTENANCE PROGRAM 2025 (CIP 2025-02) PROJECT AND DETERMINING THE PROJECT IS CATEGORICALLY EXEMPT FROM ENVIRONMENTAL REVIEW UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT ("CEQA") PER STATE CEQA GUIDELINES SECTION 15301 (c)

**WHEREAS**, on April 11, 2025, City staff administered a formal bid process in compliance with Santee Municipal Code Section 3.24.100(E); and

WHEREAS, the City Clerk, on May 1, 2025, publicly opened and examined sealed bids for the Citywide Slurry Seal and Roadway Maintenance Program 2025 (CIP 2025-02) Project ("Project"); and

WHEREAS, the lowest received bid was submitted by Eagle Paving LLC in the amount of \$906,350.00, and

**WHEREAS,** in accordance with Santee Municipal Code section 3.24.100(E), staff has determined that the bid submitted by Eagle Paving LLC conforms in all material respects to the requirements set forth in the invitation for bids; and

**WHEREAS,** Eagle Paving LLC was found to be the lowest responsive and responsible bidder with their total bid amount of \$906,350.00; and

**WHEREAS,** staff recommends awarding the construction contract to Eagle Paving LLC in the amount of \$906,350.00; and

**WHEREAS,** staff requests authorization for the Director of Engineering/City Engineer to approve change orders in a total amount not to exceed \$100,000.00 for unforeseen items and additional work associated with the Project.

**WHEREAS**, the project is categorically exempt from environmental review pursuant to Section 15301(c) of the State CEQA Guidelines.

**NOW, THEREFORE BE IT RESOLVED** by the City Council of the City of Santee, California, as follows:

**<u>SECTION 1</u>**: The Recitals provided above are true and correct and are hereby incorporated into this Resolution.

**SECTION 2**: The construction contract for the Citywide Slurry Seal and Roadway Maintenance Program 2025 (CIP 2025-02) Project is awarded to Eagle Paving LLC as the lowest responsive and responsible bidder in the amount of \$906,350.00 and the City Manager is authorized to execute all necessary documents to execute the contract on behalf of the City.

**<u>SECTION 3</u>**: The Director of Engineering/City Engineer is authorized to approve change orders in an amount not to exceed \$100,000.00 for unforeseen items and additional work

associated with the Project.

**<u>SECTION 4</u>**: The project is categorically exempt from environmental review under State CEQA Guidelines Section 15301(c), Existing Facilities.

**SECTION 5**: The documents and materials associated with this Resolution that constitute the record of proceedings on which these findings are based are located at Santee City Hall, 10601 Magnolia Avenue, Santee, CA 92071. The City Clerk is the custodian of record of those proceedings.

**<u>SECTION 6</u>**: This Resolution shall take effect immediately upon its passage.

**ADOPTED** by the City Council of the City of Santee, California, at a Regular meeting thereof held this 14<sup>th</sup> day of May, 2025 by the following roll call vote to wit:

AYES:

NOES:

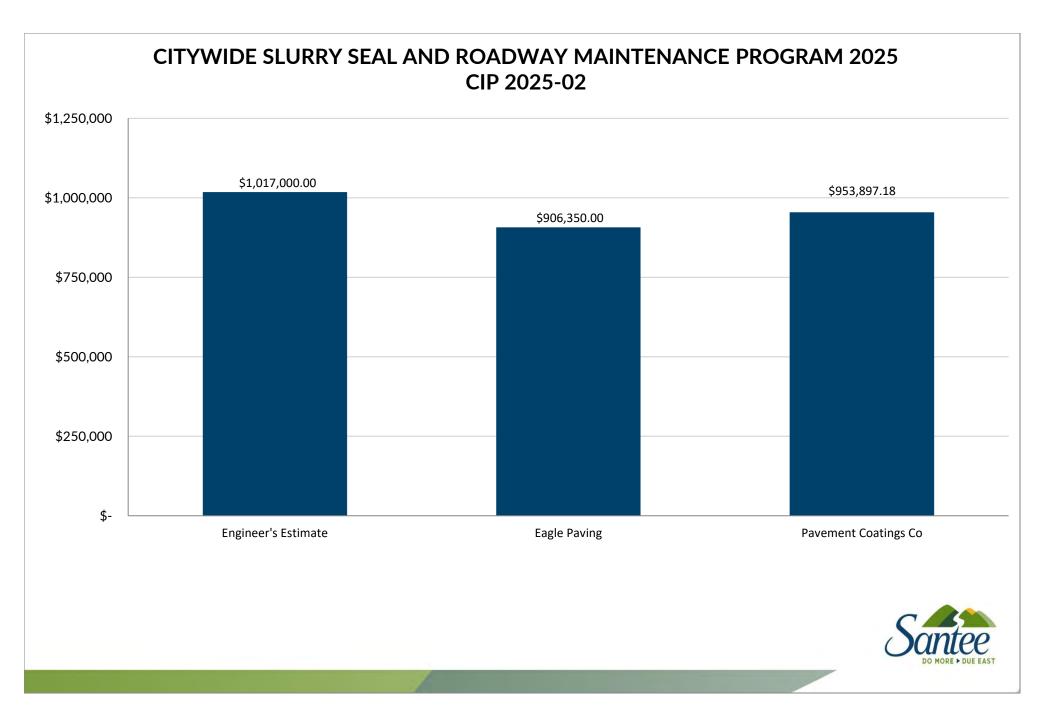
ABSENT:

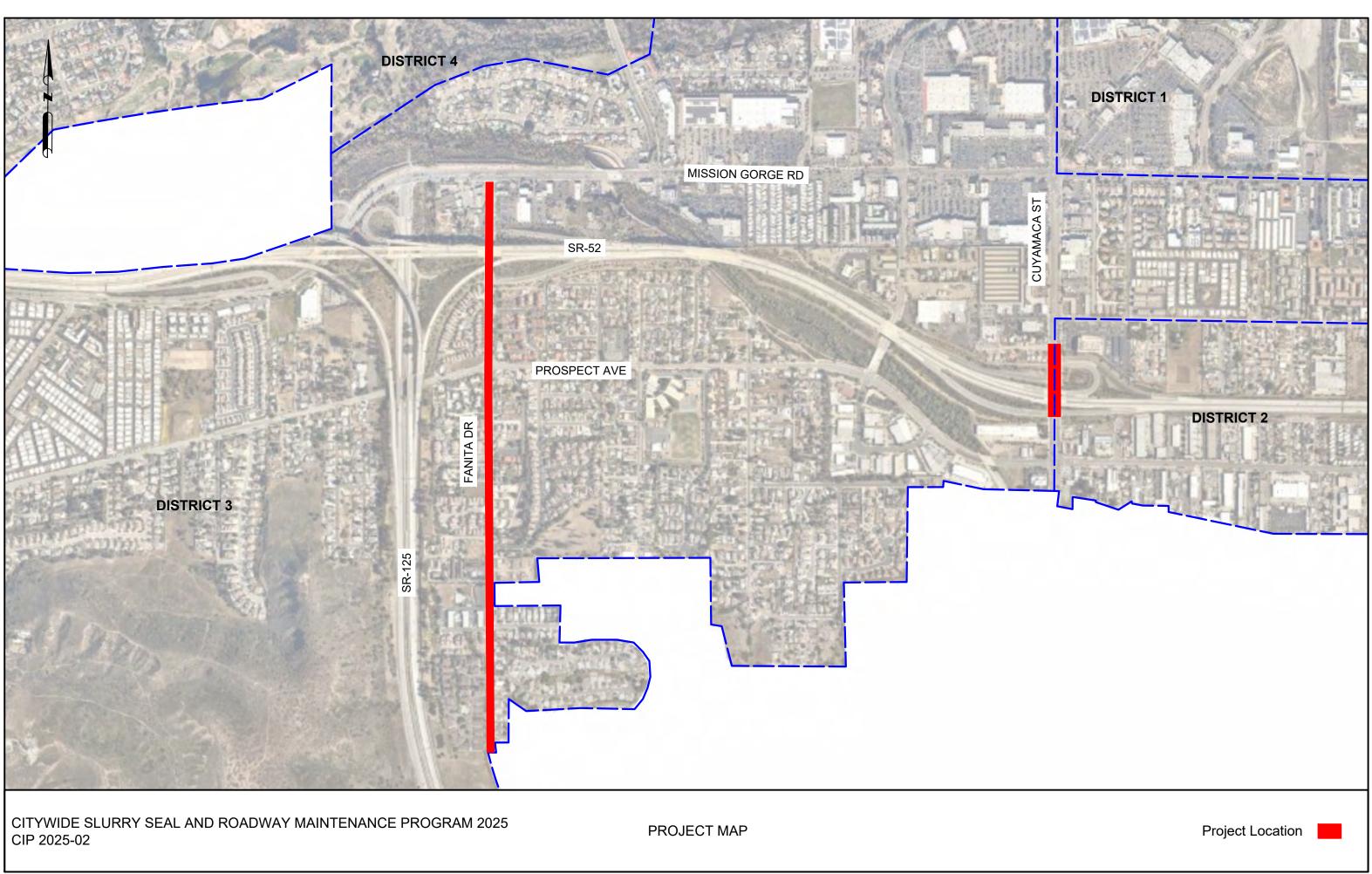
APPROVED:

JOHN W. MINTO, MAYOR

ATTEST:

JAMES JEFFRIES, CITY CLERK







#### Citywide Slurry Seal and Roadway Maintenance Program 2025 CIP 2025-02

11/4/2024

Street Name	From Street	To Street		
Majors				
Cuyamaca Street	Airport Vista Road	SR 52 E/B Offramp		
Fanita Drive	Mission Gorge Road	City Limits		



COUNCIL AGENDA STATEMENT CITY OF SANTEE

MEETING DATE May 14, 2025

ITEM TITLE AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF SANTEE AMENDING CHAPTER 2.40 OF THE SANTEE MUNICIPAL CODE PERTAINING TO CONTRIBUTION LIMITS

# DIRECTOR/DEPARTMENT James Jeffries, City Clerk

#### SUMMARY

In accordance with California Government Code Section 81000 et seq. and Article XI, section 7 of the Constitution of the State of California, cities may adopt limitations on the amount of money which can be contributed to a candidate for local office. Chapter 2.40 of the Santee Municipal Code regulates election campaign finance within the City of Santee. This chapter prohibits contributions from any person other than an individual or a professional corporation that includes only one individual. Section 2.40.060 outlines campaign contribution limitations applicable to individuals and professional corporations of only one individual and provides Council with the ability to adjust the contribution limit to reflect changes in the Consumer Price Index (CPI), rounded to the nearest fifty dollars (\$50), on or after January 2 of the year 2003 and on or after January 2 of an odd-numbered year thereafter. This section was last adjusted by Ordinance 532, adopted on September 23, 2015, setting the limit at \$700.00.

The attached Campaign Contribution Limits Chart, based on the San Diego All Urban Consumers CPI Index, indicates a combined increase of \$295.02 for years 2015 through 2024. Rounded to the nearest fifty dollars as outlined in the Ordinance, the increase would add \$300.00 to the current \$700.00 limit for individuals and professional corporations that include only one individual. The new contribution limit would be \$1,000.00. The prohibition on all other contributions would remain unaltered by this increase.

# FINANCIAL STATEMENT

There is no material direct fiscal impact to the City from this action.

# **<u>CITY ATTORNEY REVIEW</u>** □ N/A • ⊠ Completed

# **RECOMMENDATION**

Conduct the First Reading of the Ordinance and set the Second Reading and adoption for May 28, 2025.

# ATTACHMENT

Ordinance Campaign Contribution Limits Chart



#### AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF SANTEE, CALIFORNIA, AMENDING CHAPTER 2.40 OF THE SANTEE MUNICIPAL CODE PERTAINING TO ELECTION CAMPAIGN FINANCE AND CONTROL

**WHEREAS,** Chapter 2.40 of the Santee Municipal Code regulates election campaign finance and control within the City of Santee; and

WHEREAS, Section 2.40.060, subdivision (A), outlines limits to campaign contributions from persons other than the candidate and establishes that the total amount contributed per person with respect to a single election in support of or opposition to such candidate, including contributions to all committees supporting or opposing such candidate, shall not exceed seven hundred dollars (\$700.00); and

WHEREAS, Section 2.40.060, subdivision (C) allows for the dollar limit for campaign contributions set forth in subdivision (A) to be adjusted by an Ordinance adopted by the Santee City Council to reflect changes in the Consumer Price Index, rounded to the nearest fifty dollars (\$50.00) on or after January 2 of the year 2003, and on or after January 2 of every odd-numbered year thereafter; and

**WHEREAS,** in September 2015, the Santee City Council adopted Ordinance 532 increasing the campaign contribution limit to \$700.00; and

WHEREAS, the 2015 through 2024 Consumer Price Index rates reflect an increase of \$295.02, bringing the calculated limit to \$983.76; and

WHEREAS, the increase in the Consumer Price Index allows for an increase in campaign contributions under Section 2.40.060 (C) to one thousand dollars (\$1,000.00); and

WHEREAS, the current date is after January 2 of an odd-numbered year.

**NOW, THEREFORE,** the City Council of the City of Santee, California, does ordain as follows:

**Section 1.** The City Council of the City of Santee hereby amends Section 2.40.060, subdivision (A), of the Santee Municipal Code as follows:

Section 2.40.060 (A) No person other than the candidate is permitted to make, and no campaign treasurer may solicit or accept, any contribution which will cause the total amount contributed by such person with respect to a single election in support of or opposition to such candidate, including contributions to all committees supporting or opposing such candidate, to exceed one thousand dollars (\$1,000.00).

ORDINANCE NO.

<u>Section 2</u>. The City Council hereby authorizes and directs the City Clerk to undertake such actions as may be reasonably necessary or convenient to the carrying out and administration of the actions authorized by this Ordinance.

Section 3. This Ordinance shall become effective thirty (30) days after its passage.

<u>Section 4</u>. The City Clerk is directed to publish notice of this Ordinance as required by law.

INTRODUCED AND FIRST READ at a Regular Meeting of the City Council of the City of Santee, California, on the 14th day of May 2025, and thereafter ADOPTED at a Regular Meeting of said City Council held on \_\_\_\_\_ day of \_\_\_\_\_ 2025, by the following vote, to wit:

AYES:

NOES:

ABSENT:

**APPROVED:** 

ATTEST:

JOHN W. MINTO, MAYOR

JAMES JEFFRIES, CITY CLERK

#### City of Santee Campaign Contribution Limits Per Ordinance No. 419 Adopted October 10, 2001

Date	Description	CPI Index*	Potential Increase	Calculated Limit	d Allowable Limit**
10/10/01	Adopted per Ord. No. 419				\$ 500.00
01/02/03	2002 CPI Index	4.00%	\$ 20.00	\$ 520.00	\$ 500.00
01/02/04	2003 CPI Index	3.30%	\$ 17.16	\$ 537.16	5
01/02/05	2004 CPI Index	3.70%	\$ 19.87	\$ 557.03	\$ \$ 550.00
01/02/06	2005 CPI Index	4.00%	\$ 22.28	\$ 579.32	2
01/02/07	2006 CPI Index	3.00%	\$ 17.38	\$ 596.70	\$ 600.00
01/02/08	2007 CPI Index	2.30%	\$ 13.72	\$ 610.42	) -
01/02/09	2008 CPI Index	3.20%	\$ 19.53	\$ 629.95	5 \$ 650.00
01/02/10	2009 CPI Index	0.60%	\$ 3.78	\$ 633.73	\$
01/02/11	2010 CPI Index	1.20%	\$ 7.60	\$ 641.34	\$ 650.00
01/02/12	2011 CPI Index	2.70%	\$ 17.32	\$ 658.65	i
01/02/13	2012 CPI Index	1.50%	\$ 9.88	\$ 668.53	\$ 650.00
01/02/14	2013 CPI Index	1.70%	\$ 11.37	\$ 679.90	)
01/02/15	2014 CPI Index	1.30%	\$ 8.84	\$ 688.74	\$ 700.00
01/02/16	2015 CPI Index	1.90%	\$ 13.09	\$ 701.82	<u>,</u>
01/02/17	2016 CPI Index	3.00%	\$ 21.05	\$ 722.88	\$ 700.00
01/02/18	2017 CPI Index	2.00%	\$ 14.46	\$ 737.34	•
01/02/19	2018 CPI Index	2.50%	\$ 18.43	\$ 755.77	\$ 750.00
01/02/20	2019 CPI Index	2.30%	\$ 17.38	\$ 773.15	i
01/02/21	2020 CPI Index	2.50%	\$ 19.33	\$ 792.48	\$ 800.00
01/02/22	2021 CPI Index	8.80%	\$ 69.74	\$ 862.22	<u>,</u>
01/02/23	2022 CPI Index	6.10%	\$ 52.60	\$ 914.81	\$ 900.00
01/02/24	2023 CPI Index	3.60%	\$ 32.93	\$ 947.75	,
01/02/25	2024 CPI Index	3.80%	\$ 36.01	\$ 983.76	\$ 1,000.00

\*San Diego All Urban Consumers CPI Index

\*\*Actual limit is rounded to the nearest \$50.00 in accordance with Ordinance No. 419 and is only adjusted on or after January 2 of an odd-numbered year.