

Chapter 4 Environmental Impact Analysis

Sections 4.1 through 4.18 of this chapter of this EIR contain a discussion of the potential environmental effects from implementation of the Fanita Ranch Project (proposed project), including information related to existing project site conditions, analyses of the type and magnitude of individual and cumulative environmental impacts, and feasible mitigation measures that could reduce or avoid environmental impacts.

Scope of the Environmental Impacts Analysis

The proposed project involves developing a comprehensive three-village community including single-family and multi-family housing, a school, commercial uses, parks, open space, and a farm on approximately 2,638 acres within the City of Santee (City) (Figure 3-4, Conceptual Land Use Plan, in Chapter 3, Project Description).

In accordance with Appendix G of the CEQA Guidelines, the potential environmental effects from the project site are analyzed for the following environmental issue areas:

- Aesthetics
- Air quality
- Biological resources
- Cultural and tribal cultural resources
- Energy
- Geology, soils, and paleontological resources
- Greenhouse gas emissions
- Hazards and hazardous materials
- Hydrology and water quality
- Land use
- Mineral resources
- Noise
- Population and housing
- Public services
- Recreation
- Transportation
- Utilities and service systems
- Wildfire

Agriculture and forestry resources were determined to be “Effects Not Found to be Significant” according to Section 15128 of the CEQA Guidelines. This issue is discussed further in Chapter 5, Other CEQA Considerations, of this EIR.

Format of the Environmental Impact Analysis

The following subsections are listed in each of the 18 environmental topic sections in Sections 4.1 through 4.18 of this EIR.

Environmental Setting

According to Section 15125 of the CEQA Guidelines, an EIR must include a description of existing physical environmental conditions in the vicinity of the project to provide the “baseline condition” against which project-related impacts are compared. Normally, the baseline condition is the physical condition that exists when the Notice of Preparation (NOP) is published. The NOP for the proposed

project was published in November 2018. However, the CEQA Guidelines and applicable case law recognize that the date for establishing an environmental baseline cannot be rigid. Physical environmental conditions may vary over a range of time periods; thus the use of environmental baselines that differ from the date of the NOP may under certain circumstances be appropriate when conducting the environmental analysis. The following sections rely on a variety of data to establish an applicable baseline. In sections such as cultural and tribal cultural resources, biological resources, and geology and soils, available data were updated as needed; therefore, observations or assumptions concerning how those conditions might have changed since NOP issuance were incorporated. These assumptions are explained in the following sections and corresponding technical reports.

Regulatory Framework

The Regulatory Framework subsection provides a summary of regulations, plans, policies, and laws that are relevant to each issue area at the federal, state, and local levels.

Thresholds of Significance

Thresholds of significance are criteria used to determine whether potential environmental effects are significant. A threshold of significance is an identifiable quantitative, qualitative, or performance level of a particular environmental effect, non-compliance with which means the effect will normally be determined to be significant by the agency and compliance with which means the effect normally will be determined to be less than significant. The thresholds of significance used in this analysis were based primarily upon Appendix G of the CEQA Guidelines. However, in some cases, thresholds were developed specifically for this analysis and certain thresholds are established in the Santee General Plan. This subsection defines the type, amount, and extent of impact that would be considered a significant adverse change in the environment. Some thresholds of significance, such as air quality, traffic, and noise, are quantitative, while others, such as aesthetics, are qualitative. The thresholds of significance are intended to assist the reader in understanding how and why the EIR reaches a conclusion that an impact is significant, potentially significant, or less than significant.

Method of Analysis

The Method of Analysis subsection describes the methods used to evaluate the potential environmental impacts of the proposed project. The methods may include references to major sources used in the analysis, definitions of terms, or the general steps taken in the analysis. Where technical reports are used as the basis of the analysis, the methods of the report are briefly summarized, and the technical report is included as an appendix to the EIR.

Project Impacts and Mitigation Measures

The Project Impacts and Mitigation Measures subsection describes the potential environmental impacts of the proposed project and, based upon the thresholds of significance, concludes whether the environmental impacts would be considered significant, potentially significant, or less than significant. Each resource that is analyzed is divided into issues, based on potential impacts. Each

issue is addressed in its own subsection. For each issue, applicable thresholds of significance are identified and potential impacts are discussed in the Impact Analysis subsection. Mitigation measures are also included and discussed when applicable.

Impact Analysis

The analysis of environmental impacts considers both the construction and operational phases associated with implementation of the proposed project. As required by Section 15126.2(a) of the CEQA Guidelines, direct, indirect, short-term, and long-term impacts are addressed, as appropriate, for the environmental issue area being analyzed.

The EIR uses the following terms to describe the level of significance of impacts identified during the course of the environmental analysis:

- **Less than Significant:** “Less than significant” is used for referring to two conditions: (1) impacts resulting from implementation of the proposed project that are not likely to exceed the defined thresholds of significance; and (2) potentially significant impacts after implementation of mitigation measures. If implementation of the specified mitigation measures will reduce the potentially significant impact to a level that does not exceed the defined thresholds of significance, the impact is considered less than significant.
- **Potentially Significant:** Impacts resulting from implementation of the proposed project that may exceed defined thresholds of significance before mitigation is considered are referred to as potentially significant.
- **Significant and Unavoidable:** Significant impacts resulting from implementation of the proposed project that cannot be eliminated or reduced to below thresholds of significance and a less than significant level through implementation of feasible mitigation measures are referred to as significant and unavoidable.

A significant effect is defined by Section 15382 of the CEQA Guidelines as “a substantial, or potentially substantial, adverse change in any of the physical conditions within the area affected by the project including land, air, water, minerals, flora, fauna, ambient noise, and objects of historic or aesthetic significance. An economic or social change by itself shall not be considered a significant effect on the environment . . . [but] may be considered in determining whether the physical change is significant.”

Mitigation Measures

Section 15126.4 of the CEQA Guidelines requires an EIR to “describe feasible measures which could minimize significant adverse impacts.” The CEQA Guidelines define feasibility as capable of being accomplished in a successful manner within a reasonable period of time taking into account economic, legal, social, technological, or other considerations. The Mitigation Measures subsection discusses mitigation measures that could reduce the severity of impacts identified in the Impact Analysis subsection.

Cumulative Impacts and Mitigation Measures

CEQA requires that EIRs discuss cumulative impacts, in addition to project impacts. In accordance with CEQA, the discussion of cumulative impacts must reflect the severity of the impacts and the likelihood of their occurrence. Further, the discussion is guided by the standards of practicality and reasonableness. According to Section 15355 of the CEQA Guidelines:

“Cumulative impacts” refer to two or more individual effects which, when considered together, are considerable or which compound or increase other environmental impacts.

- (a) The individual effects may be changes resulting from a single project or a number of separate projects.
- (b) The cumulative impact from several projects is the change in the environment which results from the incremental impact of the project when added to other closely related past, present, and reasonably foreseeable probable future projects. Cumulative impacts can result from individually minor but collectively significant projects taking place over a period of time.

Section 15130(a) of the CEQA Guidelines further states that a “cumulative impact consists of an impact which is created as a result of the combination of the project evaluated in the EIR together with other projects causing related impacts.”

Section 15130(a) of the CEQA Guidelines requires that EIRs discuss the cumulative impacts of a project when a project’s incremental effect is cumulatively considerable. Therefore, the discussion of cumulative impacts in an EIR evaluates whether the impacts of a project will be significant when considered in combination with past, present, and probable future projects, and whether a project would make a cumulatively considerable contribution to those impacts. CEQA recognizes that the analysis of cumulative impacts need not be as detailed as the analysis of project-related impacts, but instead should “be guided by the standards of practicality and reasonableness.” CEQA Guidelines indicate that where a lead agency is examining a project with an incremental effect that is not cumulatively considerable, it need not consider the effect significant but shall briefly describe the basis for its conclusion. As further clarified by Section 15065 of the CEQA Guidelines, “cumulatively considerable” means that the incremental effects of an individual project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects. The CEQA Guidelines allow for a project’s contribution to be rendered less than cumulatively considerable with implementation of mitigation.

The geographic scope of the cumulative impact analysis varies depending upon the specific environmental issue area being analyzed. Table 4-1 summarizes the geographic scope of the analyses for the major cumulative issues analyzed in the following sections. The geographic scope

defines the geographic area within which projects may contribute to a specific cumulative impact. Therefore, past, present, and probable future projects within the defined geographic area for a given cumulative issue must be considered.

Table 4-1. Geographic Scope of Cumulative Impact Analyses

Environmental Issue	Geographic Scope of Cumulative Impact Analyses
Aesthetics	Public vantage points in the City and adjacent areas
Air Quality	San Diego Air Basin for criteria air pollutants; project site and surrounding vicinity for impacts to sensitive receptors and odors
Biological Resources	County Multiple Species Conservation Program boundary, including the Draft Santee Multiple Species Conservation Program Subarea Plan, which is the City's jurisdictional boundary
Cultural and Tribal Cultural Resources	City limits; County
Energy	County
Geology, Soils, and Paleontological Resources	Limited to the immediate area of the geologic constraint and immediate surrounding area; the City; County
Greenhouse Gas Emissions	Global scale
Hazards and Hazardous Materials	Nearby facilities in the City; City of San Diego; County
Hydrology and Water Quality	San Diego River Hydrologic Unit; Santee Hydrologic Subarea; the City; general vicinity of the project site
Land Use and Planning	The City and adjacent jurisdictions' land use planning areas
Mineral Resources	County; the City and adjacent communities
Noise	Immediate vicinity; the City and adjacent communities
Population and Housing	The City and County
Public Services	Extent of area served by public services affected; the City; County and adjacent areas, as applicable
Recreation	The City and adjacent jurisdictions
Transportation	The City; City of San Diego; County
Utilities and Service Systems	Project site and immediate surrounding community; the City utility service area; County
Wildfire	Project site and immediate surrounding area; the City; County

Notes: City = City of Santee; County = County of San Diego

CEQA Guidelines, Section 15130(b), presents two possible approaches for considering cumulative effects:

- A list of past, present, and probable future projects producing related or cumulative impacts, including, if necessary, those projects outside the control of the agency, or
- A summary of projections contained in an adopted general plan or related planning document, or in a prior environmental document which has been adopted or certified, which described or evaluated regional or area-wide conditions contributing to the cumulative impact.

This EIR uses both of these methods. Past and present projects are considered as part of the baseline when evaluating project impacts. Any exceptions are noted in the following sections. With regard to probable future projects, consideration of projects that could be implemented to fully execute adopted community plans, such as the Santee General Plan, City of San Diego East Elliott Community Plan, County of San Diego Lakeside Community Plan, is typically sufficient to account for cumulative impacts from future reasonably foreseeable projects; therefore, this is the primary approach taken in the following sections. However, in some instances there may be reasonably foreseeable future projects with characteristics unique to the issue being analyzed that deserve consideration. To identify such projects, the City of Santee, City of San Diego, and County of San Diego planning staff, other relevant agencies, the Internet, and newspapers were consulted and reviewed. The “related projects,” as described by CEQA Guidelines, Section 15130(b), that were identified and considered in the cumulative impact analyses within the following sections are listed in Table 4-2. Figure 4-1, Cumulative Projects, illustrates each project location in relation to the project site.

Table 4-2. Cumulative Projects

No.	Name/Applicant	Description	Status
1	GA Development, LLC	6 single-family detached residential units	Approved 5/23/2007 – Not Built
2	D’Lazio	20 residential condominium units	Approved 8/23/2006 – Under Construction
3	East County Estates	6 single-family detached residential units	Completed
4	Las Olivitas	18 residential condominium units	Completed
5	Santee View Estates	27 single-family detached residential units	Approved 11/12/2008 – Not Built
6	Woodside Terrace	4 single-family detached residential units	Approved 10/10/2007 – Under Construction
7	Tyree & Vidovich Investments, LLC	4 single-family detached residential units	Completed
8	Cornerstone	128 residential condominium units	Approved 8/22/2018 – Under Construction
9	Santee Townhomes	10 residential condominium units	Approved 5/10/2017 – Not Built
10	Prospect Fields	75 single-family detached residential units	Completed
11	River Village	82 single-family residential units	Completed
12	Infill Development Company	4 single-family detached residential units	Approved 9/28/2016 – Under Construction
13	Village Run Homes, LLC	40 residential apartment units	Approved 12/13/2015 – Not Built
14	Karl Strauss	Brewery, warehouse, tasting room, and restaurant	Approved 12/17/2015 – Not Built
15	Hattie Davidson Properties	113 residential apartment units	Approved – Not Built
16	Walker Trails	67 single-family detached residential units	Approved 8/8/2018 – Under Construction

Table 4-2. Cumulative Projects

No.	Name/Applicant	Description	Status
17	Prospect Estates II	53 single-family detached residential units	Approved 10/9/2019 – Not Built
18	Costco and Expanded Food Court	Fuel facility with 11 dispensers	Completed
19	Weston (formerly Castlerock)	415 single-family detached residential units	Approved by City of San Diego – Under Construction
20	Calvary Chapel	9,300-square-foot church expansion	Completed
21	Tyler Street Subdivision	14 single-family detached residential units	Pending Entitlement
22	Caribbean Way	42 residential condominium units	Approved 6/13/2018 – Under Construction
23	Talwar	8 residential condominium units	Approved 2/12/2020 – Not Built
24	Lantern Crest Ridge	46-bed memory care facility	Pending Entitlement
25	Graves/Prospect Commercial	Convenience store/coffee shop	Pending Entitlement
26	Sharp Medical Office Building	86,000-square-foot medical office	Approved 5/23/2018 – Under Construction
27	Parkside (formerly Hillside Meadows) ¹	63 single-family detached residential and 62 condominium units	Pending Entitlement
28	Cuyamaca Service Station	Gas, retail, office, and car wash	Approved 10/10/2018 – Not Built
29	Panera Bread	Fast-food restaurant with drive-through	Completed
30	Sycamore Landfill ²	Master plan expansion	Approved by City of San Diego – Under Construction
31	Padre Dam Municipal Water District/Santee Lakes Recreation Preserve Expansion	Operational trips related to master plan improvements	Under Construction
32	Carlton Oaks Country Club	232 residential condominium units, 53 single-family detached residential units, assisted living, hotel, and restaurant expansion	Pending Entitlement
33	Garmo Brothers	Gas station and restaurant	Approved 10/10/2018 – Not Built
34	Toby Foster (8017 Mission Gorge Road)	Commercial	Approved 11/12/2019 – Under Construction
35	Meng Subdivision	24 residential condominium units	Approved 3/14/2007 – Not Built
36	WoodSpring Suites	120-room hotel	Approved 9/18/2019 – Not Built
37	Handel's Ice Cream	Commercial	Approved 10/22/2019 – Not Built
38	Atlas View Condos	11 residential condominium units	Pending Entitlement
39	Tower Glass	Industrial	Approved 6/6/19 – Not Built
40	Studio Movie Grill	Entertainment and restaurant	Pending Entitlement
41	County Property 2	365 residential condominium units	Pending Entitlement
42	County Property 1	130 residential condominium units	Pending Entitlement
43	KDS & Associates	Warehouse	Pending Entitlement
44	Cameron Brothers	Commercial	Pending Entitlement

Table 4-2. Cumulative Projects

No.	Name/Applicant	Description	Status
45	Jacor	Office/warehouse	Approved 4/4/2019 – Not Built
46	Rayo Wholesale	Warehouse	Approved 10/26/2017– Under Construction
47	Lantern Crest Phase III	360 residential apartment units	Approved 2008 – Under Construction
48	Rockvill Residential	59 residential apartment units	Pending Entitlement
49	All Right Storage	87,400-square-foot commercial	Pending Entitlement
50	County ARCC	25,182-square-foot government building	Completed
51	Gondala Skate	28,647-square-foot industrial	Approved – Not Built
52	Lunar Lane	7,400-square-foot industrial	Pending Entitlement
53	Kalasho Gas Station	Gas station and car wash	Pending Entitlement
54	Conejo Subdivision	5 single-family detached residential units	Pending Entitlement
55	Prospect Avenue Subdivision	14 single-family detached residential units	Pending Entitlement

Source: Appendix N.

Notes: This table and Figure 4-1 reflect the status of cumulative projects as of February 2020. Projects noted as completed were fully constructed after the date of existing data collection. Therefore, the trips associated with these projects were added to the near-term cumulative condition in the Transportation Impact Analysis (included as Appendix N).

¹ Project partially located in the County of San Diego.

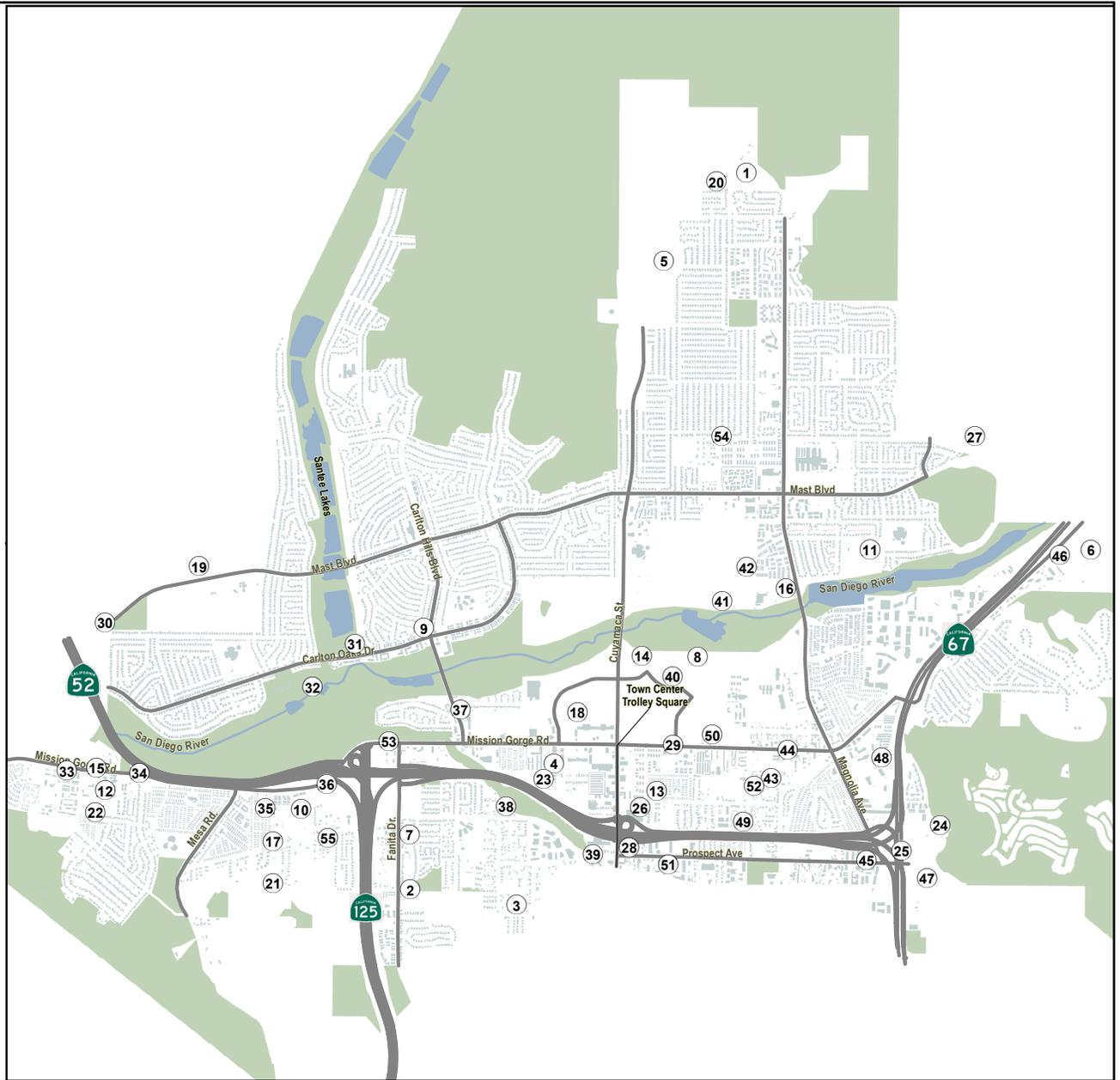
² Project located in the City of San Diego.

References

This section identifies sources relied upon for each environmental topic area analyzed in this EIR (Sections 4.1 through 4.18).

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No.	Name/Applicant	Status
1	GA Development, LLC	Approved 5/23/07 – Not Built
2	D'Lazio	Approved 8/23/06 – Under Construction
3	East County Estates	Completed
4	Las Olivias	Completed
5	Santee View Estates	Approved 11/12/08 – Not Built
6	Woodside Terrace	Approved 10/10/07 – Under Construction
7	Tyree & Vidovich Investments, LLC	Completed
8	Cornerstone	Approved 8/22/18 – Under Construction
9	Santee Townhomes	Approved 5/10/17 – Not Built
10	Prospect Fields	Completed
11	River Village	Completed
12	Infill Development Company	Approved 9/28/16 – Under Construction
13	Village Run Homes, LLC	Approved 12/13/15 – Not Built
14	Karl Strauss	Approved 12/17/15 – Not Built
15	Hattie Davidson Properties	Approved – Not Built
16	Walker Trails	Approved 8/8/18 – Under Construction
17	Prospect Estates II	Approved 10/9/19 – Not Built
18	Costco and Expanded Food Court	Completed
19	Weston (formerly Casterock)	Approved by City of SD – Under Construction
20	Calvary Chapel	Completed
21	Tyler Street Subdivision	Pending Entitlement
22	Carribeau Way	Approved 6/13/18 – Under Construction
23	Talwar	Approved 2/12/20 – Not Built
24	Lantern Crest Ridge	Pending Entitlement
25	Graves/Prospect Commercial	Pending Entitlement
26	Sharp Medical Office Building	Approved 5/23/18 – Under Construction
27	Parkside (formerly Hillside Meadows) ¹	Pending Entitlement
28	Cuyamaca Service Station	Approved 10/10/18 – Not Built
29	Panera Bread	Completed
30	Sycamore Landfill ²	Approved by City of SD – Under Construction
31	PDMWD/Santee Lakes Recreation Preserve Expansion	Under Construction
32	Carlton Oaks Country Club	Pending Entitlement
33	Garmo Brothers	Approved 10/10/18 – Not Built
34	Toby Foster (8017 Mission Gorge Road)	Approved 11/12/19 - Under Construction
35	Meng Subdivision	Approved 3/14/07 – Not Built
36	WoodSpring Suites	Approved 9/18/19 – Not Built
37	Handel's Ice Cream	Approved 10/22/19 – Not Built
38	Atlas View Condos	Pending Entitlement
39	Tower Glass	Approved 6/6/19 – Not Built
40	Studio Movie Grill	Pending Entitlement
41	County Property 2	Pending Entitlement
42	County Property 1	Pending Entitlement
43	KDS & Associates	Pending Entitlement
44	Cameron Brothers	Pending Entitlement
45	Jacor	Approved 4/4/19 – Not Built
46	Rayo Wholesale	Approved 10/26/17 – Under Construction
47	Lantern Crest Phase III	Approved 2008 - Under Construction
48	Rockvill Residential	Pending Entitlement
49	All Right Storage	Pending Entitlement
50	County ARCC	Completed
51	Gondala Skate	Approved - Not Built
52	Lunar Lane	Pending Entitlement
53	Kalasho Gas Station	Pending Entitlement
54	Consejo Subdivision	Pending Entitlement
55	Prospect Avenue Subdivision	Pending Entitlement



1. Partially within County of San Diego
2. Within City of San Diego

Source: City of Santee 2020.

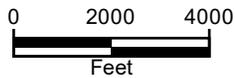


Figure 4-1
Cumulative Projects

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