

Prepared By: \_\_\_\_\_

Name: SB&O INC.

Address: 3890 MURPHY CANYON ROAD, SUITE 150  
SAN DIEGO, CALIFORNIA 92123

Phone #: (858) 560-1141

Project Address: VACANT LAND  
SANTEE, CALIFORNIA 92071

Project Name: LAUREL PARK

Sheet Title: TYPICAL SECTION/DETAILS

Original Date: 5-05-25

Sheet 2 of 10

P.T.S. NO. \_\_\_\_\_

I.O. NO. \_\_\_\_\_

Revision 14:	_____
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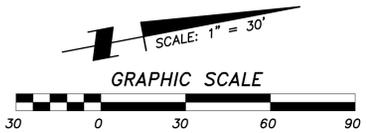
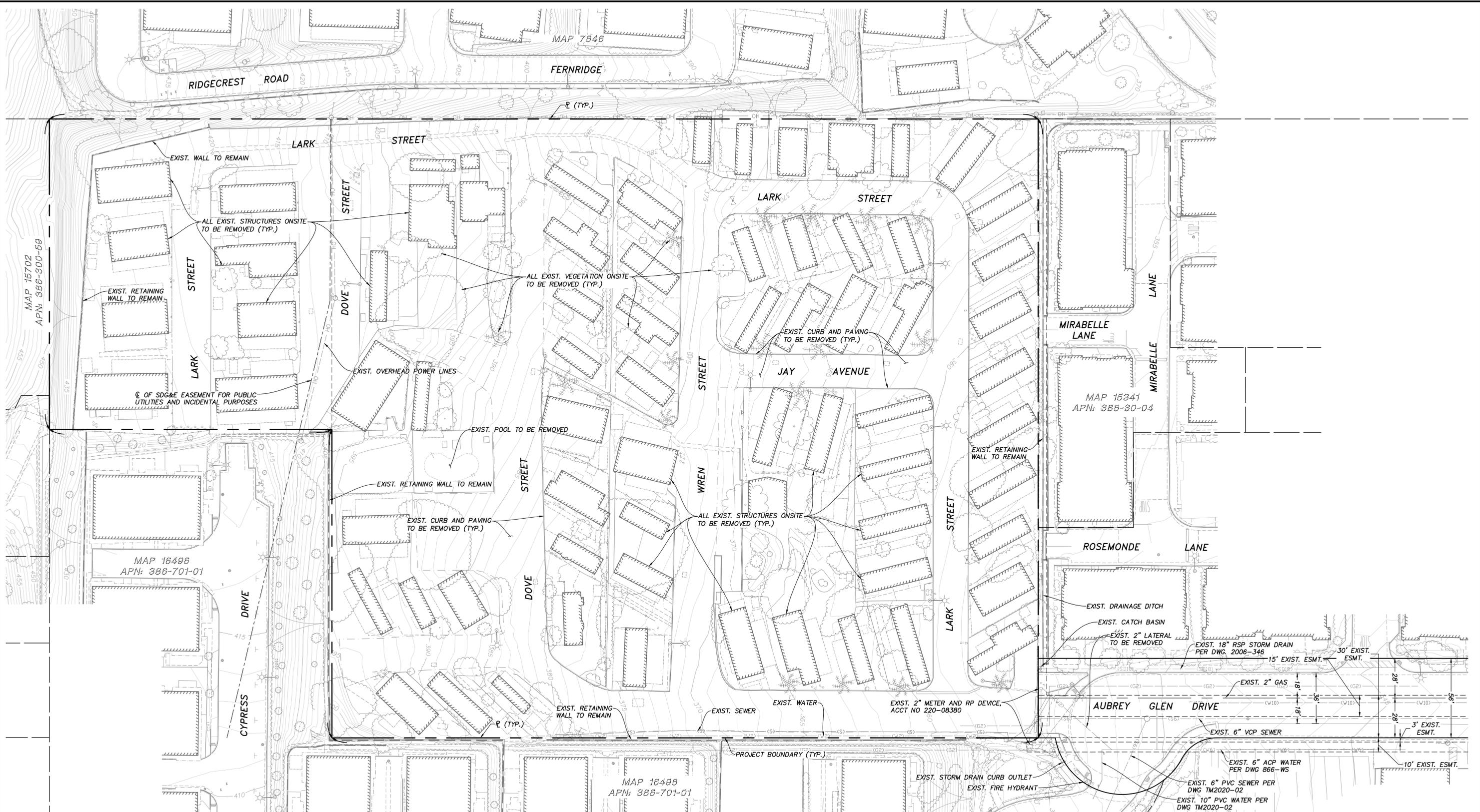
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PLANNING ENGINEERING SURVEYING  
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AARON PARKER DATE \_\_\_\_\_



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SANTEE, CALIFORNIA 92071  
 Project Name:  
LAUREL PARK

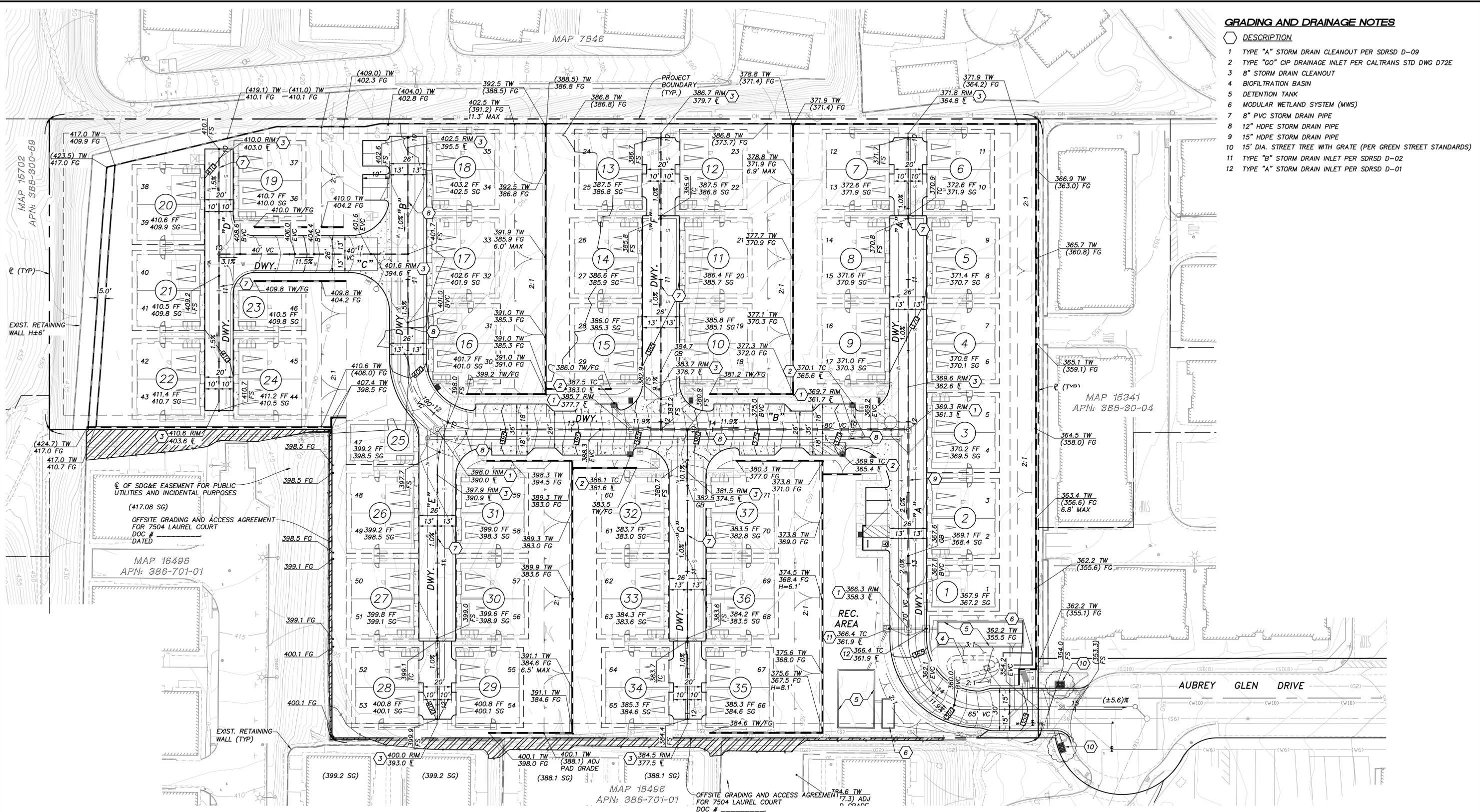
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Project: 7/28/2025 3:18 PM D:\19142 LAUREL PARK\03 DWG\TM19142\TM03 - EXIST. CONDITION.DWG - jkobenberg

**GRADING AND DRAINAGE NOTES**

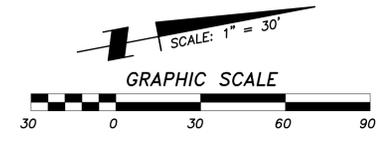
- DESCRIPTION
- 1 TYPE "A" STORM DRAIN CLEANOUT PER SDRSD D-09
  - 2 TYPE "GO" CIP DRAINAGE INLET PER CALTRANS STD DWG D72E
  - 3 8" STORM DRAIN CLEANOUT
  - 4 BIOFILTRATION BASIN
  - 5 DETENTION TANK
  - 6 MODULAR WETLAND SYSTEM (MWS)
  - 7 8" PVC STORM DRAIN PIPE
  - 8 12" HDPE STORM DRAIN PIPE
  - 9 15" HDPE STORM DRAIN PIPE
  - 10 15" DIA. STREET TREE WITH GRATE (PER GREEN STREET STANDARDS)
  - 11 TYPE "B" STORM DRAIN INLET PER SDRSD D-02
  - 12 TYPE "A" STORM DRAIN INLET PER SDRSD D-01



**LEGEND**

OFFSITE GRADING AND ACCESS AREA

PAD LIMITS



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Prepared By:	SB&O INC.	Revision 14:	
Name:	SB&O INC.	Revision 13:	
Address:	3890 MURPHY CANYON ROAD, SUITE 150 SAN DIEGO, CALIFORNIA 92123	Revision 12:	
Phone #:	(858) 560-1141	Revision 11:	
Project Address:	VACANT LAND	Revision 10:	
	SANTEE, CALIFORNIA 92071	Revision 9:	
Project Name:	LAUREL PARK	Revision 8:	
		Revision 7:	
		Revision 6:	
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		Revision 1:	
Sheet Title:	GRADING PLAN/RETAINING WALL/STORM DRAIN PLAN	Original Date:	5-05-25
		Sheet	4 of 10
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Plotter: 7/28/2025 3:18 PM D:\31842 LAUREL PARK\03 DWG\11791421.MXD - GRADING-RET-SD.DWG - gtiemer

MAP 7648

**CONSTRUCTION NOTES**

- DESCRIPTION
- 1 6" STRAIGHT CURB PER SDRSD G-01
- 2 6" CURB AND GUTTER TYPE "G" PER SDRSD G-02
- 3 4" ROLLED CURB PER DETAIL (A) 2
- 4 0" CURB PER DETAIL (D) 2
- 5 4" PCC SIDEWALK PER SDRSD G-07
- 6 PEDESTRIAN CURB RAMP
- 7 3' PCC RIBBON GUTTER PER DETAIL (C) 2
- 8 10' CROSS GUTTER PER SDRSD G-12
- 9 4" STRIPING (TYP)
- 10 AC PAVING AND AG BASE (FINAL SECTION PER GEOTECHNICAL REC.)
- 11 16' WIDE PCC RAMP (TYP)
- 12 VAN ACCESSIBLE PARKING STALL AND LOADING ZONE
- 13 CURB RAMP
- 14 USPS MAILBOX
- 15 SETBACKS

**NOTE:**  
TRASH CANS TO BE STORED IN GARAGES.

**NOTE:**  
ALL MECHANICAL EQUIPMENT WILL BE LOCATED IN PRIVATE BACKYARDS AND SHIELDED BY FENCING.

MAP 15702  
APN: 388-300-59

MAP 15341  
APN: 388-30-04

MAP 16496  
APN: 388-701-01

MAP 16496  
APN: 388-701-01

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SANTEE, CALIFORNIA 92071

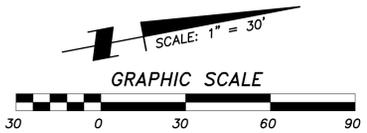
Project Name:  
LAUREL PARK

Sheet Title:  
SITE PLAN

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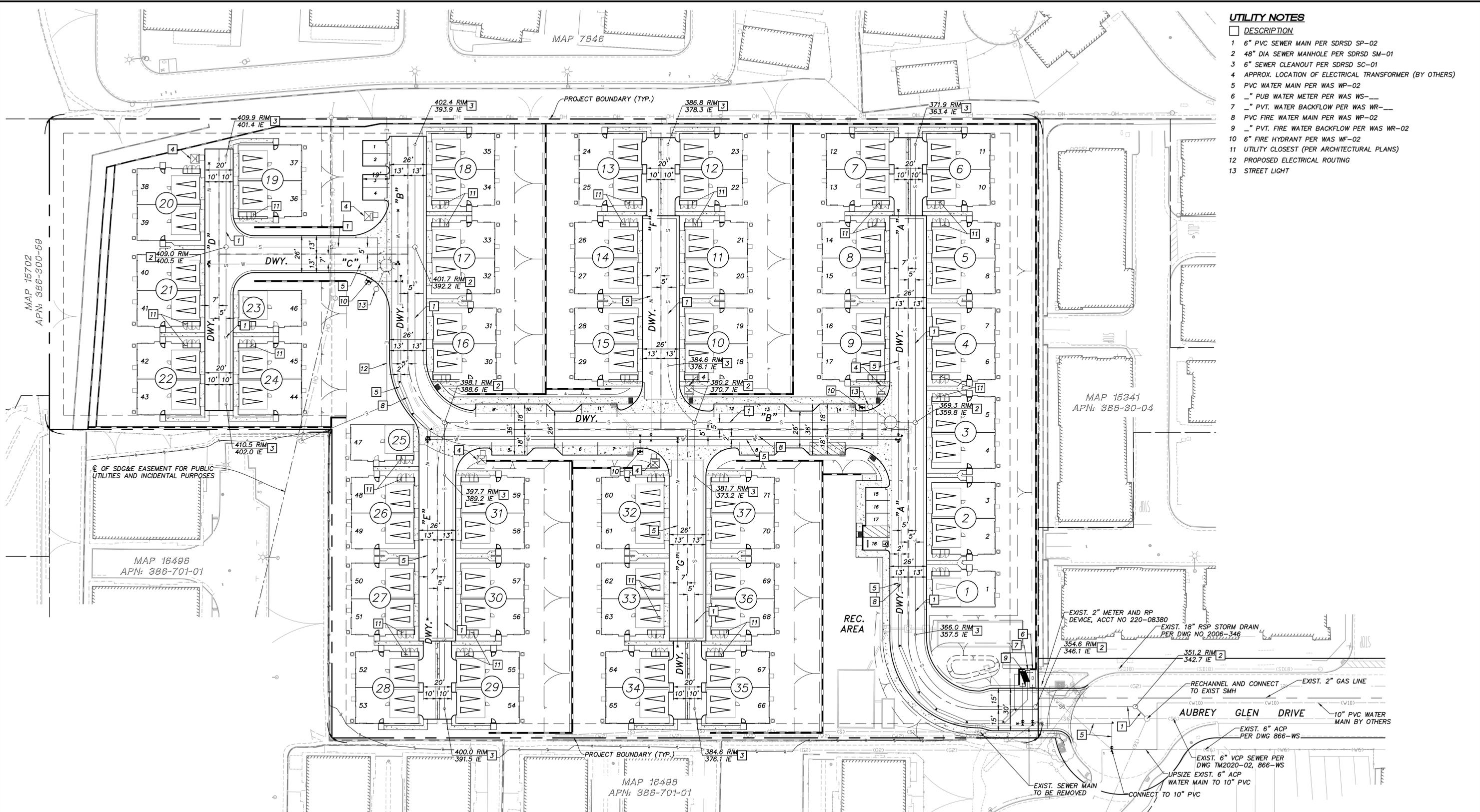


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**UTILITY NOTES**

- 1 6" PVC SEWER MAIN PER SDRSD SP-02
- 2 48" DIA SEWER MANHOLE PER SDRSD SM-01
- 3 6" SEWER CLEANOUT PER SDRSD SC-01
- 4 APPROX. LOCATION OF ELECTRICAL TRANSFORMER (BY OTHERS)
- 5 PVC WATER MAIN PER WAS WP-02
- 6 " PUB WATER METER PER WAS WS---
- 7 " PVT. WATER BACKFLOW PER WAS WR---
- 8 PVC FIRE WATER MAIN PER WAS WP-02
- 9 " PVT. FIRE WATER BACKFLOW PER WAS WR-02
- 10 6" FIRE HYDRANT PER WAS WF-02
- 11 UTILITY CLOSEST (PER ARCHITECTURAL PLANS)
- 12 PROPOSED ELECTRICAL ROUTING
- 13 STREET LIGHT



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Phone #: (858) 560-1141

Project Address: VACANT LAND  
SANTEE, CALIFORNIA 92071

Project Name: LAUREL PARK

Sheet Title: PRIVATE UTILITY PLAN

Scale: 1" = 30'

Date: \_\_\_\_\_

Revision 14: _____
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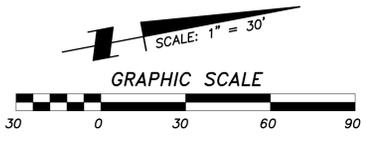
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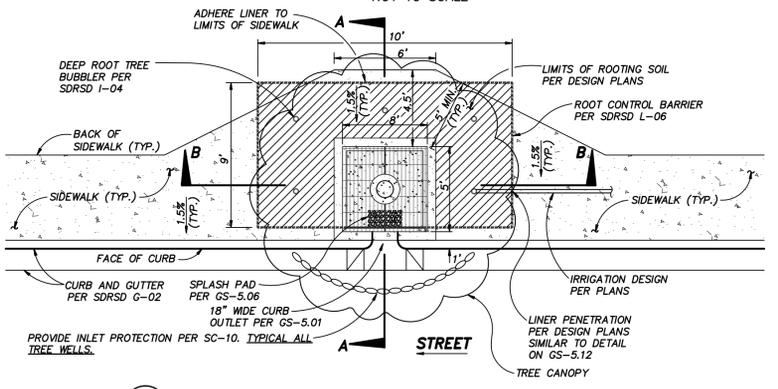
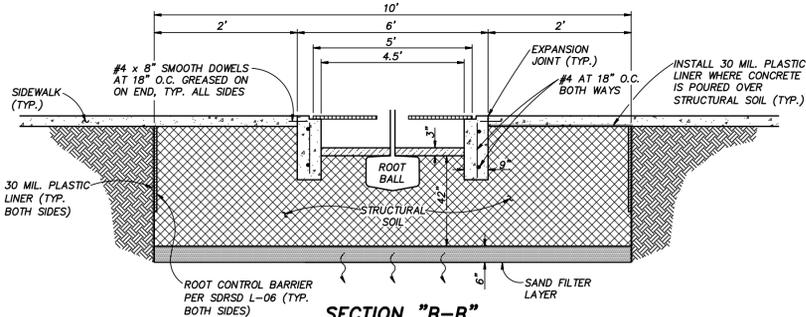
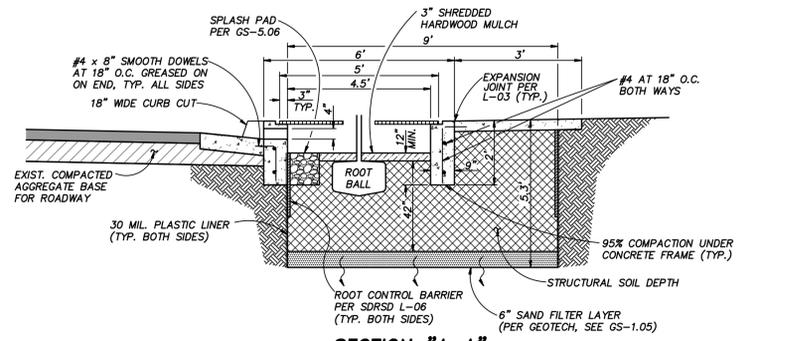
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**A** DETAIL - STREET TREE/TREE WELL  
NOT TO SCALE

SITE SPECIFIC DATA			
PROJECT NUMBER			
PROJECT NAME			
PROJECT LOCATION			
STRUCTURE ID			
TREATMENT REQUIRED			
VOLUME BASED (CF)	N/A	FLOW BASED (CFS)	0.577
PEAK BYPASS REQUIRED (CFS) - IF APPLICABLE	OFFLINE		
PIPE DATA	I.E.	MATERIAL	DIAMETER
INLET PIPE 1			
INLET PIPE 2	N/A	N/A	N/A
OUTLET PIPE			
	PRETREATMENT	BIOFILTRATION	DISCHARGE
RIM ELEVATION			
SURFACE LOAD	PEDESTRIAN		
FRAME & COVER	3EA #30"	OPEN PLANTER	#24"
NOTES:			

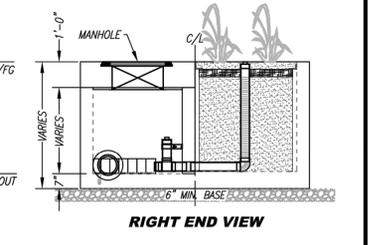
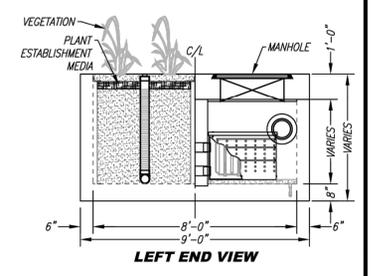
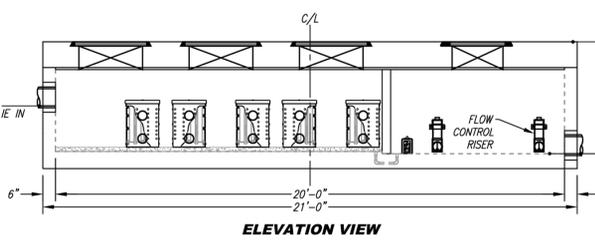
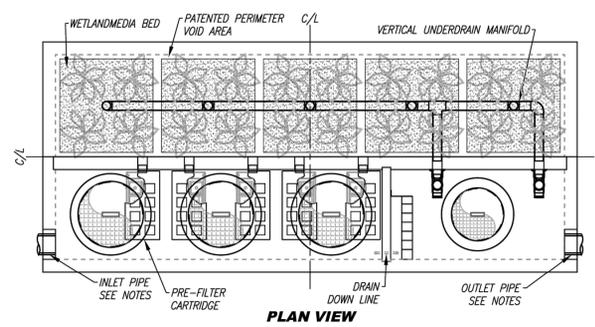
\*PRELIMINARY NOT FOR CONSTRUCTION

**INSTALLATION NOTES**

- CONTRACTOR TO PROVIDE ALL LABOR, EQUIPMENT, MATERIALS AND INCIDENTALS REQUIRED TO OFFLOAD AND INSTALL THE SYSTEM AND APPURTENANCES IN ACCORDANCE WITH THIS DRAWING AND THE MANUFACTURER'S SPECIFICATIONS, UNLESS OTHERWISE STATED IN MANUFACTURER'S CONTRACT.
- UNIT MUST BE INSTALLED ON LEVEL BASE. MANUFACTURER RECOMMENDS A MINIMUM 6" LEVEL ROCK BASE UNLESS SPECIFIED BY THE PROJECT ENGINEER. CONTRACTOR IS RESPONSIBLE TO VERIFY PROJECT ENGINEER'S RECOMMENDED BASE SPECIFICATIONS.
- CONTRACTOR TO SUPPLY AND INSTALL ALL EXTERNAL CONNECTING PIPES. ALL PIPES MUST BE FLUSH WITH INSIDE SURFACE OF CONCRETE. (PIPES CANNOT INTRUDE BEYOND FLUSH). INVERT OF OUTFLOW PIPE MUST BE FLUSH WITH DISCHARGE CHAMBER FLOOR. ALL PIPES SHALL BE SEALED WATER TIGHT PER MANUFACTURER'S STANDARD CONNECTION DETAIL.
- CONTRACTOR RESPONSIBLE FOR INSTALLATION OF ALL RISERS, MANHOLES, AND HATCHES. CONTRACTOR TO GROUT ALL MANHOLES AND HATCHES TO MATCH FINISHED SURFACE UNLESS SPECIFIED OTHERWISE.
- VEGETATION SUPPLIED AND INSTALLED BY OTHERS. ALL UNITS WITH VEGETATION MUST HAVE DRIP OR SPRAY IRRIGATION SUPPLIED AND INSTALLED BY OTHERS.
- CONTRACTOR RESPONSIBLE FOR CONTACTING BIO CLEAN FOR ACTIVATION OF UNIT. MANUFACTURER'S WARRANTY IS VOID WITH OUT PROPER ACTIVATION BY A BIO CLEAN REPRESENTATIVE.

**GENERAL NOTES**

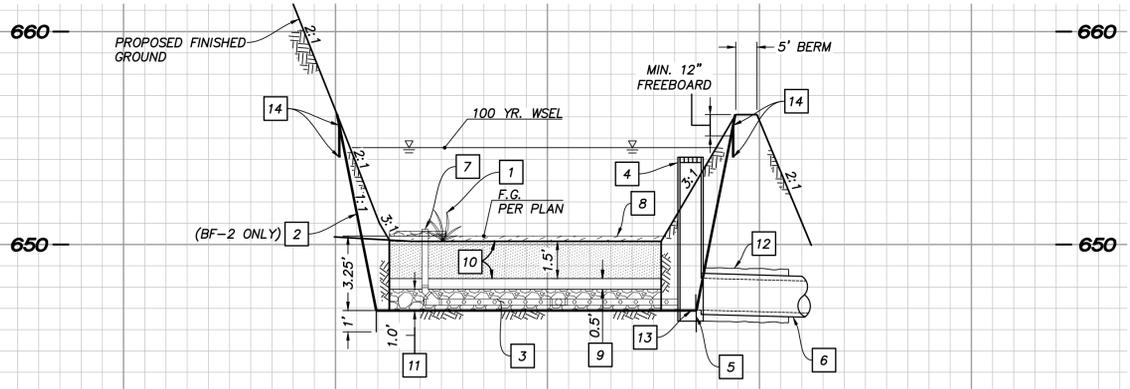
- MANUFACTURER TO PROVIDE ALL MATERIALS UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS, ELEVATIONS, SPECIFICATIONS AND CAPACITIES ARE SUBJECT TO CHANGE. FOR PROJECT SPECIFIC DRAWINGS DETAILING EXACT DIMENSIONS, WEIGHTS AND ACCESSORIES PLEASE CONTACT BIO CLEAN.



TREATMENT FLOW (CFS)	0.577
OPERATING HEAD (FT)	3.4
PRETREATMENT LOADING RATE (GPM/SF)	2.0
WETLAND MEDIA LOADING RATE (GPM/SF)	1.0

**MWS-L-8-20-V**  
STORMWATER BIOFILTRATION SYSTEM  
STANDARD DETAIL

**B** DETAIL - MODULAR WETLAND SYSTEM (BMP-1/BMP-2)  
NOT TO SCALE



**C** TYPICAL DETAIL - BIOFILTRATION BASIN BMP-1  
SCALE: 1" = 10' (H)

**BIOFILTRATION DETAIL NOTES**

- PLANTING.
  - 30 MIL. P.V.C. LINER. ALL JOINTS TO BE SEALED WITH 12" MIN. OVERLAP (REQUIRED FOR BF-2 ONLY). SEE NOTE 13 FOR METHOD OF SEALING ALL PENETRATIONS.
  - 6" SLOTTED P.V.C. SUBDRAIN (ASTM D-3034), 3" MIN. FROM BOTTOM.
  - OUTLET CONTROL STRUCTURE WITH GRATED TOP AND ORIFICE.
  - ORIFICE PLATE.
  - OUTLET PIPE.
  - SUBDRAIN CLEANOUT PER SDRSD SC-01. RIM = F.G. + 1.0'
  - INSTALL 3" WELL AGED SHREDDED HARDWOOD MULCH THAT HAS BEEN STOCKPILED OR STORED FOR AT LEAST 12 MONTHS. MULCH MUST BE NON-FLOATING.
  - FILTER COURSE TO BE 3" CLEAN AND WASHED SAND (ASTM NO. 33) OVER 3" LAYER OF ASTM NO. 8 STONE.
  - SOIL MEDIA, INFILTRATION = (BSM SPECIFICATION PER APPENDIX G OF COUNTY OF SAN DIEGO L.I.D. HANDBOOK JUNE 2014) LONG TERM INFILTRATION RATE >5 IN/HR.  
PER COUNTY OF SAN DIEGO L.I.D. HANDBOOK:
- | BSM COMPOSITION | SANDY LOAM |          |         |          |
|-----------------|------------|----------|---------|----------|
|                 | SAND       | SILT     | CLAY    | COMPOST  |
| VOLUME          | 65%        | 20%      | 15%     |          |
| WEIGHT          | 75-80%     | 10% MAX. | 3% MAX. | 9% MAX.† |
- 9% COMPOST BY WEIGHT RESULTS IN APPROXIMATELY 5% ORGANIC MATTER BY WEIGHT.
  - AGGREGATE STORAGE LAYER ASTM NO. 57 ROCK.
  - 2-SACK SLURRY BACKFILL AROUND STORM DRAIN LINE, PIPE ZONE, SLURRY BACKFILL TO START AT STORM DRAIN BOX AND EXTEND AT LEAST 5 FEET BEYOND LINER.
  - SEAL PVC LINER AROUND PIPES: USE A PIPE BOOT AND PVC SKIRT TO SEAL ALL LINER PENETRATIONS FOR PIPES, PVC SKIRT SHOULD BE SEALED TO THE PARENT LINER PER MANUFACTURER'S RECOMMENDATIONS (TYPICALLY A WEDGE WELDER). THE PIPE BOOT SLEEVE SHOULD BE ATTACHED TO THE PIPE USING BUTYL TAPE AND STAINLESS STEEL BAND CLAMP.  
**ATTACH THE LINER TO CONCRETE STRUCTURES:**  
1. PREPARE A PVC SKIRT FOR CONCRETE STRUCTURE.  
2. ATTACHED THE LINER TO THE CONCRETE STRUCTURE USING A STAINLESS STEEL BATTEN STRIP. ALSO ADHERE THE LINER TO THE CONCRETE USING A WATER PROOF ADHESIVE PER THE MANUFACTURE'S RECOMMENDATIONS (TYPICALLY A POLYURETHANE).  
3. THE PVC SKIRT TO BE SEALED TO THE PARENT LINER PER MANUFACTURER'S RECOMMENDATIONS (TYPICALLY A WEDGE WELDER).
  - EMBED LINER 12" VERTICAL.

BSM COMPOSITION	SANDY LOAM			
	SAND	SILT	CLAY	COMPOST
VOLUME	65%	20%	15%	
WEIGHT	75-80%	10% MAX.	3% MAX.	9% MAX.†

- 9% COMPOST BY WEIGHT RESULTS IN APPROXIMATELY 5% ORGANIC MATTER BY WEIGHT.
- AGGREGATE STORAGE LAYER ASTM NO. 57 ROCK.

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Project Address: VACANT LAND  
SANTEE, CALIFORNIA 92071  
Project Name: LAUREL PARK  
Sheet Title: BMP DETAILS

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**811**  
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SYMBOL	DESCRIPTION	AREA
	PRIVATE OPEN SPACE	REQUIRED: 100 SF/DU X 71 DU = 7,100 SF PROVIDED: 45,515 SF
	COMMON OPEN SPACE	REQUIRED: 150 SF/DU X 71 DU 10,650 SF PROVIDED: 13,970 SF

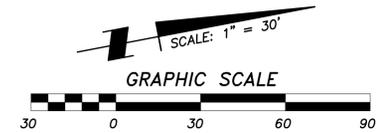


AUBREY GLEN DRIVE

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 Sheet Title:  
OPEN SPACE

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# Preliminary Landscape Plan

## LANDSCAPE ARCHITECT'S STATEMENT

I AM FAMILIAR WITH THE REQUIREMENTS FOR LANDSCAPE AND IRRIGATION PLANS CONTAINED IN CHAPTER 17.94 OF THE EL CAJON MUNICIPAL CODE. I HAVE PREPARED THESE PLANS IN COMPLIANCE WITH THOSE REGULATIONS AND THE EL CAJON LANDSCAPE DESIGN MANUAL. I CERTIFY THAT THE PLANS IMPLEMENT THOSE REGULATIONS TO PROVIDE EFFICIENT USE OF WATER.

*Julie Howard*  
 JULIE E. HOWARD, RLA 2681  
 7/25/25  
 DATE

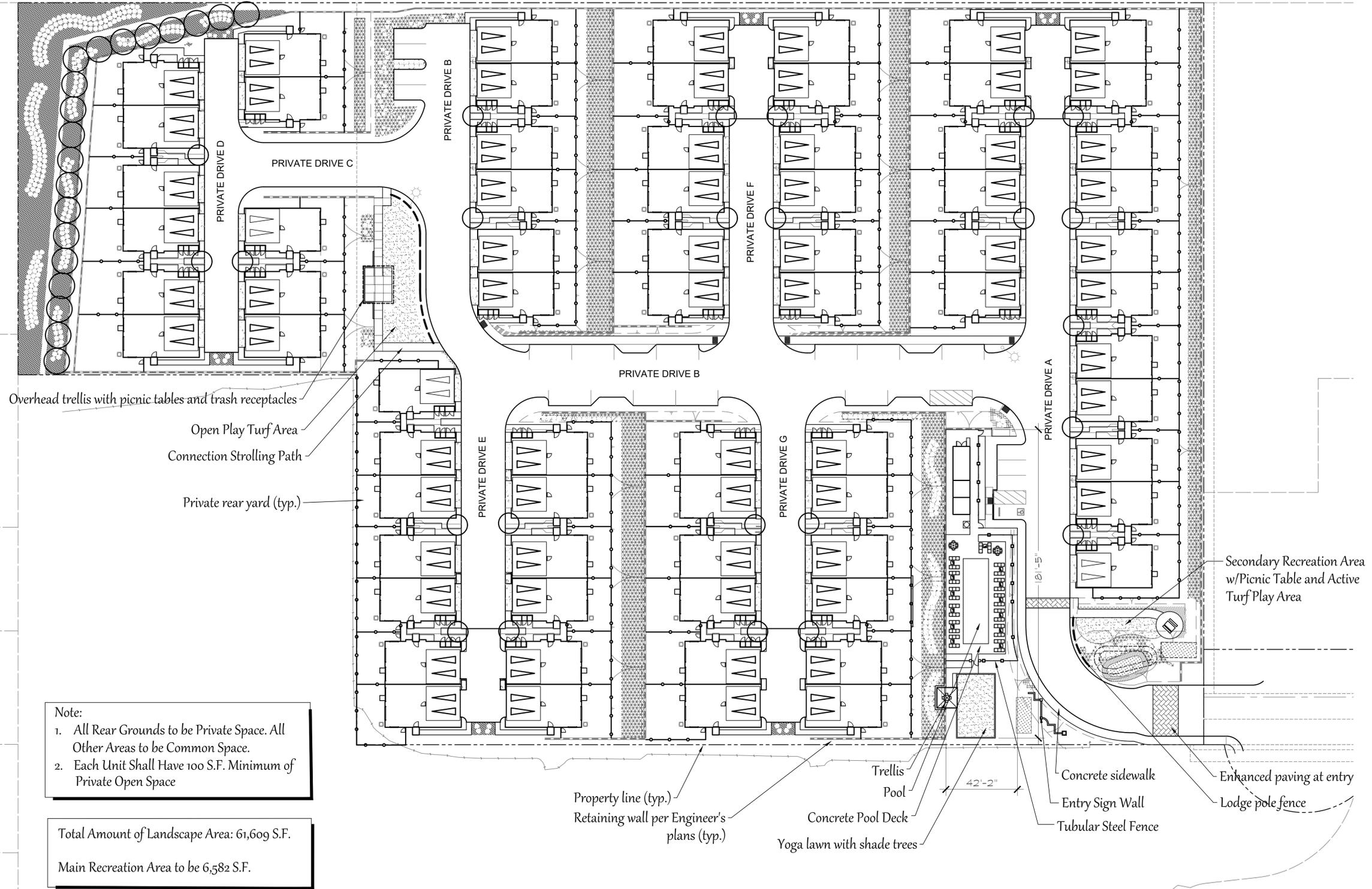
## WATER CONSERVATION STATEMENT

THE LANDSCAPE PLAN IS DESIGNED TO ACHIEVE CONSERVATION AND EFFICIENCY IN WATER USE THROUGH THE FOLLOWING DESIGN ELEMENTS:

1. ALL PLANTING AREAS SHALL RECEIVE A 3" LAYER OF BARK MULCH TO RETAIN SOIL MOISTURE, SHADE ROOTS AND REDUCE WEED GROWTH.
2. ALL TREES, SHRUBS, AND GROUND COVERS INCLUDED IN THE DESIGN ARE WUCOLS RATED AT LOW FOR WATER USE.
3. ALL PLANTED AREAS SHALL HAVE A MOISTURE SENSING, PERMANENT, AUTOMATIC IRRIGATION SYSTEM WITH RAIN SHUTOFF OVERRIDE, DESIGNED TO PROVIDE A PRECIPITATION RATE OF 0.75"/HR. OR LESS.
4. ALL PLANTED AREAS WITHIN 24" OF A PAVED SURFACE SHALL BE IRRIGATED WITH LOW VOLUME OR SUBSURFACE IRRIGATION TO AVOID OVER SPRAY AND RUNOFF INTO NON-IRRIGATED AREAS.
5. THE IRRIGATION SYSTEM SHALL BE CIRCUITED INTO SEPARATE HYDROZONES TO GROUP PLANTS WITH SIMILAR WATER REQUIREMENTS AND SOLAR EXPOSURES.
6. ALL LANDSCAPING SHALL COMPLY WITH THE CITY OF SANTEE MUNICIPAL CODE FOR WATER EFFICIENT LANDSCAPE REGULATIONS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MEET THE MAWA FOR THE SITE.
7. ALL LANDSCAPE AREAS SHALL BE MAINTAINED BY THE PROJECT OWNER, INCLUDING THE PUBLIC R.O.W., IN A HEALTHY, DISEASE-FREE CONDITION.

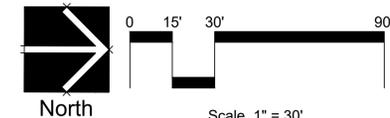
### GENERAL NOTES

1. ROOT BARRIERS SHALL BE USED FOR ALL TREES PLANTED WITHIN 6' OF A PAVED SURFACE.



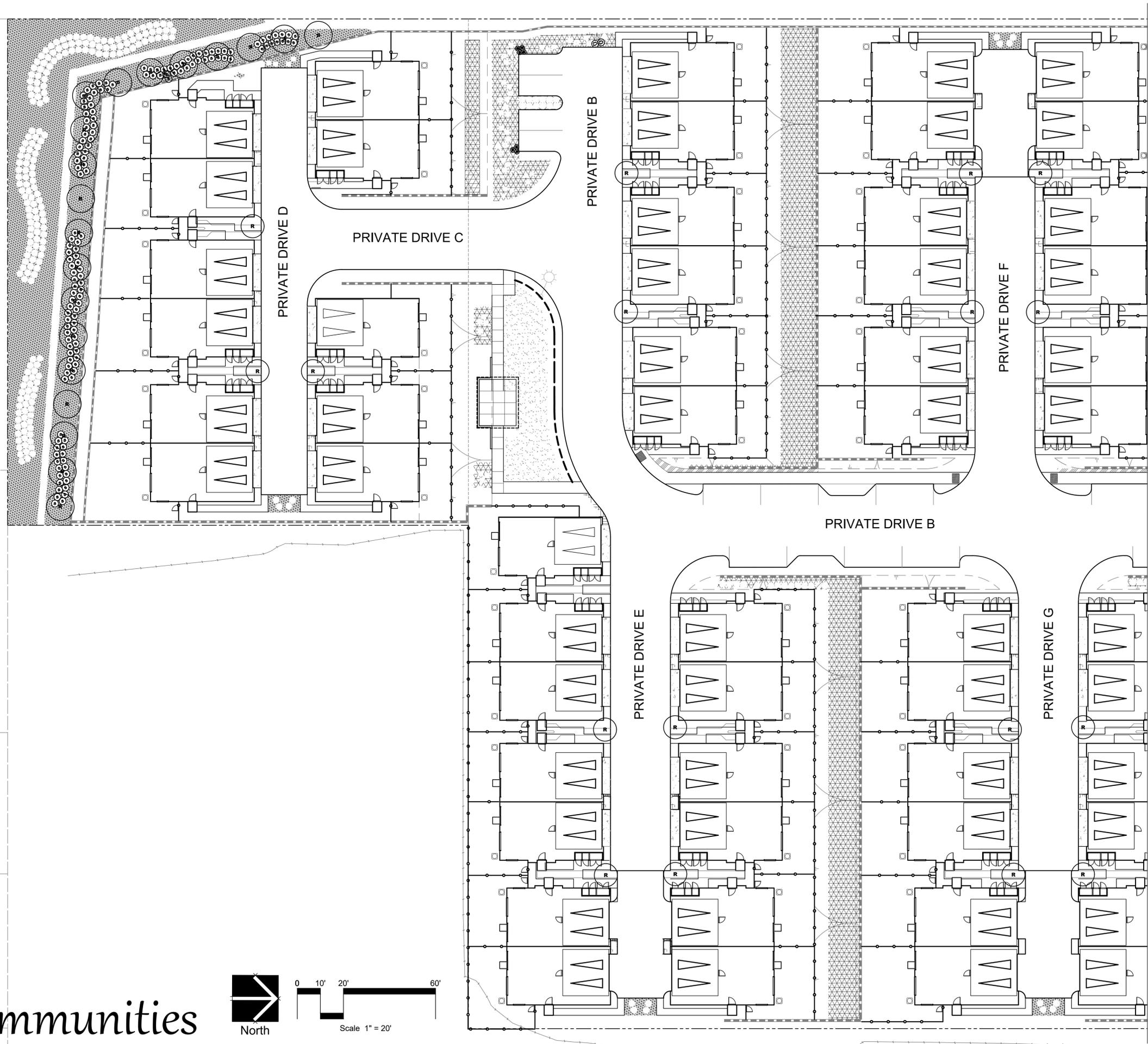
# Laurel Park Cornerstone Communities

July 25, 2025



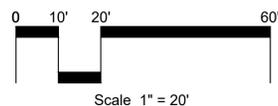
CA RLA 2681  
**HOWARD ASSOCIATES**  
 landscape architecture  
 2442 Second Avenue  
 San Diego, CA 92101  
 (619) 718-9660

# Planting Plan



# Laurel Park Cornerstone Communities

July 25, 2025

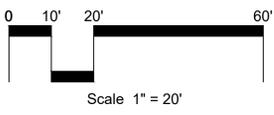
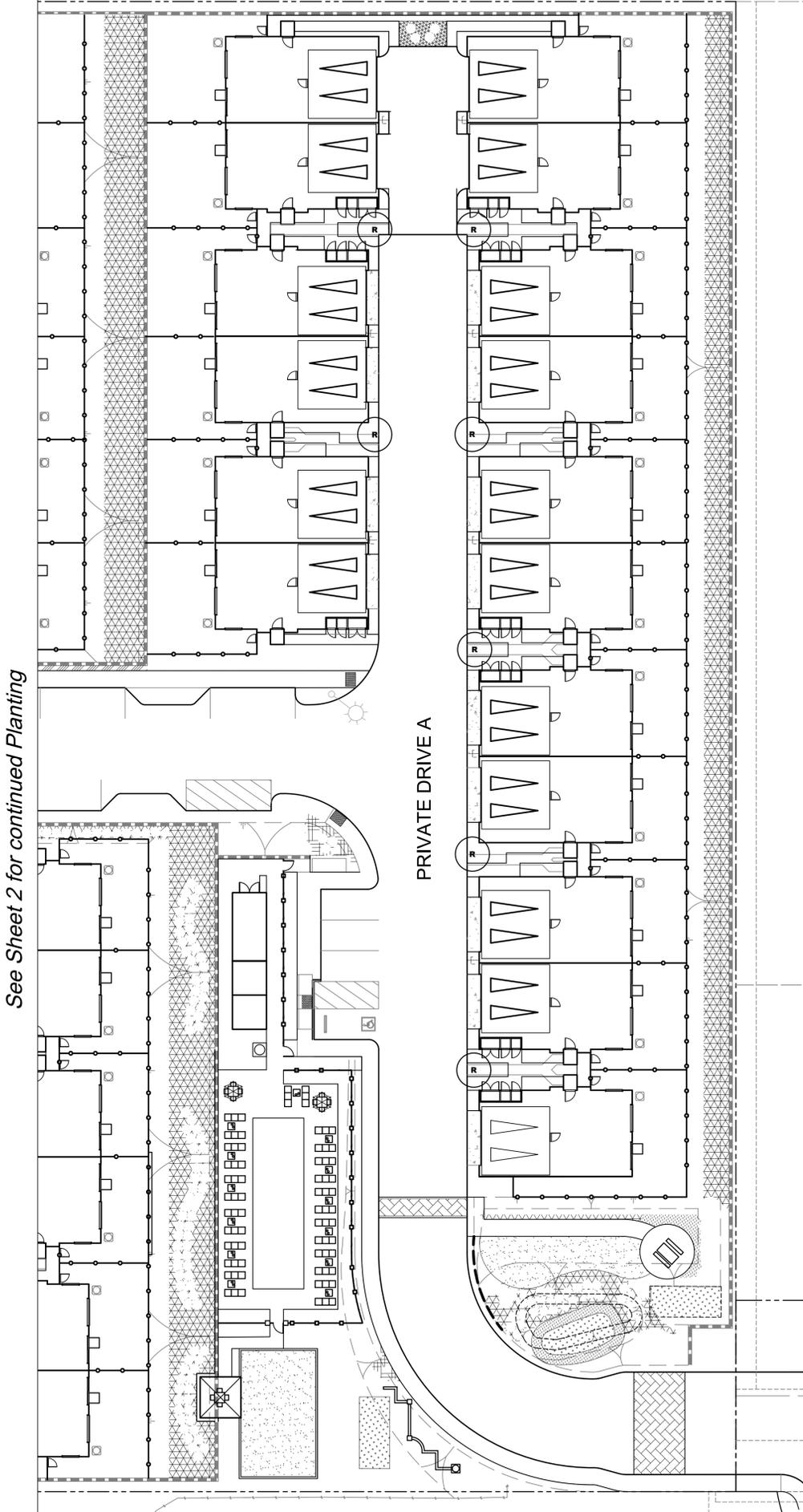


See Sheet 3 for continued Planting

# Planting Plan

# Laurel Park Cornerstone Communities

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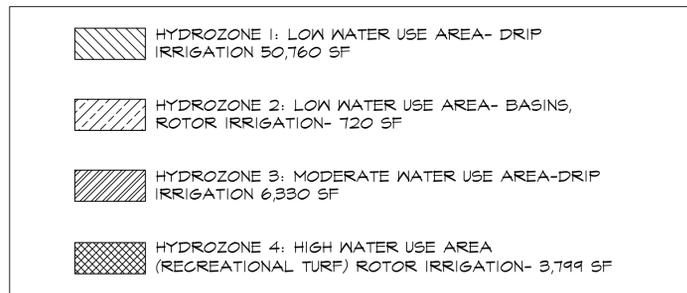


CA RLA 2681  
**HOWARD ASSOCIATES**  
landscape architecture  
2442 Second Avenue  
San Diego, CA 92101  
(619) 718-9660

# Hydrozone Map



## HYDROZONE LEGEND



California Water Efficient Landscape Worksheet						
Reference Evapotranspiration (ET <sub>r</sub> )	51.2	Project Type	Residential	ETAF	0.55	Estimated Total Water Use (ETWU) <sup>2</sup>
Hydrozone # / Planting Description <sup>a</sup>	Plant Factor (PF)	Irrigation Method <sup>b</sup>	Irrigation Efficiency (IE) <sup>c</sup>	Landscape Area (Sq. Ft.)	ETAF x Area	Estimated Total Water Use (ETWU) <sup>2</sup>
<b>Regular Landscape Areas</b>						
Hydrozone 1	0.3 Drip		0.81	0.37	50,760	18800
Hydrozone 2	0.3 Overhead		0.75	0.40	720	288
Hydrozone 3	0.5 Drip		0.81	0.62	6,330	3907
Hydrozone 4	0.8 Overhead		0.75	1.07	3,799	4052
				<b>Totals</b>	<b>61,609</b>	<b>27048</b>

ETWU Total		858,601
Maximum Allowed Water Allowance (MAWA) <sup>d</sup>		1,075,644

ETAF Calculations		Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.
Regular Landscape Areas		
Total ETAF x Area	27048	
Total Area	61609	
Average ETAF	0.44	

All Landscape Areas	
Total ETAF x Area	27048
Total Area	61609
Average ETAF	0.44

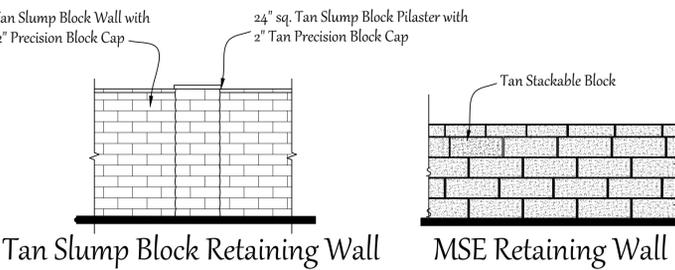
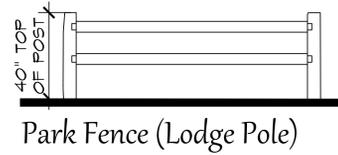
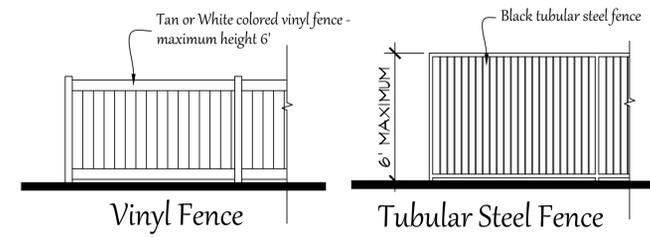
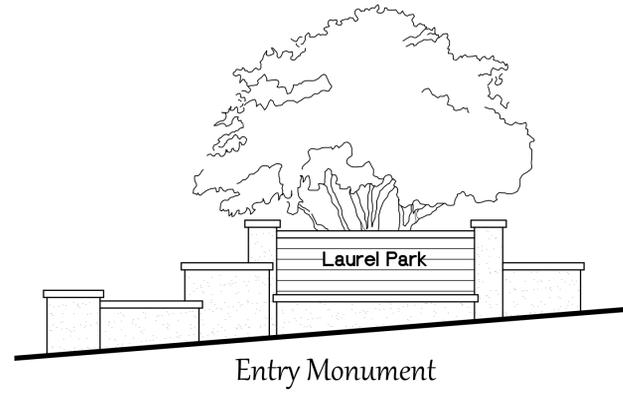
## Plant Legend

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE (UNLESS STATED OTHERWISE)	QTY.	MUGOLS ZONE B	FINAL SIZE H x W
<b>TREES:</b>						
	JACARANDA MIMOSIFOLIA	JACARANDA	48" BOX	1	M	25' x 25'
	LAGERSTROEMIA I. 'NATCHEZ'	GRAPE MYRTLE - STD.	24" BOX	42	M	20' x 20'
	MAGNOLIA 'ST. MARY'S'	MAGNOLIA	24" BOX	6	M	30' x 30'
	OLEA EUROPAEA	OLIVE TREE	36" BOX	2	L	30' x 30'
	OLEA 'SWAN HILL'	FRUITLESS OLIVE	36" BOX	6	L	30' x 30'
	PLATANUS 'ALAMO'	MEXICAN SYCAMORE	24" BOX	55	M	50' x 40'
	ULMUS 'TRUE GREEN'	EVERGREEN ELM	36" BOX	54	M	50' x 40'
(R)	RHAPHIOLEPIS M. BEAUTY	INDIAN HAWTHORN	24" BOX	42	L	10'x10' MIN. 5' TRUNK HT.
<b>SHRUBS:</b>						
	ANIGOZANTHOS 'BIG RED'	KANGAROO PAW	1 GAL.	384	L	3'x3'
	ARTEMISIA 'POWIS CASTLE'	CALIFORNIA SAGEBRUSH	1 GAL.	132	L	2' x 2'
	AGAVE 'BLUE FLAME'	BLUE FLAME AGAVE	15 GAL.	20	L	2' x 2'
	AGAVE DESMETTIANA	SMOOTH AGAVE	15 GAL.	107	L	4' x 4'
	CALLISTEMON 'BETTER JOHN'	DWARF BOTTLEBRUSH	5 GAL.	436	L	3' x 3'
	DIANELLA 'CASSA BLUE'	NO COMMON NAME	1 GAL.	203	L	2' x 2'
	DIANELLA VARIEGATA	NO COMMON NAME	5 GAL.	176	L	3'x3'
	HEMEROCALLIS VARIETY	BEST ORANGE DAYLILY	1 GAL.	41	L	3'x3'
	LANTANA 'DALLAS RED'	DALLAS RED LANTANA	5 GAL.	1134	L	3' x 3'
	LIGUSTRUM 'TEXANUM'	TEXAS PRIVET	5 GAL.	224	M	4' x 4'
	MUHLENBERGIA RIGENS	DEER GRASS	5 GAL.	147	L	4' x 4'
	PHLOMIS FRUTICOSA	JERUSALEM SAGE	5 GAL.	44	M	8' x 3'
	PITOSPORUM 'TURNER'S DWARF'	DWARF VARIEGATED TOBIRA	5 GAL.	56	M	3'x3'
	PODOCARPUS 'MAKI'	SHRUBBY YEW PINE	24" BOX COLUMNAR	84	M	8' x 3'
	RHAPHIOLEPIS 'BALLERINA'	DWARF INDIA HAWTHORN	5 GAL.	116	L	3' x 3'
	RHAPHIOLEPIS INDICA 'SPRINGTIME'	INDIA HAWTHORN	5 GAL.	434	L	4' x 4'
	ROSA 'ICEBERG'	ICEBERG ROSE	5 GAL.	394	M	3' x 3'
	ROSMARINUS 'MALLORCA PINK'	ROSEMARY	5 GAL.	8	L	2' x 2'
	SALVIA 'HOT LIPS'	HOT LIPS SAGE	5 GAL.	43	L	2' x 2'
	SALVIA 'W. GILMAN'	CLEVELAND SAGE	5 GAL.	374	L	4' x 4'
<b>GROUND COVERS &amp; VINES</b>						
	JUNCUS PATENS	CALIFORNIA GRAY RUSH	PLUGS	12" O.C.	L	2' x 3'
	MARATHON II FESCUE	TURF	SOD		H	-
	MYOPORUM 'PUTAH GREEK'	PROSTRATE MYOPORUM	FLATS	12" O.C.	L	18" x 3'
	SENECIO SERPENS	CHALK STICKS	FLATS	12" O.C.	L	1' x 5'
	FESTUCA CALIFORNICA	CALIFORNIA FESCUE	1 GAL.	12" O.C.	M	1' x 3'
	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE ESPALIER	15 GAL. ESP. PER PLAN		L	5' x 5' RACK
	CARISSA 'GREEN CARPET'	NATAL PLUM	1 GAL.	12" O.C.	L	2' x 4'
<b>BASIN GROUNDCOVERS (PER BMP DESIGN MANUAL APPENDIX E)</b>						
	JUNCUS PATENS	CALIFORNIA GRAY RUSH	PLUGS	12" O.C.	L	2' x 3'
	FESTUCA CALIFORNICA	CALIFORNIA FESCUE	1 GAL.	12" O.C.	M	1' x 3'

# Laurel Park Cornerstone Communities

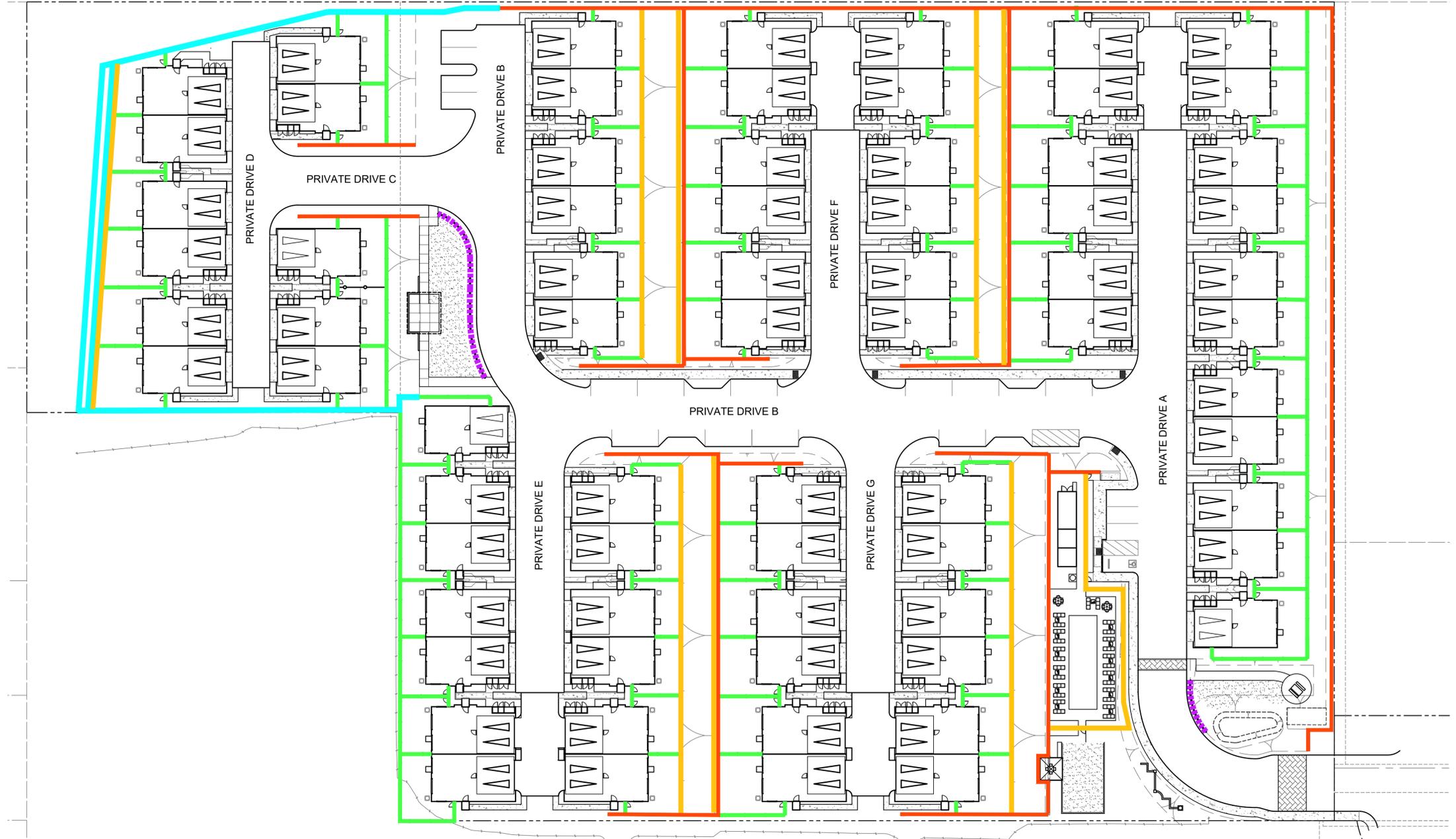
July 25, 2025

# Fencing Concept Plan



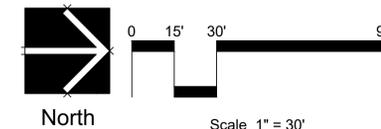
FENCING LEGEND

	6' TAN VINYL FENCING
	6' TUBULAR STEEL AT RECREATION AREA
	40" LODGE POLE FENCE
	TAN SLUMP BLOCK RETAINING WALL
	MSE RETAINING WALL



# Laurel Park Cornerstone Communities

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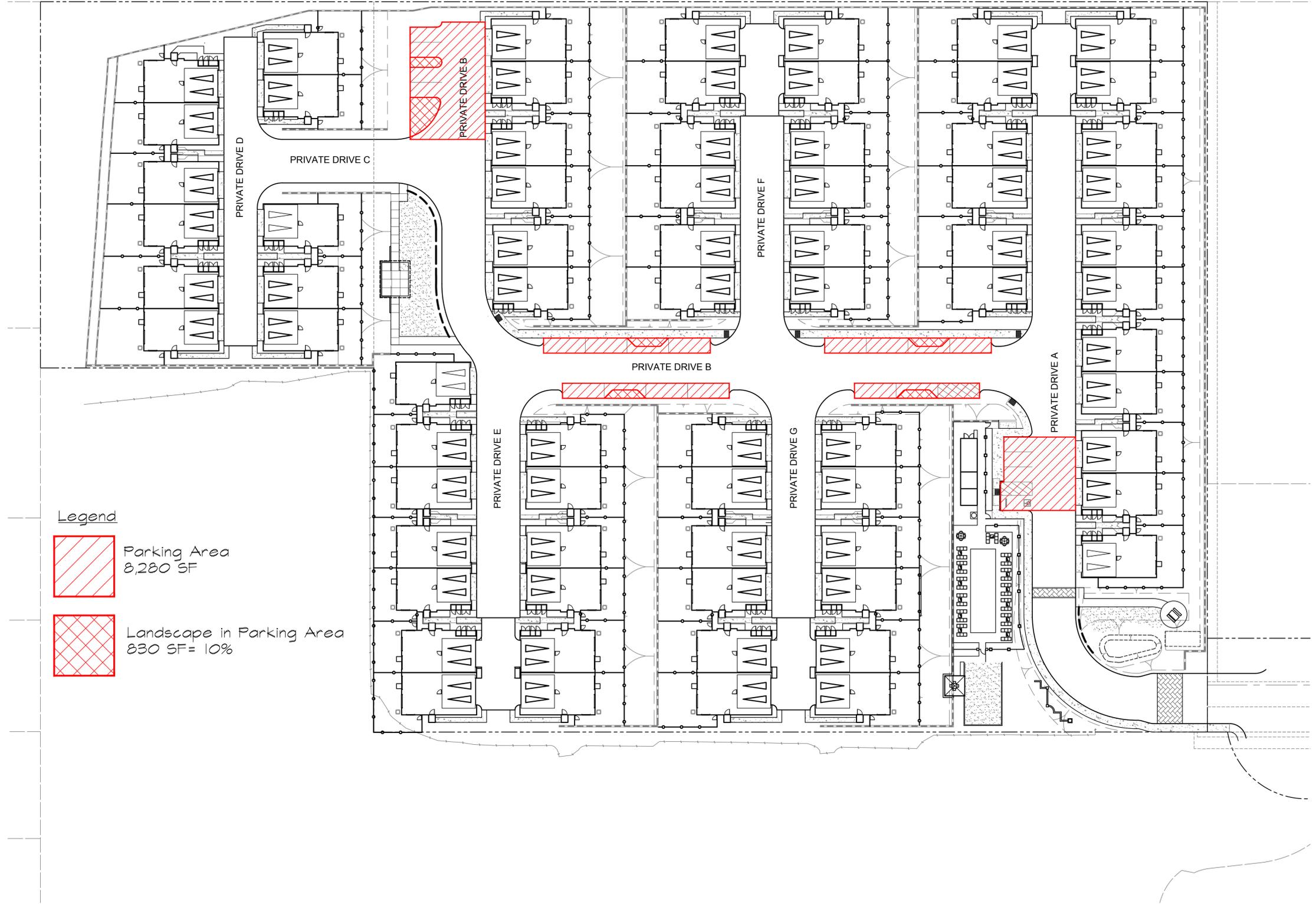


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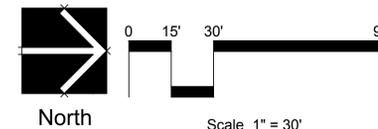
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# Parking Landscape Analysis



## Laurel Park Cornerstone Communities

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landscape architecture  
2442 Second Avenue  
San Diego, CA 92101  
(619) 718-9660

# LAUREL PARK

## SANTEE, CALIFORNIA BY CORNERSTONE COMMUNITIES

### PROJECT TEAM

**OWNER:**  
CORNERSTONE COMMUNITIES  
1241 Cave St., Suite 200  
La Jolla CA 92037  
Contact: Jack Robson  
(858) 458-9700 x120  
Email: JRobson@cornerstonecommunities.com

**ARCHITECT:**  
STARCK ARCHITECTURE + PLANNING 2045  
Kettner Blvd. Suite 100  
San Diego, CA 92101  
Contact: Dan Mullen  
(619) 299-7070 x104  
(619) 295-8768 FAX  
email: dan@starckap.com

**CIVIL ENGINEER:**  
SB&O  
3890 Murphy Canyon Rd., #150  
San Diego, CA 92123  
Contact: Jonathan Kohlenberg  
(858) 560-1141 x109  
Email: jkohlenberg@sboinc.com

**LANDSCAPE ARCHITECTS:**  
HOWARD ASSOCIATES, INC.  
1951 Fourth Avenue, Suite 302  
San Diego, CA 92101  
Contact: John Howard  
(619) 718-9660 Office X102  
(619) 871-0679 Cell  
Email: John@howardassoc.com

### VICINITY MAP



SITE

### PROJECT DATA

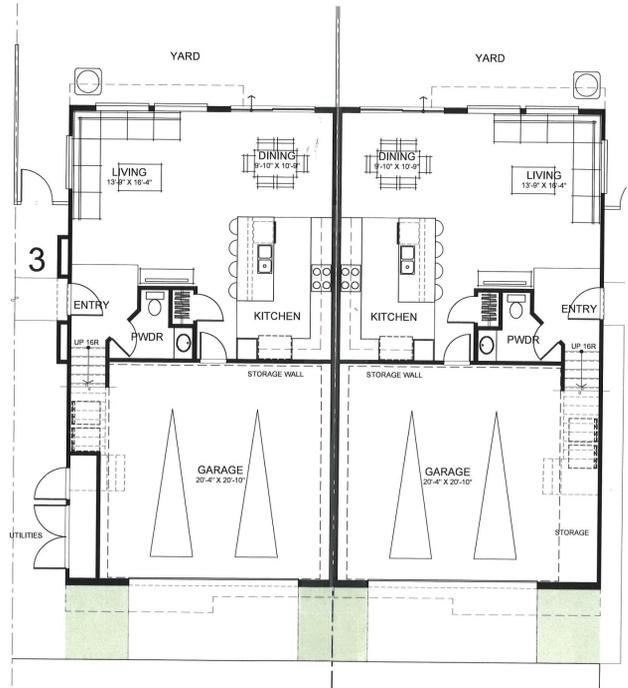
**PROJECT DESCRIPTION:** TWO STORY PROJECT CONSISTING OF 71 UNITS ORGANIZED INTO TWIN HOMES AND DETACHED SINGLE FAMILY HOMES.  
**TYPE OF CONSTRUCTION:** TYPE V B (NON RATED CONSTRUCTION)  
**CODE:** 2022BC  
**OCCUPANCY GROUP:** R-2  
**NUMBER OF STORIES:** 2  
**FIRE SPRINKLERS:** YES, NFPA 13R

### AREA ANALYSIS

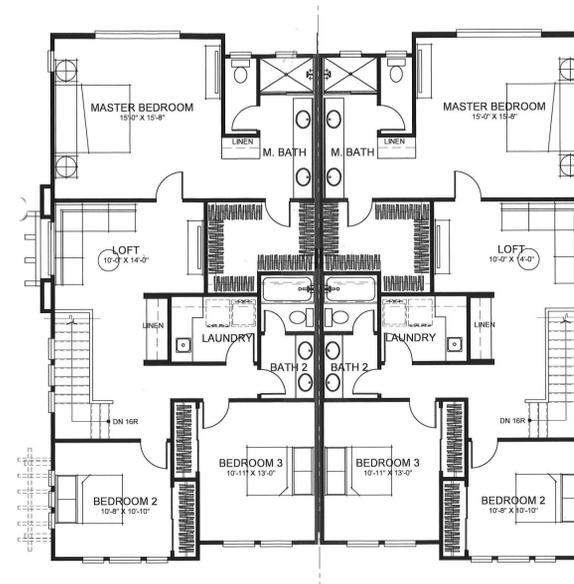
	PLAN 3	TOTALS
<b>TWIN HOME 3/3</b>	68	68
FIRST FLOOR	617.00 S.F.	41956.00 S.F.
SECOND FLOOR	1204.00 S.F.	81872.00 S.F.
GARAGE	489.00 S.F.	33252.00 S.F.
<b>TOTAL (LIVING AREA)</b>	<b>1811.00 S.F.</b>	<b>123280.00 S.F.</b>
<b>TOTAL (INCLUDING GARAGE)</b>	<b>2300.00 S.F.</b>	<b>157080.00 S.F.</b>
<b>SINGLE FAMILY DETACHED</b>	3	3
FIRST FLOOR	617.00 S.F.	1851.00 S.F.
SECOND FLOOR	1201.00 S.F.	3603.00 S.F.
GARAGE	489.00 S.F.	1467.00 S.F.
<b>TOTAL (LIVING AREA)</b>	<b>1818.00 S.F.</b>	<b>5454.00 S.F.</b>
<b>TOTAL (INCLUDING GARAGE)</b>	<b>2307.00 S.F.</b>	<b>6921.00 S.F.</b>
<b>UNIT MIX</b>		
<b>BUILDING</b>	<b>PLAN 3</b>	<b>TOTAL UNITS</b>
TWIN HOME (34 X 2)	68	68
SINGLE FAMILY DETACHED	3	3
<b>TOTALS</b>		<b>71</b>

### SHEET INDEX

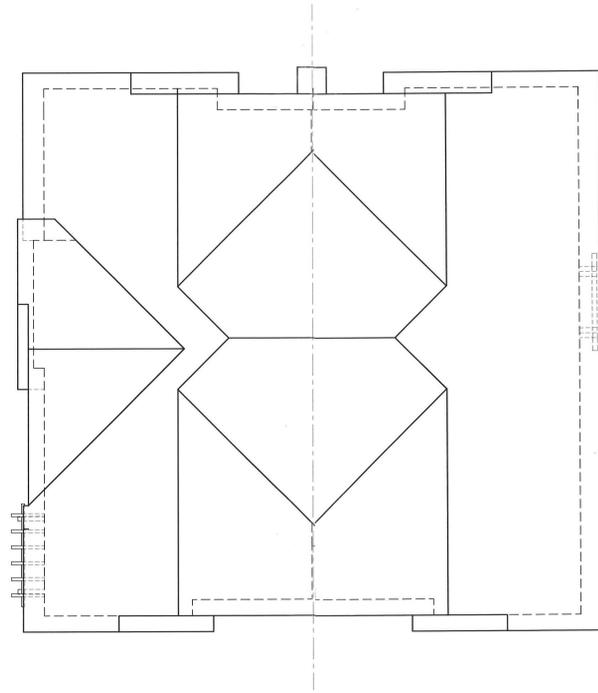
SHEET NO.	SHEET TITLE
1	TITLE SHEET
2	FLOOR PLANS
3	ROOF PLAN
4	EXTERIOR ELEVATIONS - "A"
5	EXTERIOR ELEVATIONS - "B"
6	EXTERIOR ELEVATIONS - "C"
7 - 15	COLOR INFORMATION



FIRST FLOOR PLAN



SECOND FLOOR PLAN



ROOF PLAN

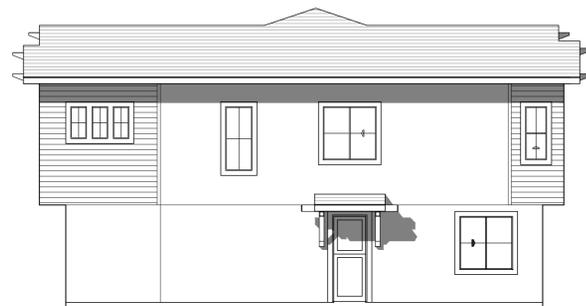




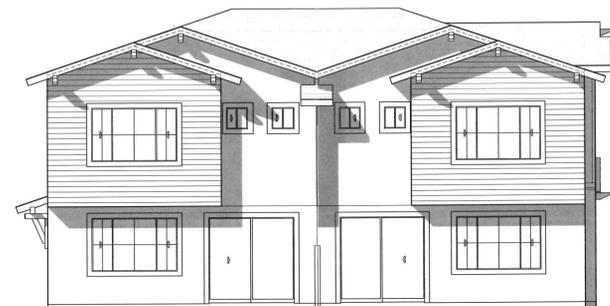
LEFT SIDE ELEVATION



FRONT ELEVATION



RIGHT SIDE ELEVATION



REAR ELEVATION

TYPICAL BUILDING MATERIALS

- 1 FLAT CONCRETE TILE.
- 2 2X RESAWN FASCIA BOARD.
- 3 2X RESAWN RAKE BOARD.
- 4 RESAWN WOOD BEAM/ BRACKET/ KNEE BRACE/ TRELLIS - SIZE AS NOTED.
- 5 RESAWN WOOD TRIM.
- 6 HARDBOARD SIDING PER HATCH SCHEDULE.
- 7 BOARD AND BATT SIDING PER HATCH SCHEDULE.
- 8 INTEGRAL COLOR PLASTER FINISH.
- 9 PLASTER JOINT.
- 10 VINYL WINDOW / SLIDING GLASS DOOR.
- 11 PLASTER TRIM / WINDOW TRIM.
- 12 ENTRY DOOR.
- 13 SECTIONAL GARAGE DOOR.
- 14 WOOD GUARDRAIL/ RAILING.
- 15 DECORATIVE WOOD SHUTTER.
- 16 UTILITY CLOSETS.
- 17 WOOD FENCE.

\* ALL WOOD AND METAL ELEMENTS TO BE PAINTED.

HATCH SCHEDULE

-  PLASTER
-  PAINTED HARDBOARD SIDING
-  PAINTED BOARD AND BATT SIDING
-  FLAT CONCRETE TILE.

A





LEFT SIDE ELEVATION



FRONT ELEVATION



RIGHT SIDE ELEVATION



REAR ELEVATION

TYPICAL BUILDING MATERIALS

- 1 FLAT CONCRETE TILE.
- 2 2X RESAWN FASCIA BOARD.
- 3 2X RESAWN RAKE BOARD.
- 4 RESAWN WOOD BEAM/ BRACKET/ KNEE BRACE/ TRELLIS - SIZE AS NOTED.
- 5 RESAWN WOOD TRIM.
- 6 HARDBOARD SIDING PER HATCH SCHEDULE.
- 7 BOARD AND BATT SIDING PER HATCH SCHEDULE.
- 8 INTEGRAL COLOR PLASTER FINISH.
- 9 PLASTER JOINT.
- 10 VINYL WINDOW / SLIDING GLASS DOOR.
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- 14 WOOD GUARDRAIL/ RAILING.
- 15 DECORATIVE WOOD SHUTTER.
- 16 UTILITY CLOSETS.
- 17 WOOD FENCE.

\* ALL WOOD AND METAL ELEMENTS TO BE PAINTED.

HATCH SCHEDULE

-  PLASTER
-  PAINTED HARDBOARD SIDING
-  PAINTED BOARD AND BATT SIDING
-  FLAT CONCRETE TILE.

**B**

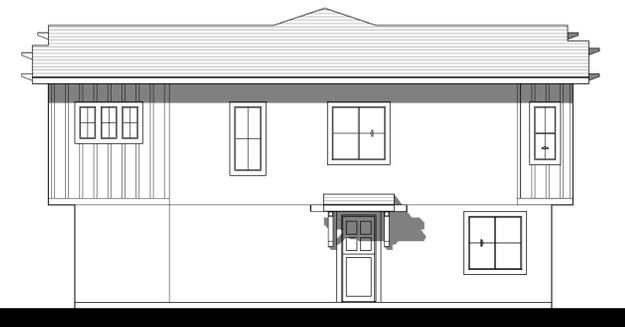




LEFT SIDE ELEVATION



FRONT ELEVATION



RIGHT SIDE ELEVATION



REAR ELEVATION

TYPICAL BUILDING MATERIALS

- 1 FLAT CONCRETE TILE.
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\* ALL WOOD AND METAL ELEMENTS TO BE PAINTED.

HATCH SCHEDULE

-  PLASTER
-  PAINTED HARDBOARD SIDING
-  PAINTED BOARD AND BATT SIDING
-  FLAT CONCRETE TILE.

C





**4A** PLAN 3 - SCHEME 1

**4B** PLAN 3 - SCHEME 6





4A FRONT ELEVATION - SCHEME 1



# LAUREL PARK COLOR SCHEDULE

Cornerstone Communities  
Exterior Color Schemes

COLOR SCHEME	• PLASTER • FASCIA • BEAMS AT FACIA	• WINDOW TRIM	• SIDING # 1	• GARAGE DOOR • UTILITY DOORS	•SIDING # 2	• FRONT DOOR • SHUTTERS • TRELLIS • BEAMS • KNEE BRACE • BALCONIES	• ASPHALT SHINGLE ROOF
1	SW 7008 255-C2	SW 7670 282-C6	SW 7008 255-C2	SW 7670 282-C6	SW 7670 282-C6	SW 7665 233-C5	CARBON
2	SW 7757 256-C1	SW 7673 282-C4	SW 7757 256-C1	SW 7673 282-C4	SW 7673 282-C4	SW 7069 251-C7	GRANITE
3	SW 7647 255-C6	SW 7669 282-C5	SW 7647 255-C6	SW 7669 282-C5	SW 7669 282-C5	SW 7674 236-C7	GRANITE
4	SW 9166 238-C2	SW 7067 236-C5	SW 9166 238-C2	SW 7067 236-C5	SW 7067 236-C5	SW 6236 222-C6	SYCAMORE
5	SW 7641 283-C2	SW 7018 244-C5	SW 7641 283-C2	SW 7018 244-C5	SW 7018 244-C5	SW 7625 279-C2	SYCAMORE
6	SW 7643 283-C4	SW 7075 235-C6	SW 7643 283-C4	SW 7075 235-C6	SW 7075 235-C6	SW 7076 235-C7	CARBON

**ALL COLOR TO BREAK INSIDE CORNERS. RAIN GUTTERS AND DOWNSPOUTS TO BE FACTORY-FINISH BEST-MATCH TO ADJACENT SURFACE.**

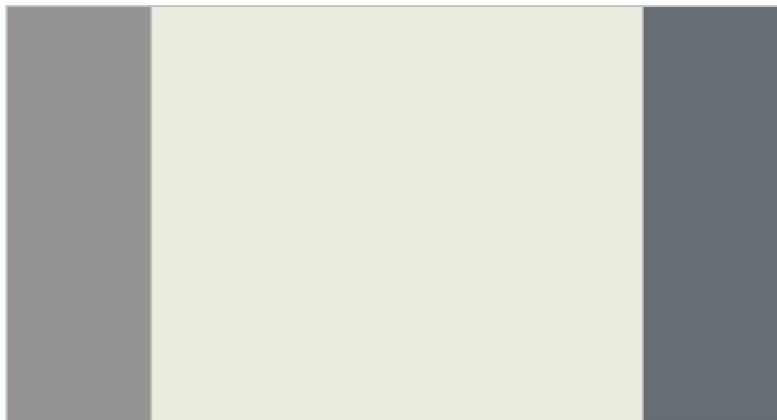
- PLASTER BY OMEGA STUCCO, 16/20 SAND FINISH. FORMULAS SHOWN IN PARENTHESIS BELOW PAINT CHIP NUMBER.  
CONTACT: LOUIE CORPOLONGO / (951) 733-2937 / louie@omega-products.com
- PAINT BY SHERWIN WILLIAMS (SW). CONTACT: JOHN DUMESNIL / (619) 665-9341 / john.t.dumesnil@sherwin.com
- ASPHALT SHINGLE ROOF: OWENS CORNING DURATION MAX

ASPHALT SHINGLE ROOF



- PLASTER
- FASCIA
- BEAMS AT FASCIA
- SIDING #1

- WINDOW TRIM
- GARAGE DOOR
- UTILITY DOORS
- SIDING #2



- FRONT DOOR
- SHUTTERS
- TRELLIS
- BEAMS
- KNEE BRACE
- BALCONIES

Color Scheme 1

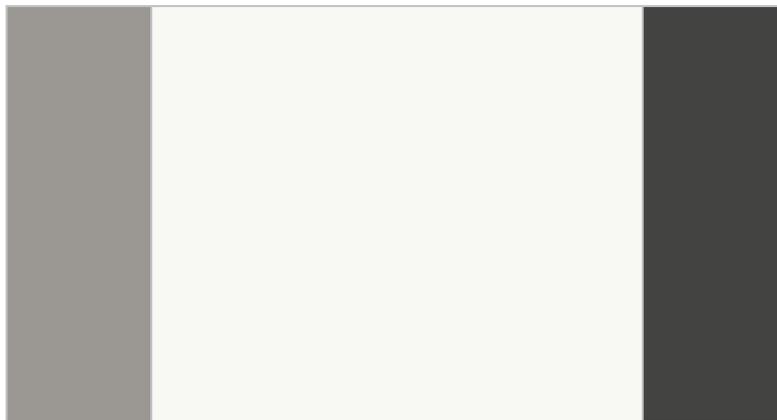
**LAUREL PARK**  
**CORNERSTONE COMMUNITIES**

ASPHALT SHINGLE ROOF



- PLASTER
- FASCIA
- BEAMS AT FASCIA
- SIDING #1

- WINDOW TRIM
- GARAGE DOOR
- UTILITY DOORS
- SIDING #2



- FRONT DOOR
- SHUTTERS
- TRELLIS
- BEAMS
- KNEE BRACE
- BALCONIES

Color Scheme 2

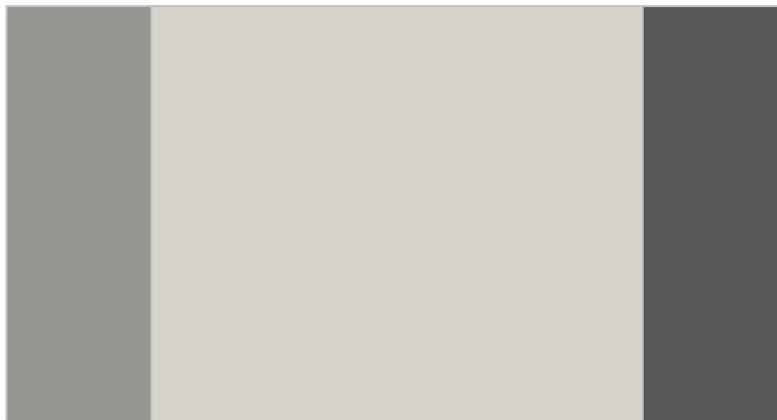
**LAUREL PARK**  
**CORNERSTONE COMMUNITIES**

ASPHALT SHINGLE ROOF



- PLASTER
- FASCIA
- BEAMS AT FASCIA
- SIDING #1

- WINDOW TRIM
- GARAGE DOOR
- UTILITY DOORS
- SIDING #2



- FRONT DOOR
- SHUTTERS
- TRELLIS
- BEAMS
- KNEE BRACE
- BALCONIES

Color Scheme 3

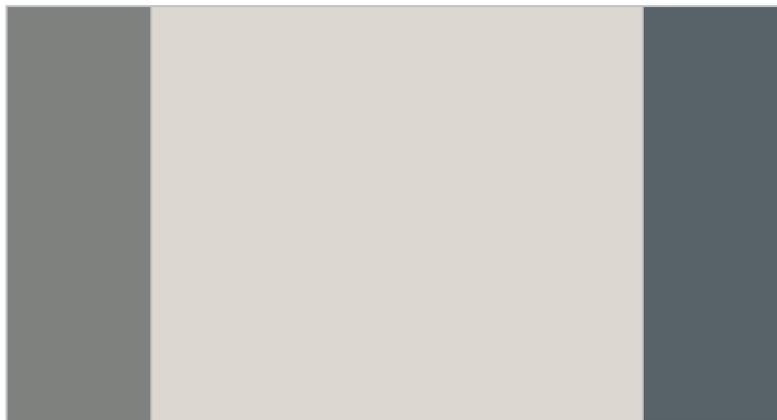
**LAUREL PARK**  
**CORNERSTONE COMMUNITIES**

ASPHALT SHINGLE ROOF



- PLASTER
- FASCIA
- BEAMS AT FASCIA
- SIDING #1

- WINDOW TRIM
- GARAGE DOOR
- UTILITY DOORS
- SIDING #2



- FRONT DOOR
- SHUTTERS
- TRELLIS
- BEAMS
- KNEE BRACE
- BALCONIES

Color Scheme 4

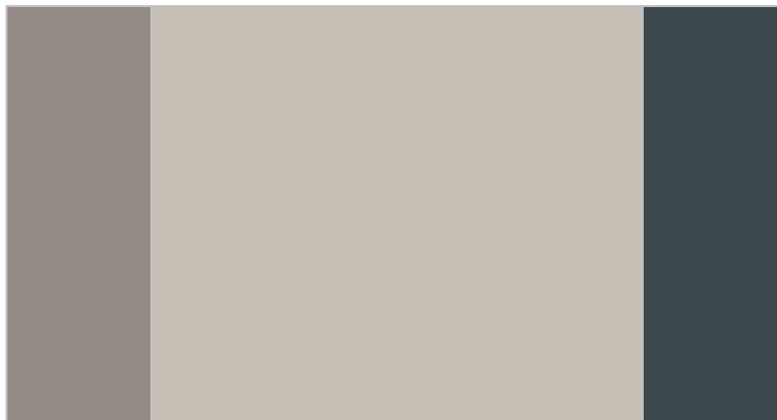
**LAUREL PARK**  
**CORNERSTONE COMMUNITIES**

ASPHALT SHINGLE ROOF



- PLASTER
- FASCIA
- BEAMS AT FASCIA
- SIDING #1

- WINDOW TRIM
- GARAGE DOOR
- UTILITY DOORS
- SIDING #2



- FRONT DOOR
- SHUTTERS
- TRELLIS
- BEAMS
- KNEE BRACE
- BALCONIES

Color Scheme 5

LAUREL PARK  
CORNERSTONE COMMUNITIES

ASPHALT SHINGLE ROOF



- PLASTER
- FASCIA
- BEAMS AT FASCIA
- SIDING #1

- WINDOW TRIM
- GARAGE DOOR
- UTILITY DOORS
- SIDING #2



- FRONT DOOR
- SHUTTERS
- TRELLIS
- BEAMS
- KNEE BRACE
- BALCONIES

Color Scheme 6

**LAUREL PARK**  
**CORNERSTONE COMMUNITIES**