### **Stormwater Notes** This project shall comply with all requirements of the City of Santee and State of California Water Quality Control Board, San Diego 1. The contractor shall implement best management practices (BMPs)during all phases of construction. 2. Sufficient BMPs must be installed to prevent silt, mud, or other construction debris from being tracked into the adjacent street(s) or storm water conveyance systems due to construction vehicles or any other construction activity. The contractor shall be responsible for cleaning any such debris that may be in the street or conveyance system at the end of each work day or after a storm event that causes a breech in the installed construction 3. Storm water pollution prevention devices and or practices shall be modified as needed as the project progresses to ensure effectiveness. If at any time, BMPs are found to be intentionally disabled, run-over, removed, or otherwise ineffective, they shall be modified and replaced immediately. 4. Trash and construction solid wastes shall be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind. The storage of all construction materials and construction wastes must be protected against the potential release of pollutants into the environment. 5. A concrete washout shall be provided on all projects which propose the construction of any concrete improvements that are to be poured in place on the site. 6. All BMPs shall be maintained in working order at all times. All slopes that are created or disturbed by construction activity must be protected against erosion and sediment transport at all times. 7. If trenching/digging activities are not completed within one day, proper BMPs will be implemented. 8. If debris or materials will be stored for longer than one day, proper BMPs will be implemented.

# **BMP Notes**

**Stormwater Pollution Prevention Notes:** 1. Appropriate erosion prevention and sediment control measures

will be implemented at all times. 2. The tops of all slopes shall have a dike or trench to prevent water from flowing over the crests of slopes.

3. Clean gravel only will be used in gravel bags.

4. Catch basins, desilting basins, gravel bags, check dams and storm drain systems shall be installed to the satisfaction of the city engineer. These facilities shall be cleaned on a regular basis. and kept free of soil accumulation.

5. Gravel bag check dams shall be placed in unpaved areas with gradients in excess of 2%, in other graded or excavated areas as required by the department of development services, and at or near every point where concentrated flows leave the development.

6. Gravel bags shall be placed on the upstream side of all drainage inlets to minimize silt buildup in the inlets and pipes.

7. The contractor shall immediately repair any eroded slopes. 8. Roadways and entrances to and from the site shall be swept on a

regular basis to keep them free of soil accumulation. 9. Contractor shall have water trucks and equipment on-site to minimize airborne dust created from grading and hauling operations or excessive wind conditions. Watering shall be performed on a continuous basis any time these conditions are present and at all other times as directed by the city engineer. Additional dust control measures shall be implemented as needed.

10. Stockpiles shall be covered at the end of each working day and prior to predicted rain events. Asphalt shall be stored on a layer of plastic sheeting, or equivalent.

11. All portable toilets shall have a secondary containment and not be located near a storm drain (i.e. catch basin or street).

12. Inactive slopes shall be protected and stabilized within 10 calendar days of last being worked, or on the direction of the city.

Active slopes shall be stabilized during rain. 13. Erosion control on slopes shall be mitigated by installing landscaping as per approved landscape plans as required by the development review conditions, or by temporary erosion control conforming to the following:

#### Non-Irrigated Hydroseed Mix

Lbs per Acre	% Purity per Acre	Seed Species
20	70% PLS	Atriplex Glauca
50		Plantage Insularis
8		Encelis Farinosa
6	Scarified	Lotus Scoparius
<u>7</u>	50% PLS	Exchscholtzia Calif.
91 Lbs		

14. Vehicle maintenance, repair and storage bmps will be implemented including: use of drip pans or equivalent under vehicle stored overnight; daily inspection for leaks and spills; prompt removal of spills; availability of oil-absorbent spill removal

15. Heavy equipment will not be stored on the public right-of-way. 16. Trash shall be placed in dumpsters. Offcuts from framing will be stored appropriately and not allowed to accumulate in stockpiles

around the site. 17. Trash dumpsters will have lids. The lids will remain closed and the dumpsters will not be overfilled. Additional trash pick ups shall be made as necessary.

18. Liquid materials will be stored in closed containers in secondary containment and under cover. Solid materials will be stored on pallets and be covered during rain.

19. A materials washout will be available onsite whenever liquid materials are used. The washout will fully contain those materials and the surrounding area shall be kept free of spills.

20. Discharge of potable water (such as from powerwashing or filling water trucks) will be prevented.

21. 125 percent of the materials required to maintain storm water bmps shall be present on the site at all times. Stormwater control measures shown hereon are best management practices for this site based on the anticipated progress of the work. Additional measures may be required at any time at the discretion of the city engineer as the work progresses. It is the contractor's responsibility to ensure adequate protection is in place at all times to prevent any discharge of pollutants, including sediment, from the exposed site areas. BMPs will be maintained until removal.

#### Parcel Information

10527 Prospect Ave **Project Address** Santee, CA 92071

**Assessors Parcel Number** 384-250-04-00

work shall comply with CFC Ch 11.

Occupancy Type

Allowable Height

Allowable Area

Sprinklers

Type of Construction

Construction Valuation

Allowable Number of Stories

Site Area 0.56 acres 24,310.00 SF

Legal Description

The North 221 feet of the East 110 feet of the West 275 feet of the East One-Half of Lot 2 in Block 22 of the Subdivision of Lots H and O of the Rancho El Cajon, in the City of Santee, County of San Diego, State of California, According to Map thereof No. 817, filed in the Office of the County Recorder of the San Diego County, April

Wherever code or California Building Code (CBC) is referred

in the following general notes or other note sections, it shall

imply the CBC code with governing agency amendments.

All demolition work shall comply with CFC Ch 33. All other

Project to comply with City of Santee Knox Box and Gate Key

Local Jurisdiction Municipal Code and Ammendements

**Building Code Analysis** 

9,000 SF

\$100,000

VB

Switch Standard. Knox key box to be provided.

# **Prospect Ave Outdoor Storage**

10527 Prospect Ave Santee, CA 92071





Gove	erning Building Codes	Scope of Work	Sheet List			
	tion, including material and workmanship shall the following California Building Codes:	Convert (E) Garage/Shop to Administrative Office Use.		Sheet Name	Issue Date	Revision # Issue Date
A.	2022 California Building Code (Title 24 Part 2)	<ul><li>2. Demo (E) SFR</li><li>3. (N) ADA Parking space</li><li>4. (N) Drive aisle access to back of lot</li></ul>	Archite	ecture		
В.	2022 California Electrical Code (Title 24 Part 3)		A00	Cover Sheet	12/19/24	
C.	2022 California Mechanical Code (Title 24 Part 4)	5. (N) Landscaping	A10	Site Plan	12/19/24	
D.	2022 California Plumbing Code (Title 24 Part 5)	6. (N) Trash Enclosure	A21	Floor Plans	12/19/24	
E.	2022 California Energy Code (Title 24 Part 6)		Lands	cape		
г. G.	2022 California Fire Code (Title 24 Part 9) 2022 Cal Green Code(Title 24 Part 11)		L-1.0	Planting Plan	12/19/24	
H.	2022 California Building Energy Efficiency Standards			Hydrozone Plan	12/19/24	

# **Project Contacts**

## **Property Owner:**

#### Wellsprospective LLC

2053 Kurtz St San Diego, CA 92110 Contact: Jared Wells jared@natlair.com 619-995-9218

#### Tenant:

2053 Kurtz St San Diego, CA 92110 Contact: Jared Wells jared@natlair.com 619-995-9218

#### Architect:

8415 La Mesa Blvd. Suite 4 La Mesa, CA 91942 Contact: Kent Coston kc@costonarchitects.com 619-518-8071

**Coston Architects Incorporated** 

#### Landscape Architect:

#### **Wynn-Smith Landscape Architecture**

13319 Powav Rd. Suite 150 Poway, CA 92064 Contact: Tim Smith tim@wynn-smith.com 858-513-0030

ve Outdoor St	ditional Use P	7 Prospect Ave	iee, CA 92071
Ave	ndit	527 F	antee,

Prospect A Minor Cor 105 Sa

Revision Schedule

DATE

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**Zoning Analysis** 

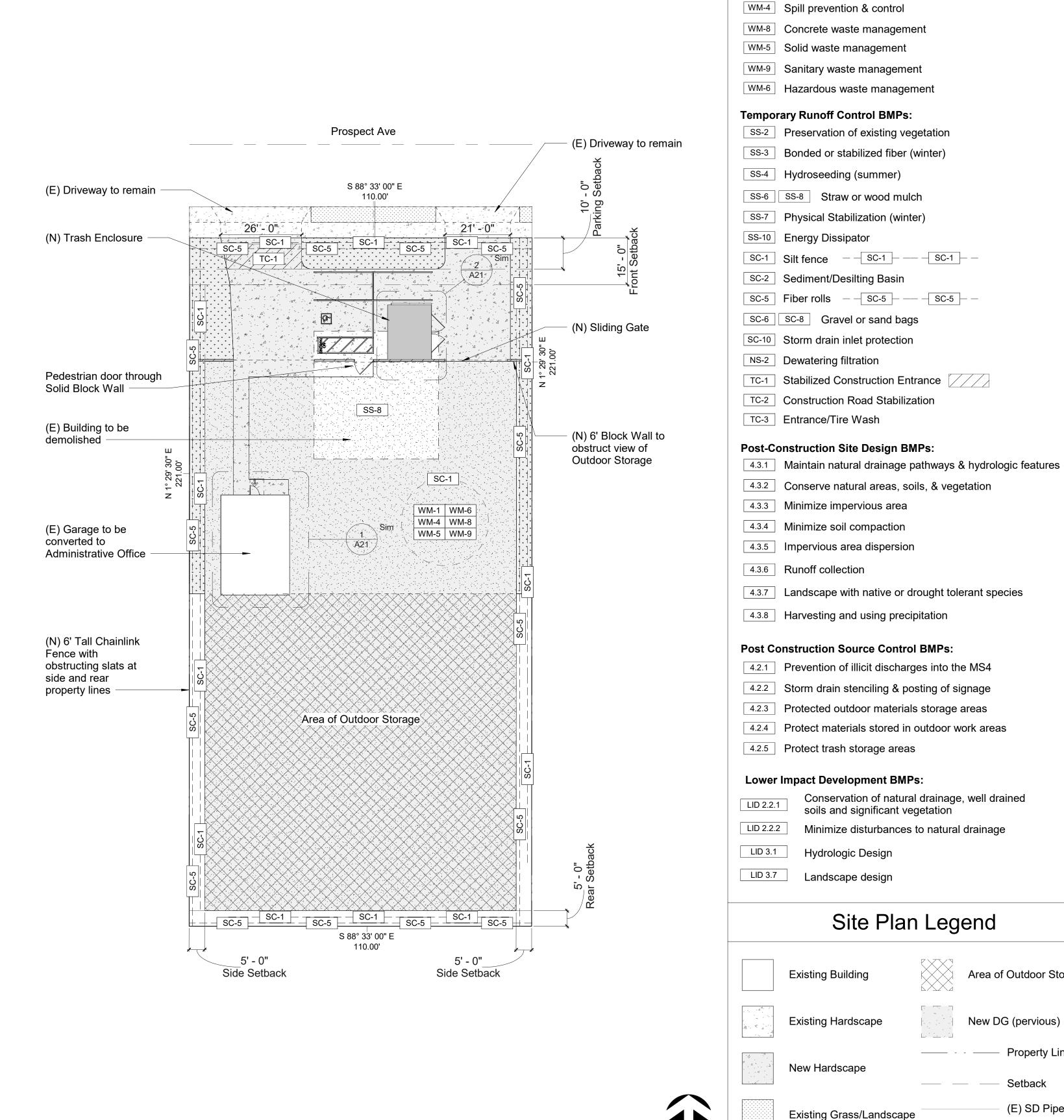
Zone	IG
Max Allowable Height	40'
Front Setback	15
Side Setback	5
Rear Setback	5
Existing Use	Residence
Proposed Use	Office/Equipment Storage
Overlays	Airport Safety Traffic Pattern Zone, Airport Influence Area 1, FAA Building Height Notification Area

No proposed change in (E) building height

# Vicinity Map



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COSTON **ARCHITECTS INCORPORATED** NSED ARCHIT Storage Permit rospect Ave CA 92071 Plan Prospect Ave C Minor Conditio 10527 Pro Santee, C Site Revision Schedule DATE 11/13/24 Area of Outdoor Storage DRAWN New DG (pervious) PROJECT Property Line Setback

BMP Legend

**Materials and Waste Management BMPs:** 

WM-1 Materials delivery & storage

New Grass/Landscape

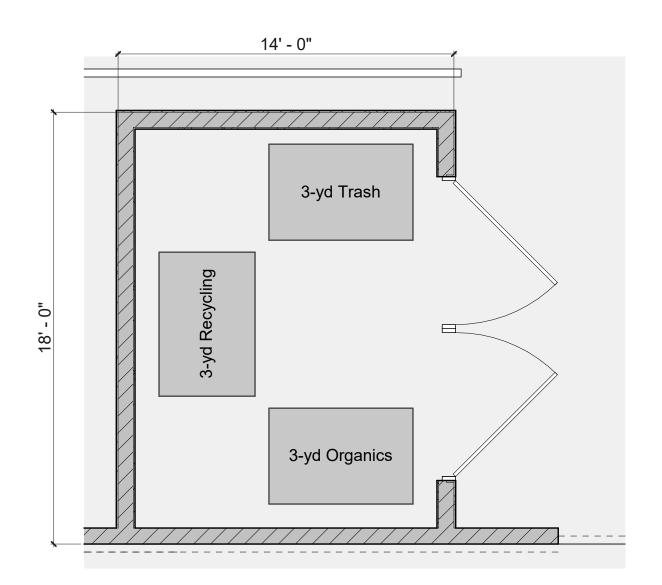
Site Plan 1" = 20'-0"

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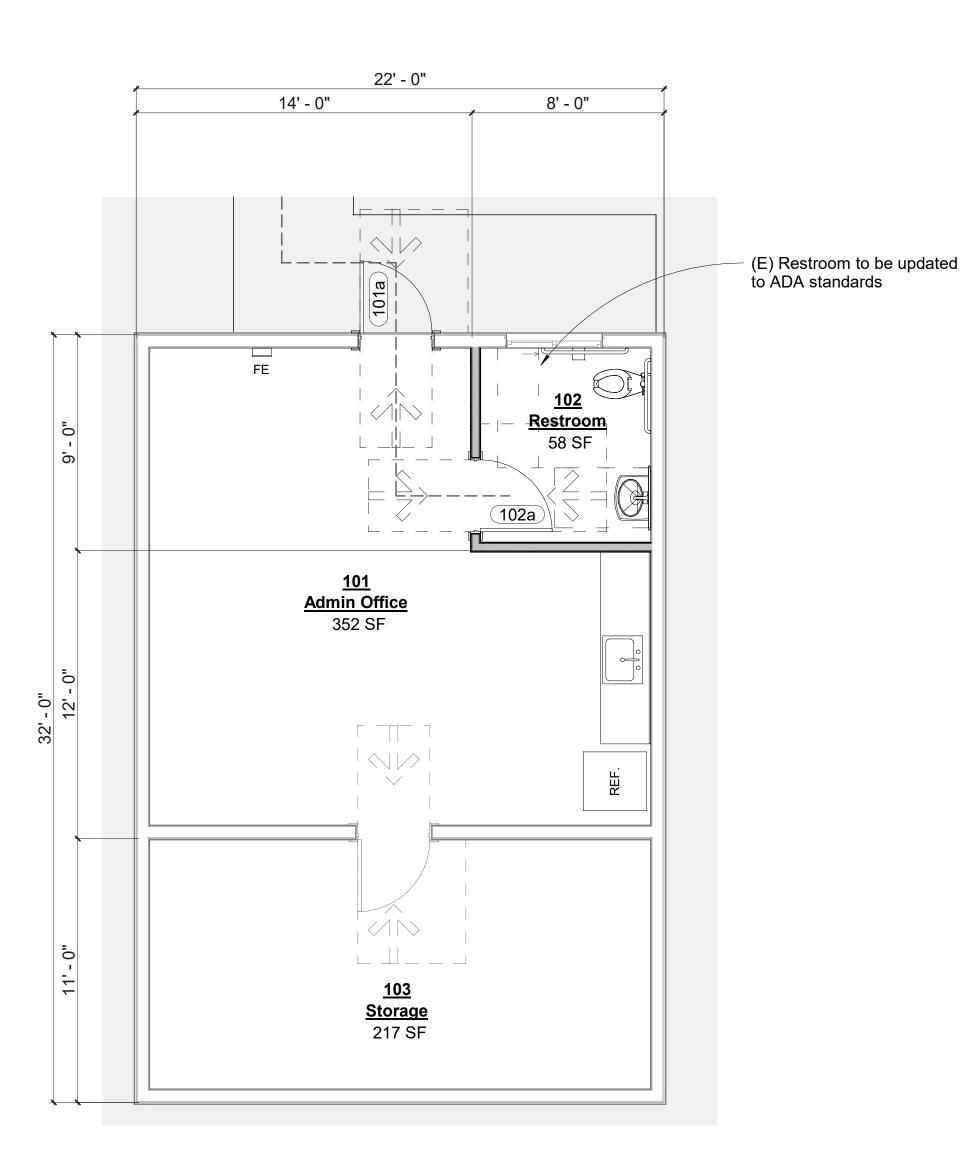
**A10** 

(E) SD Pipe



Trash enclosure to have 8' clear height

Trash Enclosure



# Legend

Existing Wall to Remain

New Wall per plan

----

Fire Extinguisher shall be multi-purpose, dry chemical type with a minimum rating of 2A:10B:C mounted on the wall between 3.5 and 5' from floor level in a location that is clearly visible and readily accessible

Accessible/Egress Path of Travel



**INCORPORATED** 

#### Notes

- 1. "The force required to activate operable parts of all interior hinged doors and gates, sliding or folding doors, and exterior hinged doors shall be five (5) pounds maximum. The force required to activate operable parts of required fire door shall not exceed 15 pounds. (CBC, Sec. 11B-404.2.9)
- 2. Exit access doors equipped with a key operated locking device shall have a readily visible, durable sign posted on the egress side adjacent to the door stating: THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED. The sign shall have 1 inch high letters on a contrasting background.
- 3. Egress doors shall be readily operable from the egress side without the use of a key or special knowledge or effort. (CBC
- 4. Any handles, pulls, latches, locks, and other operable parts on doors and gates will comply with the following (CBC 11B-309.4, CBC 11B-404.2.7):
- a. Minimum 34" and maximum 44" inches above finished floor or ground.
- b. Maximum 5 pounds of force to open any door or gate.
- c. Operable with one hand and without tight grasping, tight pinching, or twisting of the wrist.
- 5. Door and gates surfaces within 10" of finished floor or ground shall have smooth surface on push side extending full width or door or gate. (CBC 11B-404.2.9)
- 6. Door thresholds shall comply with CBC 11B-404.2.4.1.
- 7. Doors and gates with closers or spring hinges shall comply with closing speed periods per CBC 11B-404.2.8 a. Closers with minimum 5 seconds from 90-degree open
- position to 12-degree open position b. Spring hinges with a minimum 1.5 seconds from 70-degrees open position to closed position
- 8. Manually operated flush bolts or surface bolts are not permitted on doors.

Door Hardware

9. Ceiling and Wall Finishes to comply with flame spread requirements of 2022 CFC 803.3

Width | Height | Hardware Note

6' - 8" 2

6' - 8" 4

2 = Lockset, coordinate keying with owner

3' - 0"

**Hardware Notes:** 'T' = Tempered Glass 1 = Panic Hardware

4 = Privacy lock

6 = Controlled Access

5 = Closer

3' - 0"

3 = Kickplate, 10" high min.

Storage Permit

e Outdoor Sitional Use
Prospect Ave

t Ave Condition 10527 Pro Santee, Pro Floor

Plans

Revision Schedule

DATE

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PROJECT

Floor Plan

Note: Only doors along the Egress/Accessible Path of Travel shown and need to comply with CBC 1010

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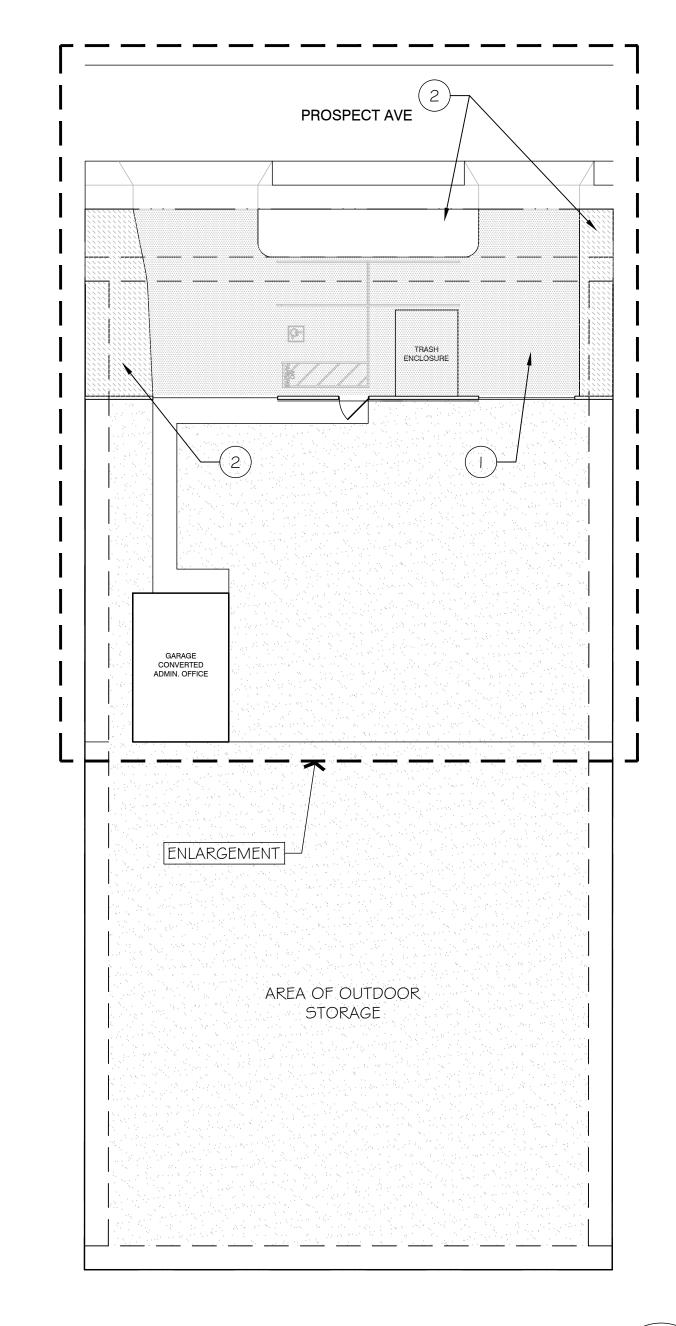
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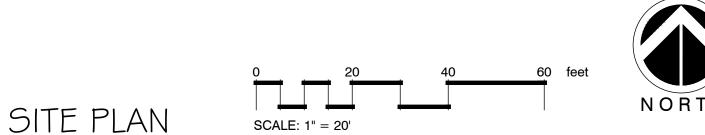
#### PLANTING NOTES

- I. THE PLANTING PLAN IS DIAGRAMMATIC AND SHALL BE USED AS A GUIDE FOR SETTING OUT PLANTS. PRIOR TO PLANTING, THE LANDSCAPE ARCHITECT SHALL BE CONTACTED TO APPROVE ALL PLANT LOCATIONS AND DIRECT ADJUSTMENTS.
- 2. PLANT MATERIALS SHALL CONFORM TO NURSERYMAN'S STANDARDS FOR SIZE AND HEALTH. ALL PLANTS ARE SUBJECT TO REJECTION BY THE LANDSCAPE ARCHITECT IF SUBSTANDARD IN SIZE, QUALITY AND HEALTH. PROVIDE WATERPROOF SPECIES IDENTIFICATION TAGS ON ONE PLANT PER SPECIES PER
- 3. PLANT COUNTS ARE FOR THE CONVENIENCE OF THE LANDSCAPE CONTRACTOR ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON THE PLAN.
- 4. IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL AND ALL PLANTING AREAS THOROUGHLY SOAKED PRIOR TO PLANTING.
- 5. LANDSCAPE CONTRACTOR SHALL MAINTAIN A MINIMUM 2% DRAINAGE AWAY FROM ALL BUILDINGS AND FINISH GRADES SMOOTHED TO ELIMINATE PUDDLING OR STANDING WATER. CONTRACTOR SHALL COORDINATE WITH OTHER TRADES AND MAINTAIN DRAINAGE DURING CONSTRUCTION. FINISH GRADE OF PLANTING AREAS SHALL BE 2" BELOW FINISH SURFACE OF PAVING AND A MINIMUM OF 8" BELOW BUILDING STUCCO SCREED.
- 6. LANDSCAPE CONTRACTOR SHALL REMOVE ALL EXISTING VEGETATION, TRASH, CLIPPINGS, ROCK AND OTHER DEBRIS IN PLANTING AREAS. RAKE AND FINE GRADE ALL PLANTING AREAS PRIOR TO COMMENCEMENT OF PLANTING OPERATIONS.
- 7. PLANTING PITS SHALL BE PER PLANTING DETAILS.
- 8. PLANTING PITS AND PLANTERS SHALL BE BACKFILLED PER SOIL TEST REPORT FOR PLANTING.

  CONTRACTOR SHALL PROVIDE RESULTS OF AN AGRONOMIC SOILS TEST TO THE OWNER. CONTRACTOR

  SHALL ADD AMENDMENTS TO THE PLANTING AREAS PER SOILS TESTING RECOMMENDATIONS.
- 9. STAKE 15 GALLON AND LARGER TREES PER DETAILS. CONTRACTOR SHALL BE RESPONSIBLE FOR TREE STABILITY DURING LENGTH OF THE GUARANTEE PERIOD.
- IO. VERIFY TREE PIT DRAINAGE WITH 24 HOUR WATER FILL TEST PRIOR TO PLANTING. ALL BOXED TREES NOT DRAINING ARE TO HAVE A 4" DIAMETER AUGER HOLE DRILLED THROUGH ANY HARDPAN OR COMPACTED EARTH AS REQUIRED TO PROVIDE DRAINAGE IN 24 HOUR PERIOD.
- II. POST PLANTING FERTILIZATION SHALL BE PERFORMED BY CONTRACTOR AT 30, 60, \$ 90 DAYS AFTER PLANTING.
- 12. PLANTS SHALL NOT BE PLACED WITHIN 12" OF SPRINKLER HEADS.
- 13. SHRUBS AND TREES SHALL BE UNDERPLANTED WITH GROUND COVER AS SHOWN BY ADJACENT SYMBOL.
- 14. GROUNDCOVER SHALL BE PLANTED USING TRIANGULAR SPACING AS NOTED IN DETAIL UNLESS OTHERWISE NOTED.
- I 5. LOCATION OF TREES SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL JURISDICTION WITH REGARD TO SETBACKS FROM UTILITIES, STREET SIGNAGE AND RIGHT-OF-WAYS. IF TREES ON PLANS ARE IN VIOLATION OF SUCH CODES, CONTRACTOR SHALL INFORM LANDSCAPE ARCHITECT PRIOR TO INSTALLING TREES.
- I G. LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS FOR A PERIOD OF NINETY (90) DAYS AFTER FINAL ACCEPTANCE OF THE LANDSCAPE INSTALLATION. ALL AREAS SHALL BE KEPT CLEAN, WATERED AND WEED-FREE. ALL DEAD OR DYING PLANTS THAT ARE WATERED SHALL BE REPLACED WITHIN TWO (2) WEEKS. CONTRACTOR SHALL NOTIFY OWNER IN WRITING WHEN CONTRACTOR IS BEGINNING THE MAINTENANCE PERIOD AND WHAT DATE WILL TERMINATE THE MAINTENANCE PERIOD.
- 17. CONTRACTOR SHALL GUARANTEE PLANT LONGEVITY AS FOLLOWS: TREES ONE YEAR; SHRUBS AND GROUNDCOVER THREE MONTHS. IF MAINTENANCE PERIOD ENDS DURING PERIOD OF PLANT DORMANCY, CONTRACTOR SHALL REPLACE ANY PLANTS THAT DO NOT GROW BACK DURING THE NEXT PLANTING SEASON
- 18. WHERE TREE TRUNKS ARE WITHIN 6' OF CURBS, WALLS, SIDEWALKS OR OTHER HARDSCAPE, CONTRACTOR SHALL INSTALL ROOT BARRIER BY 'BIO-BARRIER'. ROOT BARRIERS ARE TO BE LINEAR (24" DEEP MINIMUM) WITH A MINIMUM LENGTH OF 10 FEET PER TREE. LOCATE THE BARRIER AT THE PERIMETER EDGE OF THE PLANTER CENTERED ON THE TREE.
- 19. CONTRACTOR SHALL PROVIDE THE OWNER WITH AS-BUILT PLANS OF IRRIGATION CLEARLY INDICATING LOCATION OF ALL VALVES, MAINLINES AND MODIFICATIONS TO HEAD LAYOUT.
- 20. PROVIDE JUTE NETTING TO ALL SLOPES OF 3:1 OR GREATER.
- 21. PRIOR TO PLANTING, CONTRACTOR SHALL REMOVE ALL WEEDS WITH SYSTEMIC HERBICIDE (ROUND-UP)
  AND APPLY A PRE-EMERGENT HERBICIDE AFTER PLANTING.

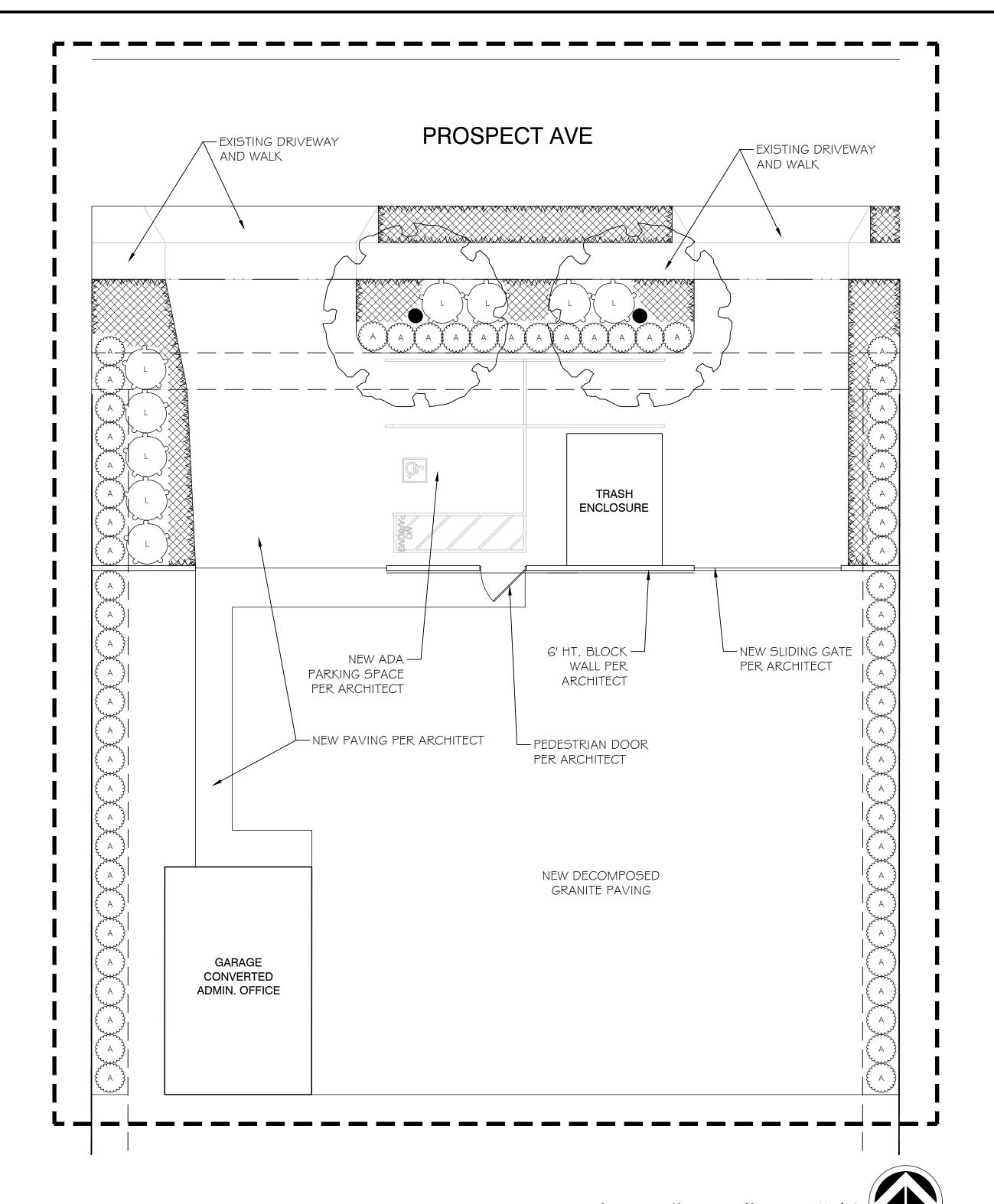




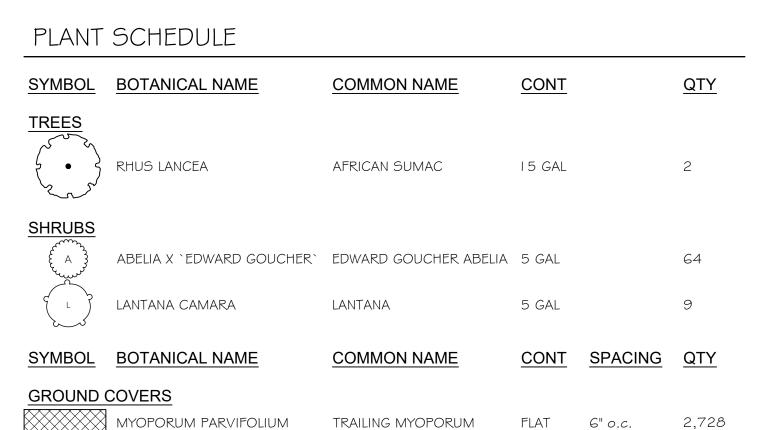
# SCHEDULE SYMBOL CODE DESCRIPTION QTY PAVED PARKING AREA 3,060 SF PLANTING AREA AROUND PARKING LOT 767 SF

#### LANDSCAPE AREA REQUIREMENTS FOR PARKING

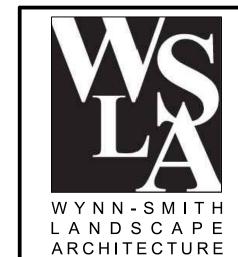
PARKING AREA 3,060 SF LANDSCAPE AREA REQ'D. - (10%) 306 SF LANDSCAPE AREA PROVIDED (40%) 1,222 SF



# ENLARGEMENT PLANTING PLAN



"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN"

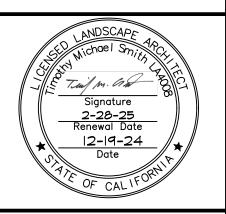


INC.

13319 POWAY RD, SUITE 150
POWAY, CA92064
TEL.858.513.0030

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are the property and copyright of the landscape architect and shall not be used in connection with any other work except by agreement with the landscape architect. There shall be no changes or deviation without the consent of the landscape architect. Written dimensions shall be verified on the job site. Any discrepancy shall be brought to the notice of the landscape architect prior to the commencement of any work.



PROSPECT AVENUE
OUTDOOR STORAGE
JOR CONDITIONAL USE PER
10527 PROSPECT AVE

PLANTING PLAN

Revisions	Ву
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Drawn By TEAM

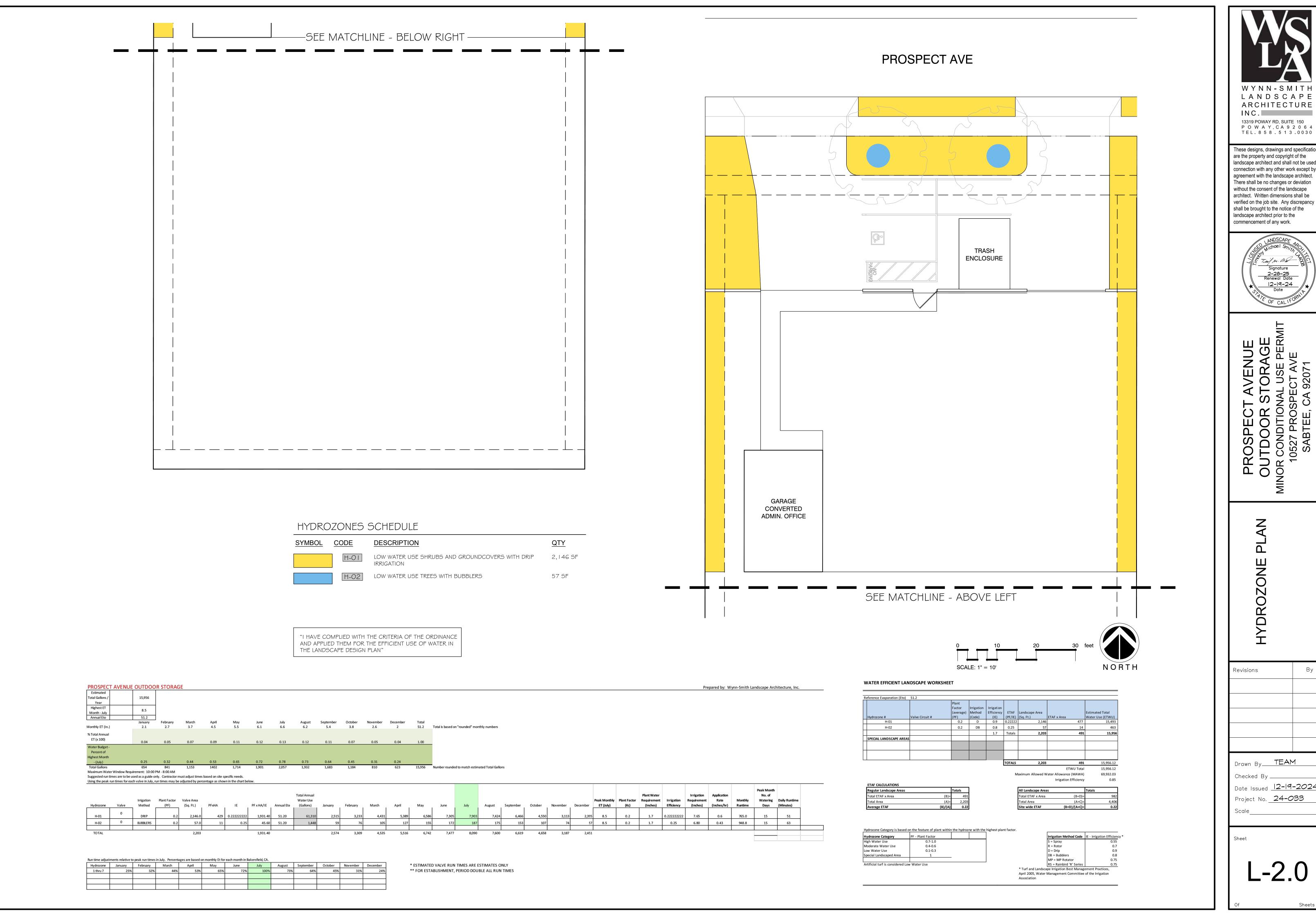
Checked By \_\_\_\_\_

Scale\_\_\_\_

Sheet

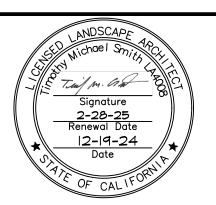
L-1.0

Sheets



WYNN-SMITH LANDSCAPE ARCHITECTURE INC.

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YDROZONE

revisions	БУ
Drawn By <b>TEAN</b>	1
Checked By	
Date Issued 12-19	-2024

Project No. **24-**033