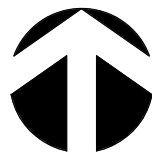


Site Plan
1" = 20'-0"



BMP Legend

- Materials and Waste Management BMPs:**
- WM-1 Materials delivery & storage
 - WM-4 Spill prevention & control
 - WM-8 Concrete waste management
 - WM-5 Solid waste management
 - WM-9 Sanitary waste management
 - WM-6 Hazardous waste management

- Temporary Runoff Control BMPs:**
- SS-2 Preservation of existing vegetation
 - SS-3 Bonded or stabilized fiber (winter)
 - SS-4 Hydroseeding (summer)
 - SS-6 SS-8 Straw or wood mulch
 - SS-7 Physical Stabilization (winter)
 - SS-10 Energy Dissipator
 - SC-1 Silt fence
 - SC-2 Sediment/Desilting Basin
 - SC-5 Fiber rolls
 - SC-6 SC-8 Gravel or sand bags
 - SC-10 Storm drain inlet protection
 - NS-2 Dewatering filtration
 - TC-1 Stabilized Construction Entrance
 - TC-2 Construction Road Stabilization
 - TC-3 Entrance/Tire Wash

- Post-Construction Site Design BMPs:**
- 4.3.1 Maintain natural drainage pathways & hydrologic features
 - 4.3.2 Conserve natural areas, soils, & vegetation
 - 4.3.3 Minimize impervious area
 - 4.3.4 Minimize soil compaction
 - 4.3.5 Impervious area dispersion
 - 4.3.6 Runoff collection
 - 4.3.7 Landscape with native or drought tolerant species
 - 4.3.8 Harvesting and using precipitation

- Post Construction Source Control BMPs:**
- 4.2.1 Prevention of illicit discharges into the MS4
 - 4.2.2 Storm drain stenciling & posting of signage
 - 4.2.3 Protected outdoor materials storage areas
 - 4.2.4 Protect materials stored in outdoor work areas
 - 4.2.5 Protect trash storage areas

- Lower Impact Development BMPs:**
- LID 2.2.1 Conservation of natural drainage, well drained soils and significant vegetation
 - LID 2.2.2 Minimize disturbances to natural drainage
 - LID 3.1 Hydrologic Design
 - LID 3.7 Landscape design

Site Plan Legend

- | | | | |
|--|--------------------------|--|-------------------------|
| | Existing Building | | Area of Outdoor Storage |
| | Existing Hardscape | | New DG (pervious) |
| | New Hardscape | | Property Line |
| | Existing Grass/Landscape | | Setback |
| | New Grass/Landscape | | (E) SD Pipe |

Prospect Ave Outdoor Storage
Minor Conditional Use Permit
10527 Prospect Ave
Santee, CA 92071
Site Plan

Revision Schedule		
#	Name	Date

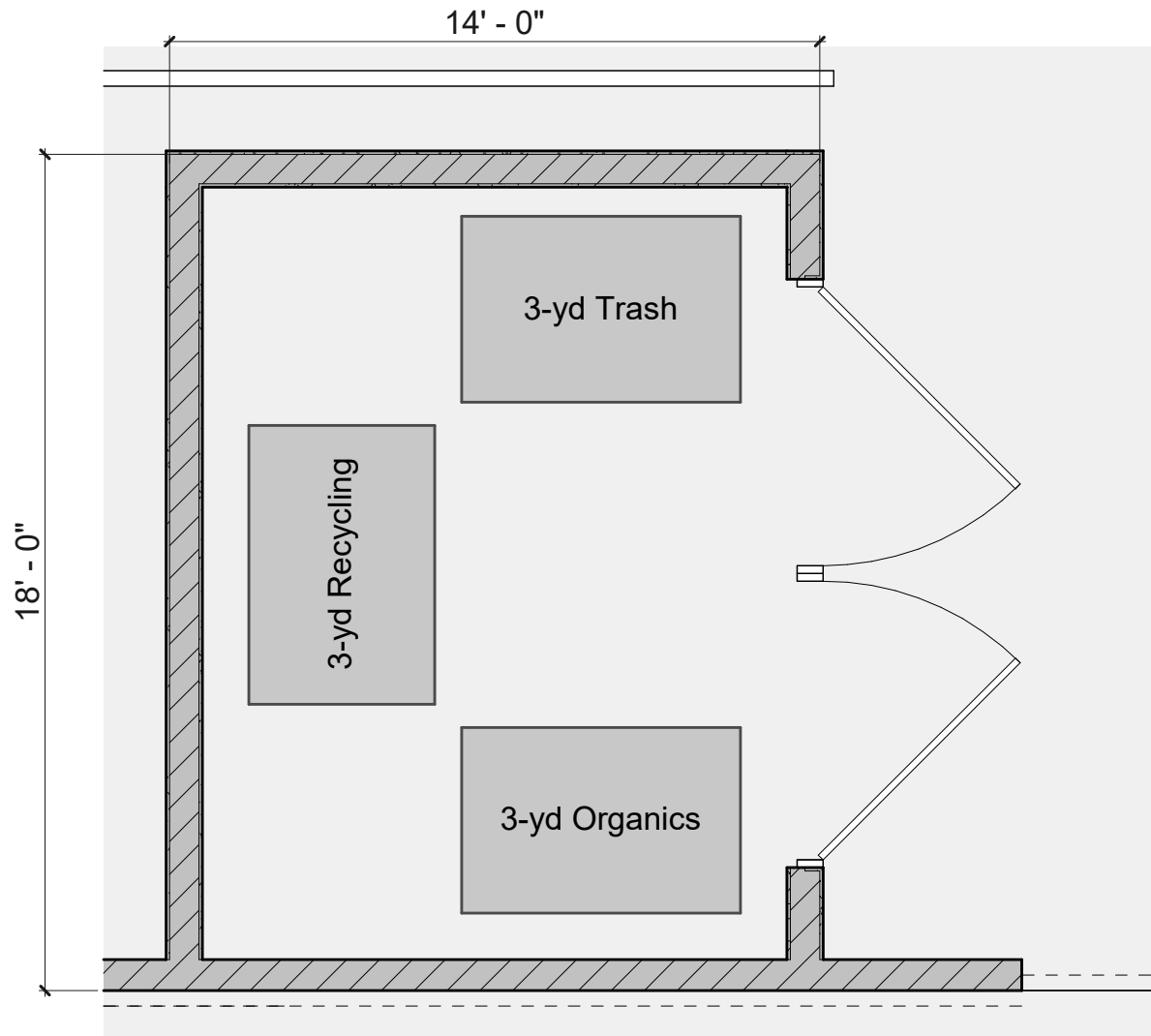
DATE
11/13/24

DRAWN
CAI

PROJECT

A10

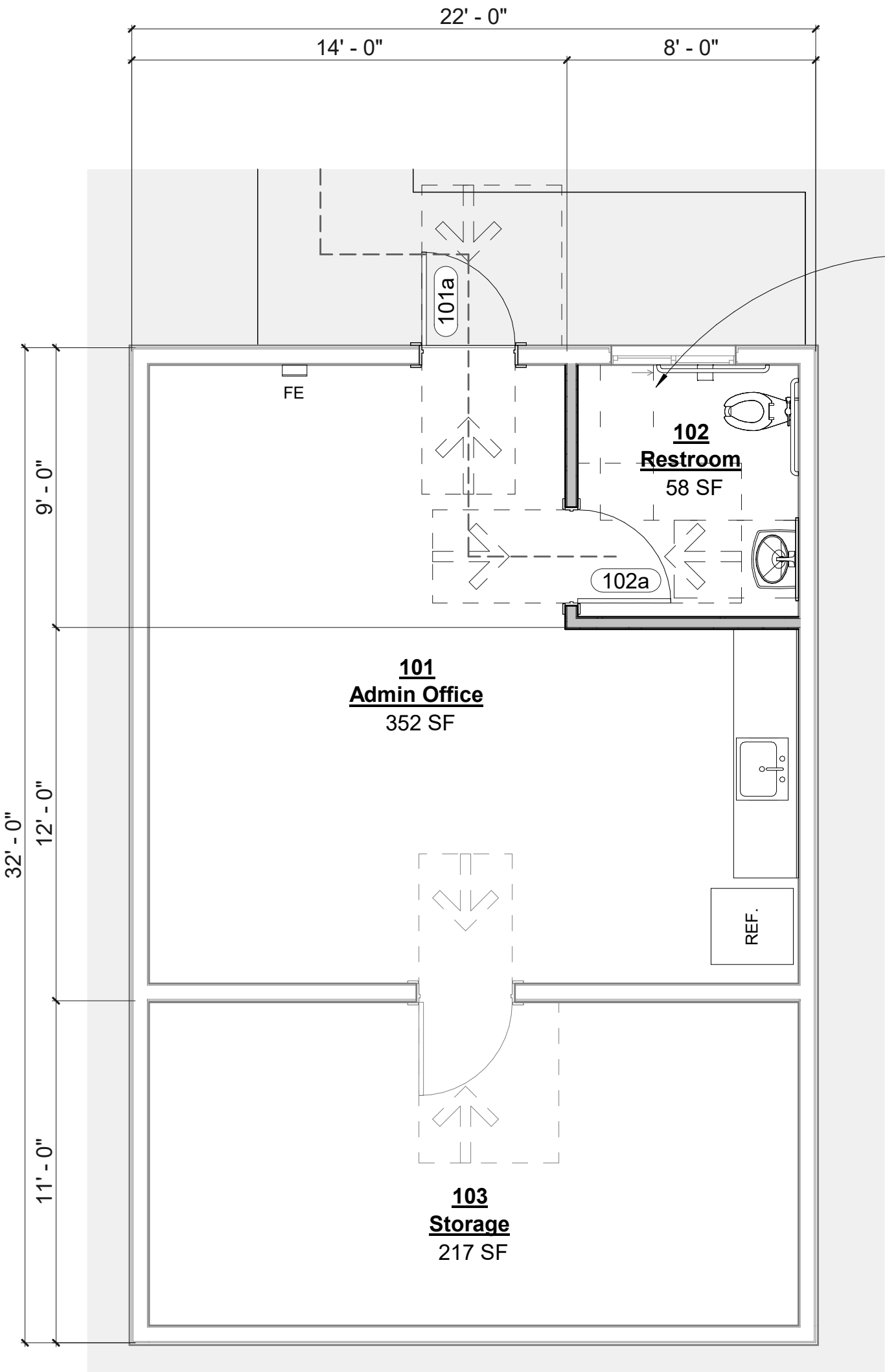
OF



Trash enclosure to have 8' clear height

Trash Enclosure
1/4" = 1'-0"

2



(E) Restroom to be updated to ADA standards

Floor Plan
1/4" = 1'-0"

1

Legend

- Existing Wall to Remain
- New Wall per plan
- FE
Fire Extinguisher shall be multi-purpose, dry chemical type with a minimum rating of 2A:10B:C mounted on the wall between 3.5 and 5' from floor level in a location that is clearly visible and readily accessible
- Accessible/Egress Path of Travel

Notes

- "The force required to activate operable parts of all interior hinged doors and gates, sliding or folding doors, and exterior hinged doors shall be five (5) pounds maximum. The force required to activate operable parts of required fire door shall not exceed 15 pounds. (CBC, Sec. 11B-404.2.9)
- Exit access doors equipped with a key operated locking device shall have a readily visible, durable sign posted on the egress side adjacent to the door stating: THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED. The sign shall have 1 inch high letters on a contrasting background.
- Egress doors shall be readily operable from the egress side without the use of a key or special knowledge or effort. (CBC 1008.1.9)
- Any handles, pulls, latches, locks, and other operable parts on doors and gates will comply with the following (CBC 11B-309.4, CBC 11B-404.2.7):
 - Minimum 34" and maximum 44" inches above finished floor or ground.
 - Maximum 5 pounds of force to open any door or gate.
 - Operable with one hand and without tight grasping, tight pinching, or twisting of the wrist.
- Door and gates surfaces within 10" of finished floor or ground shall have smooth surface on push side extending full width or door or gate. (CBC 11B-404.2.9)
- Door thresholds shall comply with CBC 11B-404.2.4.1.
- Doors and gates with closers or spring hinges shall comply with closing speed periods per CBC 11B-404.2.8
 - Closers with minimum 5 seconds from 90-degree open position to 12-degree open position
 - Spring hinges with a minimum 1.5 seconds from 70-degrees open position to closed position
- Manually operated flush bolts or surface bolts are not permitted on doors.
- Ceiling and Wall Finishes to comply with flame spread requirements of 2022 CFC 803.3

Door Hardware

Mark	Width	Height	Hardware Note
101a	3' - 0"	6' - 8"	2
102a	3' - 0"	6' - 8"	4

Hardware Notes:
'T' = Tempered Glass
1 = Panic Hardware
2 = Lockset, coordinate keying with owner
3 = Kickplate, 10" high min.
4 = Privacy lock
5 = Closer
6 = Controlled Access

Note: Only doors along the Egress/Accessible Path of Travel shown and need to comply with CBC 1010

COSTON ARCHITECTS INCORPORATED

Prospect Ave Outdoor Storage
Minor Conditional Use Permit

10527 Prospect Ave
Santee, CA 92071

Floor Plans

Revision Schedule		
#	Name	Date

DATE
11/13/24

DRAWN
CAI

PROJECT

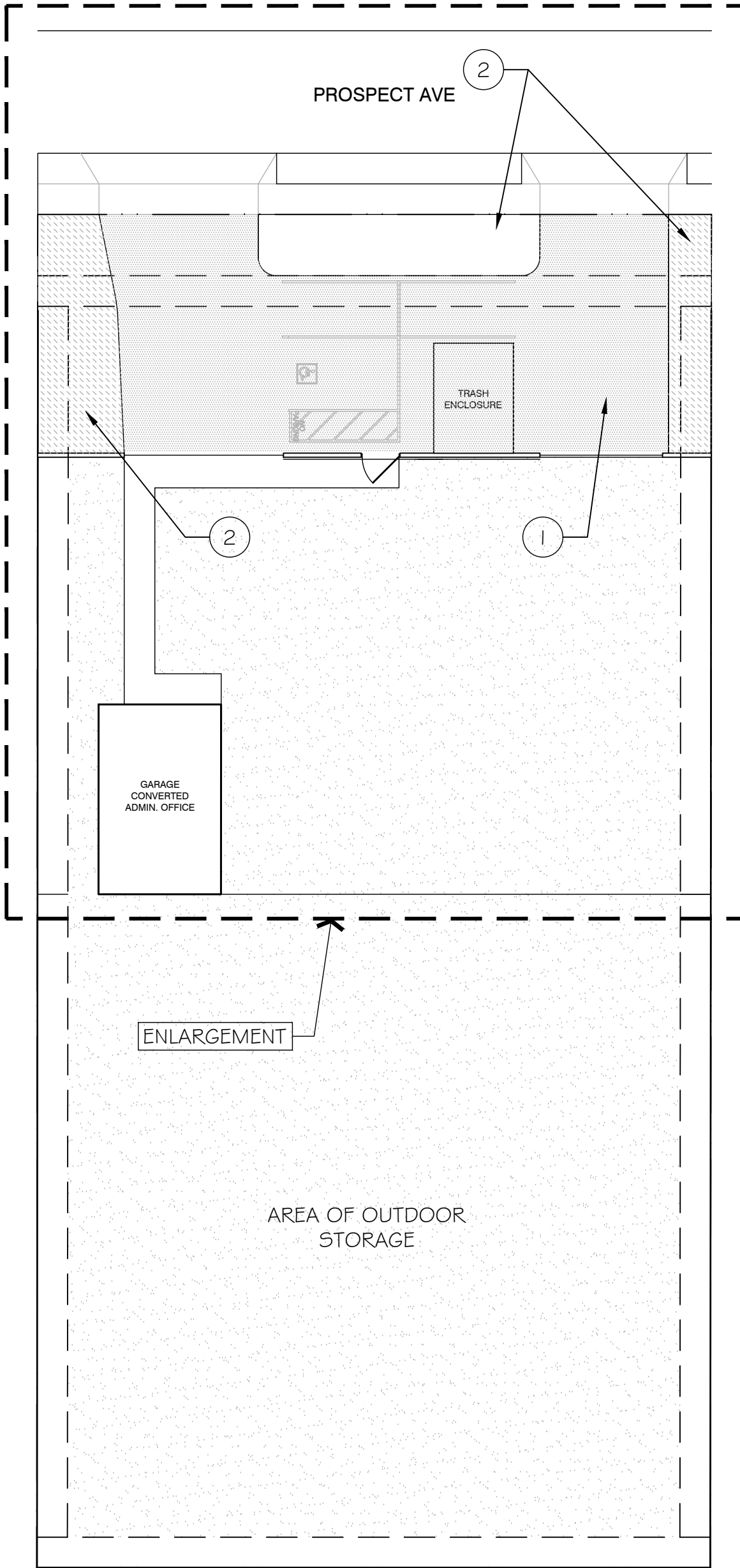
A21

OF

PLANTING NOTES

1. THE PLANTING PLAN IS DIAGRAMMATIC AND SHALL BE USED AS A GUIDE FOR SETTING OUT PLANTS. PRIOR TO PLANTING, THE LANDSCAPE ARCHITECT SHALL BE CONTACTED TO APPROVE ALL PLANT LOCATIONS AND DIRECT ADJUSTMENTS.
2. PLANT MATERIALS SHALL CONFORM TO NURSERYMAN'S STANDARDS FOR SIZE AND HEALTH. ALL PLANTS ARE SUBJECT TO REJECTION BY THE LANDSCAPE ARCHITECT IF SUBSTANDARD IN SIZE, QUALITY AND HEALTH. PROVIDE WATERPROOF SPECIES IDENTIFICATION TAGS ON ONE PLANT PER SPECIES PER GROUPING.
3. PLANT COUNTS ARE FOR THE CONVENIENCE OF THE LANDSCAPE CONTRACTOR ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON THE PLAN.
4. IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL AND ALL PLANTING AREAS THOROUGHLY SOAKED PRIOR TO PLANTING.
5. LANDSCAPE CONTRACTOR SHALL MAINTAIN A MINIMUM 2% DRAINAGE AWAY FROM ALL BUILDINGS AND FINISH GRADES SMOOTHED TO ELIMINATE PUDDLING OR STANDING WATER. CONTRACTOR SHALL COORDINATE WITH OTHER TRADES AND MAINTAIN DRAINAGE DURING CONSTRUCTION. FINISH GRADE OF PLANTING AREAS SHALL BE 2" BELOW FINISH SURFACE OF PAVING AND A MINIMUM OF 8" BELOW BUILDING STUCCO SCREED.
6. LANDSCAPE CONTRACTOR SHALL REMOVE ALL EXISTING VEGETATION, TRASH, CLIPPINGS, ROCK AND OTHER DEBRIS IN PLANTING AREAS. RAKE AND FINE GRADE ALL PLANTING AREAS PRIOR TO COMMENCEMENT OF PLANTING OPERATIONS.
7. PLANTING PITS SHALL BE PER PLANTING DETAILS.
8. PLANTING PITS AND PLANTERS SHALL BE BACKFILLED PER SOIL TEST REPORT FOR PLANTING. CONTRACTOR SHALL PROVIDE RESULTS OF AN AGRONOMIC SOILS TEST TO THE OWNER. CONTRACTOR SHALL ADD AMENDMENTS TO THE PLANTING AREAS PER SOILS TESTING RECOMMENDATIONS.
9. STAKE 15 GALLON AND LARGER TREES PER DETAILS. CONTRACTOR SHALL BE RESPONSIBLE FOR TREE STABILITY DURING LENGTH OF THE GUARANTEE PERIOD.
10. VERIFY TREE PIT DRAINAGE WITH 24 HOUR WATER FILL TEST PRIOR TO PLANTING. ALL BOXED TREES NOT DRAINING ARE TO HAVE A 4" DIAMETER AUGER HOLE DRILLED THROUGH ANY HARDPAN OR COMPACTED EARTH AS REQUIRED TO PROVIDE DRAINAGE IN 24 HOUR PERIOD.
11. POST PLANTING FERTILIZATION SHALL BE PERFORMED BY CONTRACTOR AT 30, 60, & 90 DAYS AFTER PLANTING.
12. PLANTS SHALL NOT BE PLACED WITHIN 12" OF SPRINKLER HEADS.
13. SHRUBS AND TREES SHALL BE UNDERPLANTED WITH GROUND COVER AS SHOWN BY ADJACENT SYMBOL.
14. GROUNDCOVER SHALL BE PLANTED USING TRIANGULAR SPACING AS NOTED IN DETAIL UNLESS OTHERWISE NOTED.
15. LOCATION OF TREES SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL JURISDICTION WITH REGARD TO SETBACKS FROM UTILITIES, STREET SIGNAGE AND RIGHT-OF-WAYS. IF TREES ON PLANS ARE IN VIOLATION OF SUCH CODES, CONTRACTOR SHALL INFORM LANDSCAPE ARCHITECT PRIOR TO INSTALLING TREES.
16. LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS FOR A PERIOD OF NINETY (90) DAYS AFTER FINAL ACCEPTANCE OF THE LANDSCAPE INSTALLATION. ALL AREAS SHALL BE KEPT CLEAN, WATERED AND WEED-FREE. ALL DEAD OR DYING PLANTS THAT ARE WATERED SHALL BE REPLACED WITHIN TWO (2) WEEKS. CONTRACTOR SHALL NOTIFY OWNER IN WRITING WHEN CONTRACTOR IS BEGINNING THE MAINTENANCE PERIOD AND WHAT DATE WILL TERMINATE THE MAINTENANCE PERIOD.
17. CONTRACTOR SHALL GUARANTEE PLANT LONGEVITY AS FOLLOWS: TREES - ONE YEAR; SHRUBS AND GROUNDCOVER - THREE MONTHS. IF MAINTENANCE PERIOD ENDS DURING PERIOD OF PLANT DORMANCY, CONTRACTOR SHALL REPLACE ANY PLANTS THAT DO NOT GROW BACK DURING THE NEXT PLANTING SEASON.
18. WHERE TREE TRUNKS ARE WITHIN 6' OF CURBS, WALLS, SIDEWALKS OR OTHER HARDSCAPE, CONTRACTOR SHALL INSTALL ROOT BARRIER BY "BIO-BARRIER". ROOT BARRIERS ARE TO BE LINEAR (24" DEEP MINIMUM) WITH A MINIMUM LENGTH OF 10 FEET PER TREE. LOCATE THE BARRIER AT THE PERIMETER EDGE OF THE PLANTER, CENTERED ON THE TREE.
19. CONTRACTOR SHALL PROVIDE THE OWNER WITH AS-BUILT PLANS OF IRRIGATION CLEARLY INDICATING LOCATION OF ALL VALVES, MAINLINES AND MODIFICATIONS TO HEAD LAYOUT.
20. PROVIDE JUTE NETTING TO ALL SLOPES OF 3:1 OR GREATER.
21. PRIOR TO PLANTING, CONTRACTOR SHALL REMOVE ALL WEEDS WITH SYSTEMIC HERBICIDE (ROUND-UP) AND APPLY A PRE-EMERGENT HERBICIDE AFTER PLANTING.

SITE PLAN



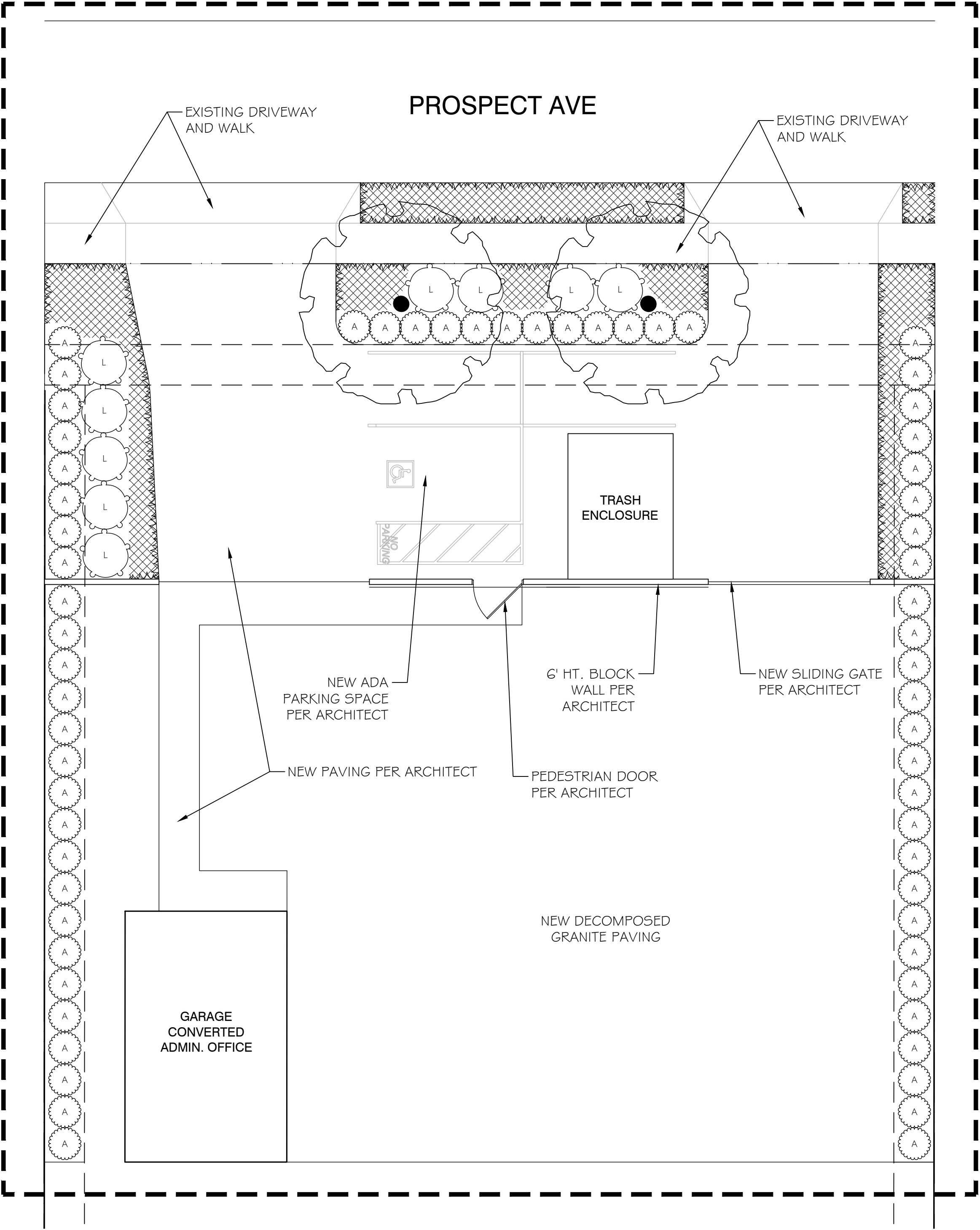
SCHEDULE

SYMBOL	CODE	DESCRIPTION	QTY
	1	PAVED PARKING AREA	3,060 SF
	2	PLANTING AREA AROUND PARKING LOT	767 SF

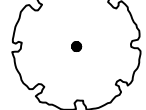

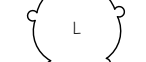

LANDSCAPE AREA REQUIREMENTS FOR PARKING

PARKING AREA	3,060 SF
LANDSCAPE AREA REQ'D. - (10%)	306 SF
LANDSCAPE AREA PROVIDED (40%)	1,222 SF

ENLARGEMENT PLANTING PLAN



PLANT SCHEDULE

<u>SYMBOL</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>CONT</u>		<u>QTY</u>
TREES					
	RHUS LANCEA	AFRICAN SUMAC	15 GAL		2
SHRUBS					
	ABELIA X 'EDWARD GOUCHER'	EDWARD GOUCHER ABELIA	5 GAL		64
	LANTANA CAMARA	LANTANA	5 GAL		9
<u>SYMBOL</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>CONT</u>	<u>SPACING</u>	<u>QTY</u>
GROUND COVERS					
	MYOPORUM PARVIFOLIUM	TRAILING MYOPORUM	FLAT	6" o.c.	2,728

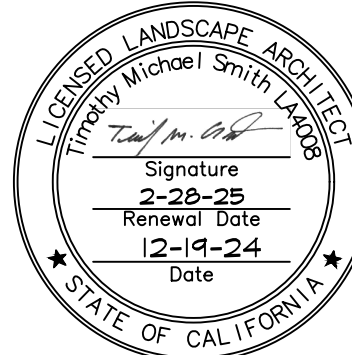
"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN"



WYNN-SMITH
LANDSCAPE
ARCHITECTURE
INC.

13319 POWAY RD, SUITE 150
POWAY, CA 92064
TEL: 858.513.0030

These designs, drawings and specifications are the property and copyright of the landscape architect and shall not be used in connection with any other work except by agreement with the landscape architect. There shall be no changes or deviation without the consent of the landscape architect. Written dimensions shall be verified on the job site. Any discrepancy shall be brought to the notice of the landscape architect prior to the commencement of any work.



PROSPECT AVENUE
OUTDOOR STORAGE
MINOR CONDITIONAL USE PERMIT
10527 PROSPECT AVE
SABTEE, CA 92071

PLANTING PLAN

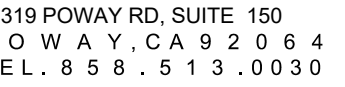
Revisions	By

Drawn By: **TEAM**
Checked By: _____
Date Issued: **12-19-2024**
Project No.: **24-033**
Scale: _____

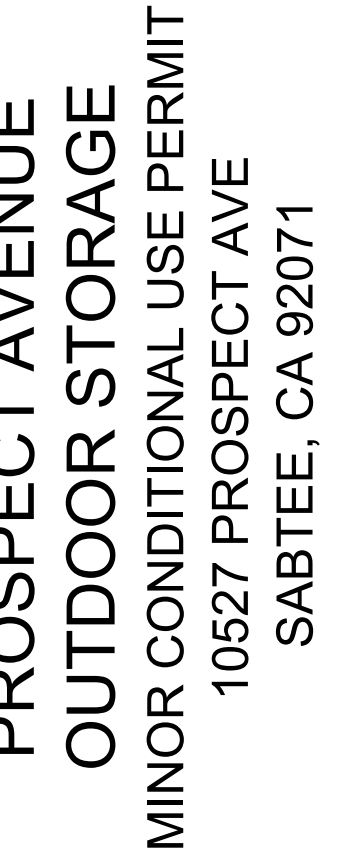
Sheet

L-1.0

Of _____ Sheets



These designs, drawings and specifications shall be the property and copyright of the landscape architect and shall not be used in connection with any other work except by agreement with the landscape architect. There shall be no changes or deviation without the consent of the landscape architect. Written dimensions shall be ascertained on the job site. Any discrepancy shall be brought to the notice of the landscape architect prior to the commencement of any work.



HYDROZONE PLAN

Revisions	By

Drawn By TEAM

Checked By _____

Date Issued 12-19-2024

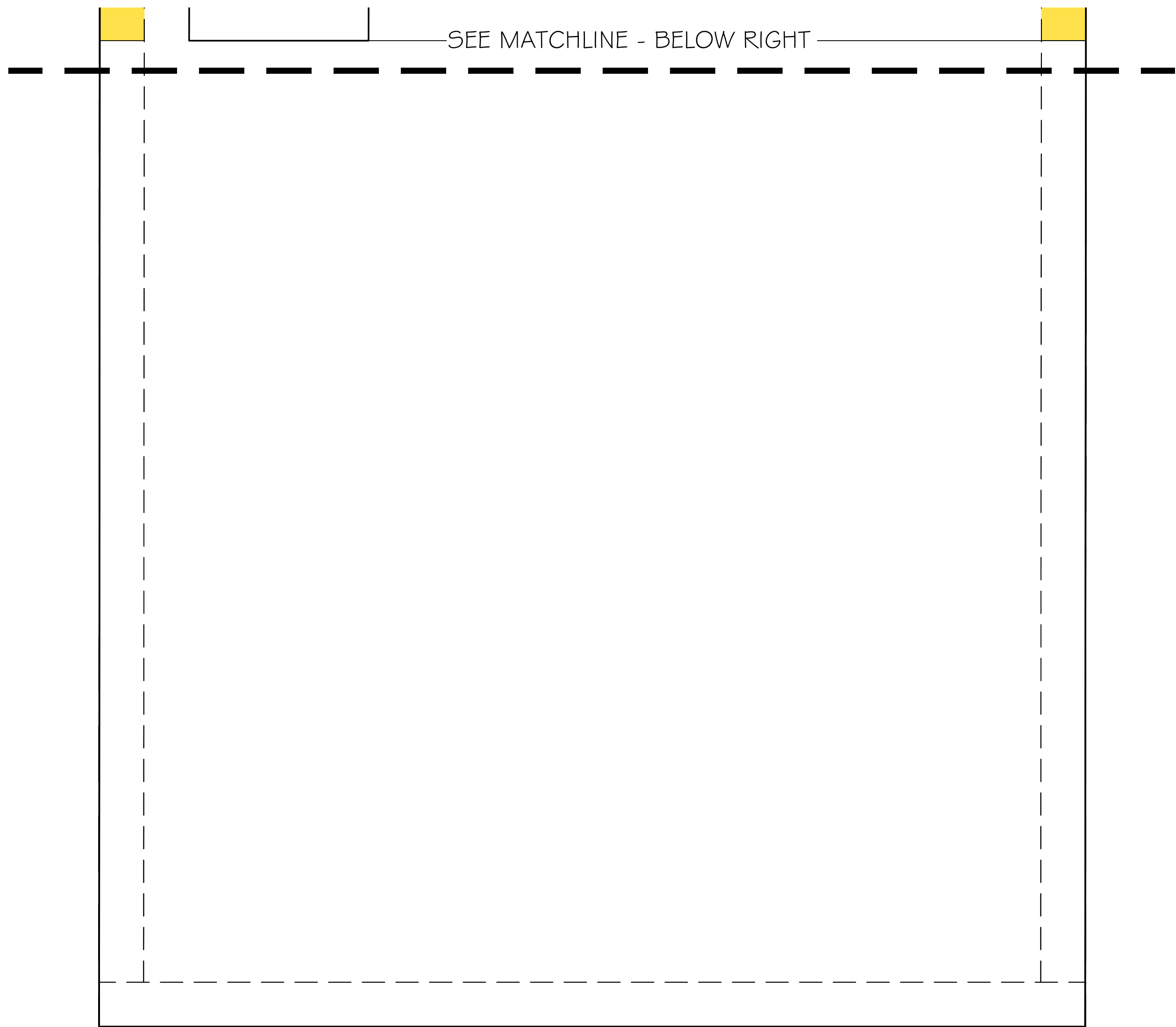
Project No. 24-033

scale _____

Sheet

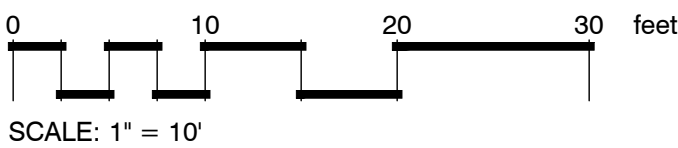
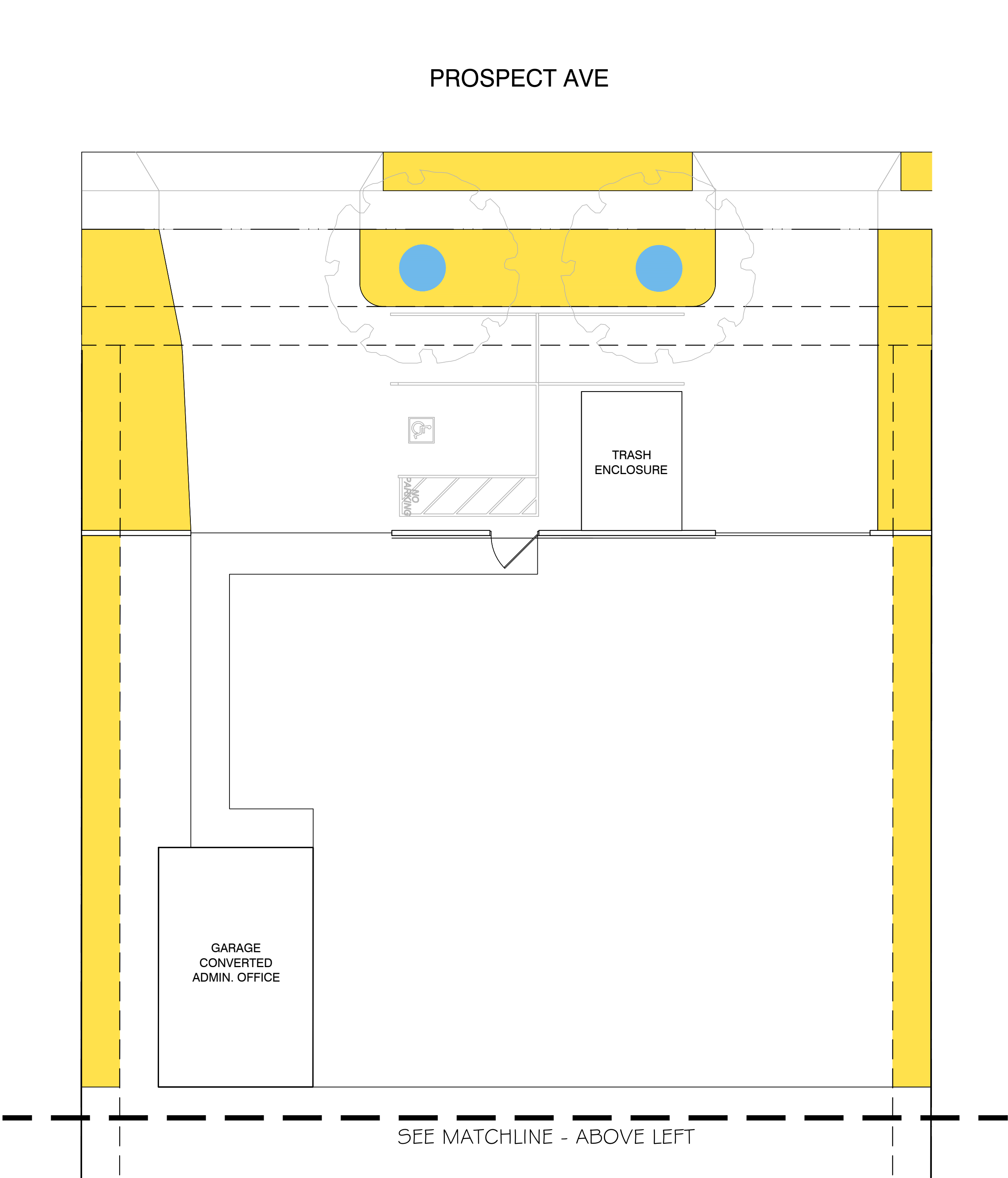
L-2.0

f Sheets



SYMBOL	CODE	DESCRIPTION	QTY
	H-01	LOW WATER USE SHRUBS AND GROUNDCOVERS WITH DRIP IRRIGATION	2,146 SF
	H-02	LOW WATER USE TREES WITH BUBBLERS	57 SF

"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN"



PROSPECT AVENUE OUTDOOR STORAGE														
	Estimated Total Gallons / Year													
	Highest ET Month-July													
	51.2													
Monthly ET (in)	January 2.1	February 2.7	March 3.7	April 4.5	May 5.5	June 6.1	July 6.6	August 6.2	September 5.4	October 3.8	November 2.6	December 2	Total 51.2	Total is based on "rounded" monthly numbers
% Total Annual ET (x 100)	0.04	0.05	0.07	0.09	0.11	0.12	0.13	0.12	0.11	0.07	0.05	0.04	1.00	
Water Budget - Percent of Highest Month	0.25	0.32	0.44	0.53	0.65	0.72	0.78	0.73	0.64	0.45	0.31	0.24		
Total Gallons	654	841	1,153	1,602	1,714	1,901	2,057	1,932	1,683	1,184	810	623	15,956	
Maximum Water Window Requirement: 10:00 PM - 8:00 AM Suggested run times are to be used as a guide only. Contractor must adjust times based on site specific needs. Using the peak run times for each valve in July, run times may be adjusted by percentage as shown in the chart below.														

Hydrone	Value	Irrigation Method	Plant Factor (PF)	Valve Area (Sq. Ft.)	PPH4K	IE	PF x H4/IE	Annual EA	Total Annual Water Use (Gallons)												Peak Monthly ET (July)	Plant Factor (Kc)	Plant Water Requirement (inches)	Irrigation Efficiency	Irrigation Requirement (inches/D)	Application Rate (inches/D)	Monthly Runtime (Minutes)	No. of Watering Days	Daily Runtime (Minutes)	
									January	February	March	April	May	June	July	August	September	October	November	December										
H-01	0	Drip	0.2	2,146.0	429	0.22222222	1,931.40	51.20	61,310	2,515	3,233	4,431	5,389	6,586	7,305	7,903	7,424	6,466	4,550	3,113	2,395	8.5	0.2	1.7	0.22222222	7.65	0.6	765.0	15	51
H-02	0	BUBBLERS	0.2	57.0	11	0.25	45.60	51.20	1,448	59	76	105	127	155	172	187	175	153	107	74	57	8.5	0.2	1.7	0.25	6.80	0.43	968.8	15	63
TOTAL				2,203			1,931.40			2,574	3,309	4,535	5,516	6,742	7,477	8,090	7,600	6,619	4,658	3,347	2,451									

[illegible]

* ESTIMATED VALVE RUN TIMES ARE ESTIMATES ONLY
** FOR ESTABLISHMENT, PERIOD DOUBLE ALL RUN TIMES

WATER EFFICIENT LANDSCAPE WORKSHEET

[illegible]

Regular Landscape Areas	Totals
Total ETAF x Area (B) =	491
Total Area (A) =	2,203
Average ETAF (B)/(A)	0.22

All Landscape Areas		Totals
Total ETAF x Area	$(B+D) \times$	982
Total Area	$(A+C) \times$	4,406
Site wide ETAF	$(B+D)/(A+C) \times$	0.22

Hydrozone Category is based on the feature of plant within the hydrozone with the highest plant factor.

Hydrozone Category	PF - Plant Factor		
High Water Use	0.7-1.0		
Moderate Water Use	0.4-0.6		
Low Water Use	0.1-0.3		
Special Landscaped Area	1		

Artificial turf is considered Low Water Use

Irrigation Method Code	IE - Irrigation Efficiency
S = Spray	0.55
R = Rotor	0.7
D = Drip	0.9
DB = Bubblers	0.8
MP = MP Rotator	0.75
RS = Rainbird 'R' Series	0.75

* Turf and Landscape Irrigation Best Management Practices, April 2005, Water Management Committee of the Irrigation Association